



**AGENDA
CITY OF BELTON
PLANNING COMMISSION MEETING
MONDAY, NOVEMBER 8, 2021 - 5:30 P.M.
CITY HALL ANNEX, 520 MAIN STREET
www.belton.org/watch**

- I. CALL MEETING TO ORDER**
- II. ROLL CALL**
- III. APPROVAL OF THE MINUTES OF THE OCTOBER 18, 2021 PLANNING COMMISSION MEETING**
- IV. NON-PUBLIC HEARINGS**
 - A. Consideration of a Lot Split for the property located at 15812 Harris Avenue.**
 - B. Consideration of a Final Development Plan to permit the development of Take 5 Oil Change and 151 Coffee located at 111 South Mullen Road.**
- V. DIRECTOR'S REPORT**
- VI. NEXT MEETING DATE: To Be Determined**
- VII. ADJOURNMENT**

SECTION III.
MEETING MINUTES
OCTOBER 18, 2021

**Minutes of Meeting
Belton Planning Commission
City Hall Annex, 520 Main Street
October 18, 2021**

<https://www.youtube.com/watch?v=XvOqSWxc3gw>

CALL TO ORDER

Chairman MacPherson called the meeting to order at 6:00 p.m.

ATTENDANCE

Commission: Chairman MacPherson, Mayor Norman Larkey, Commissioners Kara Anderson, Marsha Vest, and James Pryan

Absent: Councilman Rob Powell, Commissioner Todd Christy, Tim McDonough and Kelly Monaghan-Bass

Staff: Dave Clements, Planning and Building Director; and Nikia Freiburger, City Engineer

MINUTES

Commissioner Anderson moved to approve the September 20, 2021 Planning Commission meeting minutes. Commissioner Pryan seconded the motion. All other members present voted in favor, and the motion carried.

NON-PUBLIC HEARING – Consideration of a Final Plat for Traditions 6th Plat, located on the North side of Cambridge Road, East of Mullen Road in the Traditions Planned Unit Development.

Mr. Clements gave a summary of the staff report. The staff report is attached as **Exhibit A**.

Mayor Larkey moved to approve the consideration of a Final Plat for Traditions 6th Plat, located on the North side of Cambridge Road, East of Mullen Road in the Traditions Planned Unit Development. The recommendation is subject to the following conditions:

1. The Final Plat for Traditions 6th Plat, dated 8/13/2021, by Schlager & Associates is approved as submitted.
2. Change Mayor's signature line.
3. Change "Bub Street" to alternative name to be determined.
4. A copy of the applicable homeowner's association documents shall be submitted prior to recording of the final plat.
5. An 8-foot multi-use trail shall be constructed around the detention pond on Tract 6A, as required with the original development plan.
6. The final plat shall be recorded within one year of City Council approval or the approval of the plat shall be considered null and void.

The motion was seconded by Commissioner Anderson. When a vote was taken, the following was recorded:

Ayes: 5 – Chairman MacPherson, Mayor Norman Larkey, Commissioners Kara Anderson, Marsha Vest, and James Pryan

Noes: 0 – None

Absent: 4 – Councilman Rob Powell, Commissioner Todd Christy, Tim McDonough and Kelly Monaghan-Bass

The motion carried and will be forwarded to City Council.

NON-PUBLIC HEARING – Consideration of a Final Plat for the Mills Subdivision located at 1402 East Cambridge Road.

Mr. Clements gave a summary of the staff report. The staff report is attached as Exhibit B.

Mayor Larkey moved to approve the consideration of a Final Plat for the Mills Subdivision located at 1402 East Cambridge Road. The recommendation is subject to the following conditions:

1. The Final Plat for Bronson Manor dated 9/02/2021, by Huffman Land Surveyors is approved as submitted.
2. Change signature line from Board of Alderman to City Council.
3. A waiver to the minimum Lot width requirement and lot depth requirement are approved as part of the Final Plat.
4. Provide heavy duty paving to all driveway areas and access and maneuverability to meet Fire Department requirements.
5. The final plat shall be recorded within one year of City Council approval or the approval of the plat shall be considered null and void.

The motion was seconded by Commissioner Pryan. When a vote was taken, the following was recorded:
Ayes: 5 – Chairman MacPherson, Mayor Norman Larkey, Commissioners Kara Anderson, Marsha Vest, and James Pryan

Noes: 0 – None

Absent: 4 – Councilman Rob Powell, Commissioner Todd Christy, Tim McDonough and Kelly Monaghan-Bass

The motion carried and will be forwarded to City Council.

DIRECTOR'S REPORT

- The text amendment changes from the September 20, 2021 Planning Commission will be presented at the City Council work session on October 26, 2021.

NEXT MEETING DATE: November 8, 2021

ADJOURNMENT

Commissioner Pryan moved to adjourn the meeting. The motion was seconded by Commissioner Anderson. All voted in favor, and the meeting adjourned at 6:24 p.m.

EXHIBIT A
FINAL PLAT
TRADITIONS 6th PLAT
BELTON PLANNING COMMISSION
MONDAY, OCTOBER 18, 2021 – 6:00 P.M.
CITY HALL ANNEX – 520 MAIN STREET

Application

Property Owner- Sallee Real Estate Investments, LLC. /Tyler Sallee

Engineer- Schlager & Associates/David Rinne, PLS

Location- The property is located on the north side of Cambridge Road, east of Mullen Road, in the Traditions Planned Unit Development.

Request- The application was filed for approval of a **Final Plat** for Traditions 6th Plat. This plat will provide for the construction of an additional phase of single-family homes in the Traditions Planned Unit Development.

BACKGROUND

The Traditions is a R-3 mixed-use Planned Unit Development initially approved in 2006. A revised preliminary plat for Traditions was approved by the City Council in May of 2018. The original plan and the 2018 revision provided for new single-family homes in the area of the proposed 6th Plat.

This application will provide 57 new lots for future construction, adding to the new home inventory of the subdivision. This is the last phase of single-family homes in Traditions.

PROPOSED FINAL PLAT

The Final Plat is consistent with the revised preliminary plat as approved by the City Council.

Lots and Blocks- The plat provides for 57 lots and four tracts, to allow the construction of additional single-family homes in the planned unit development. The lots range in size from 6,025 square feet for some interior lots, to 12,700 square feet for larger cul-de-sac lots. All the lots meet the minimum lot sizes specified in the revised Planned Unit Development from 2018.

Streets- The plat includes the dedication of right-of-way for Maci Lane, the main east/west street in the phase, and a new north/south street connecting to Shane Lane.

These new streets will provide access to the lots, and the proposed streets meet the local residential right-of-way requirements approved with the PUD, and the Unified Development Code.

Easements- The final plat includes appropriate language for public utility and drainage easements. The plat also includes dedication of additional right-of-way for the future widening of Mullen Road.

Tracts/Open Space- The plat includes the dedication of Tracts 6A, 6B, 6C, and 6D for open space in the subdivision. Tract 6A is a detention area that will include a multi-use trail around the pond, as designated in the original PUD.

These tracts will be maintained by the homeowner's association.

Detention- Stormwater detention is provided in area-wide basins in the PUD. Existing detention areas may need to be increased in capacity as a result of these additional lots.

STAFF RECOMMENDATION

The staff recommends approval of the application for a Final Plat for Traditions 6th Plat as the final plat is consistent with the revised preliminary plat. The plat meets all final plat requirements of Section 36.35 of Unified Development Code.

The recommendation is subject to the following conditions:

1. The Final Plat for Traditions 6th Plat, dated 8/13/2021, by Schlagel & Associates is approved as submitted.
2. Change Mayor's signature line.
3. Change "Bub Street" to alternative name to be determined.
4. A copy of the applicable homeowner's association documents shall be submitted prior to recording of the final plat.
5. An 8-foot multi-use trail shall be constructed around the detention pond on Tract 6A, as required with the original development plan.
6. The final plat shall be recorded within one year of City Council approval or the approval of the plat shall be considered null and void.

PLANNING COMMISSION ALTERNATIVES

1. Motion to **approve** a Final Plat for Traditions 6th Plat.
2. Motion to **deny** a Final Plat for Traditions 6th Plat.
3. Motion to continue the application pending additional information.

EXHIBIT B
FINAL PLAT
BRONSON MANOR
BELTON PLANNING COMMISSION
MONDAY, OCTOBER 18, 2021 – 6:00 P.M.
CITY HALL ANNEX BUILDING – 520 MAIN STREET

Application

Property Owner- Clarola Miller

Applicant- Tyler and Sarah Bronson

Surveyor- Huffman Land Surveyors, LLC.

Location- The property is located on the north side of Bel-Ray Drive, between Greenwald Drive and McKinley Street.

Request- The application was filed for approval of a Final Plat for Bronson Manor.

BACKGROUND

This application was filed to create one lot of record to allow the construction of one new single-family home. The existing property is an un-platted, 3.32-acre remanent parcel that is surrounded by single-family homes. Access to the property is from an existing access point on Bel-Ray Drive, and access on McKinley Street. The site was originally a set-aside in Bel-Ray Estates for a neighborhood park or pool facility that was never constructed.

The applicant is purchasing the site from the current property owner. The plat was filed to allow construction of a new home. The Unified Development Code (UDC) requires that a parcel be properly platted in order to obtain a building permit.

The property is zoned a R-1 Single-Family Residence District. This zoning classification requires a minimum lot width of 70 feet and lot area of 8400 square feet.

PROPOSED FINAL PLAT

The plat does not meet all the minimum design standards of the Subdivision Regulations of the UDC:

Lots and Blocks- The UDC requires that lots have frontage on a street equal to the minimum lot width of the zoning district. The R-1 District requires a 70-foot lot width. Bronson Manor provides a lot width of 20 feet on Bel-Ray Drive and 25 feet on McKinley Street. These lot width areas are the existing access points to the interior property, and these are not designed as a typical lot width on a street.

The applicant is requesting a waiver of the minimum lot width requirement to allow the 20-foot and 25-foot access points to be considered sufficient width and access to the interior property.

The UDC also states that the maximum depth of a lot shall not exceed 2 ½ times the lot width. The north to south dimension of the Lot 1 is 550 feet, exceeding the lot depth maximum.

The applicant is requesting a waiver of this lot depth ratio to allow the proposed Lot 1.

Streets- No new streets or dedications of public right-of-way are proposed with the plat.

Easements- The final plat includes appropriate language for public utility and drainage easements.

STAFF RECOMMENDATION

This un-platted remanent parcel presents circumstances not found in a traditional subdivision/lot lay-out. Staff is concerned about the reduced lot width on the street, and the minimal points of access. The house location would not have good visibility from public streets, and there is concern about emergency vehicle access and general everyday deliveries to the site.

The Fire Department believes access and visibility for emergency response can be adequately addressed, and the Fire Marshall asks that heavy duty paving be used for all driveway surfaces to support emergency vehicles. A turnaround area should also be installed for vehicle maneuverability.

General deliveries by Fed Ex, UPS or Amazon would be inconvenienced by the design, but it is not expected that this would cause undue congestion on the public streets.

The staff believes that one house constructed on the proposed lot is a reasonable proposal for this unique property. If a larger number of lots were proposed on this remanent parcel, impacts would be harder to evaluate, and the proposed waivers of requirements might be more difficult to justify.

The staff recommends approval of the application for a Final Plat for Bronson Manor. The recommendation is subject to the following conditions:

1. The Final Plat for Bronson Manor dated 9/02/2021, by Huffman Land Surveyors is approved as submitted.
2. Change signature line from Board of Alderman to City Council.
3. A waiver to the minimum Lot width requirement and lot depth requirement are approved as part of the Final Plat.
4. Provide heavy duty paving to all driveway areas and access and maneuverability to meet Fire Department requirements.
5. The final plat shall be recorded within one year of City Council approval or the approval of the plat shall be considered null and void.

PLANNING COMMISSION ALTERNATIVES

1. Motion to **approve** a Final Plat for Bronson Manor.
2. Motion to **deny** a Final Plat for Bronson Manor.
3. Motion to continue the application pending additional information.

SECTION IV.
LOT SPLIT – 15812 HARRIS AVENUE

LOT SPLIT
15812 HARRIS AVENUE
BELTON PLANNING COMMISSION
MONDAY, NOVEMBER 8, 2021 – 5:30 P.M.
CITY HALL ANNEX BUILDING – 520 MAIN STREET

APPLICANT

Property Owner- Terry Hardee, Gary Hardee, Rhonda Schmidt

Surveyor- Huffman Land Surveyors, LLC.

Location- The property is located at 15812 Harris Avenue, the east side of Harris Avenue, just south of 157th Street.

Request- *The application was filed for approval of a Lot Split for the property at 15812 Harris Avenue.*

BACKGROUND

This application was filed for a Lot Split of the property at 15812 Harris. This is an existing 21.6-acre parcel currently improved with a single-family home and it is used for pasture and livestock.

The proposed plat provides for a Tract A of .76 acres/33,105 square feet. The existing house will remain on this Tract A. The remaining property is a 20.84 acre Tract B that will remain vacant.

The property is zoned an R-1 Single-Family Residence District District, and this zoning district requires a 8400 square foot minimum lot size. The two Tracts proposed with the lot split meet this minimum lot size requirement.

PROPOSED LOT SPLIT

The Lot Split meets all the subdivision requirements of the Unified Development Code (UDC).

Access/Streets- No new access to Harris Avenue is proposed with the Lot Split. No additional right-of-way is dedicated with the plat.

Easements- The final plat includes appropriate language for public utility easements.

General Plat Information- The Lot Split plat includes all required general information including the legal description, Tract numbers and dimensions, right-of-way designation, signature certificates, and surveyor credentials.

STAFF RECOMMENDATION

The staff recommends approval of the application for the Lot Split. The plat meets all Lot Split requirements of Section 36.105 of Unified Development Code.

Lot Split-15812 Harris Avenue.

The recommendation is subject to the following conditions:

1. The Lot Split for 15812 Harris Avenue, by Huffman Land Surveyors is approved as submitted.

PLANNING COMMISSION ALTERNATIVES

1. Motion to **approve** a Lot Split for 15812 Harris Avenue.
2. Motion to **deny** a Lot Split for 15812 Harris Avenue.
3. Motion to continue the application pending additional information.

ATTACHMENTS

1. Location Map
2. Lot Split Plat- 15812 Harris

Lot Split-15812 Harris Avenue.

Aerial_MARC_2020_6in.tif

1

Belton_Parcels

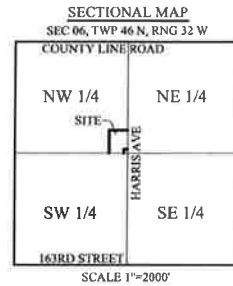
Green: Band_2

■ Blue: Band 3

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ORDERED BY
RYMEG, INC.
ATTN: BOB SCHMIDT
1912 HAROLD DR
RAYMORE, MO 64083
MOBILE: (816) 679-8238

FLOOD STATEMENT
THE LAND DESCRIBED FALLS WITHIN ZONE "X"
(AREAS DETERMINED TO BE OUTSIDE THE 0.2%
ANNUAL CHANCE FLOOD PLAIN) PER FLOOD
INSURANCE RATE MAP (FIRM),
CASS COUNTY, MISSOURI

PANEL 9 OF 480
MAP NUMBER: 29037C0009F
EFFECTIVE DATE: JANUARY 2, 2013
&
PANEL 28 OF 480
MAP NUMBER: 29037C0028F
EFFECTIVE DATE: JANUARY 2, 2013

TITLE COMMITMENT
NO TITLE COMMITMENT WAS PROVIDED FOR THIS
SURVEY

LEGEND

- FOUND IRON BAR
- FOUND CURB MARK
- SET 1/2" IRON BAR W/CAP LS-2268
- FIRE HYDRANT
- POWER POLE
- SANITARY SEWER MANHOLE
- TELEPHONE RISER
- WATER VALVE
- BROKEN SCALE



BASIS OF BEARING

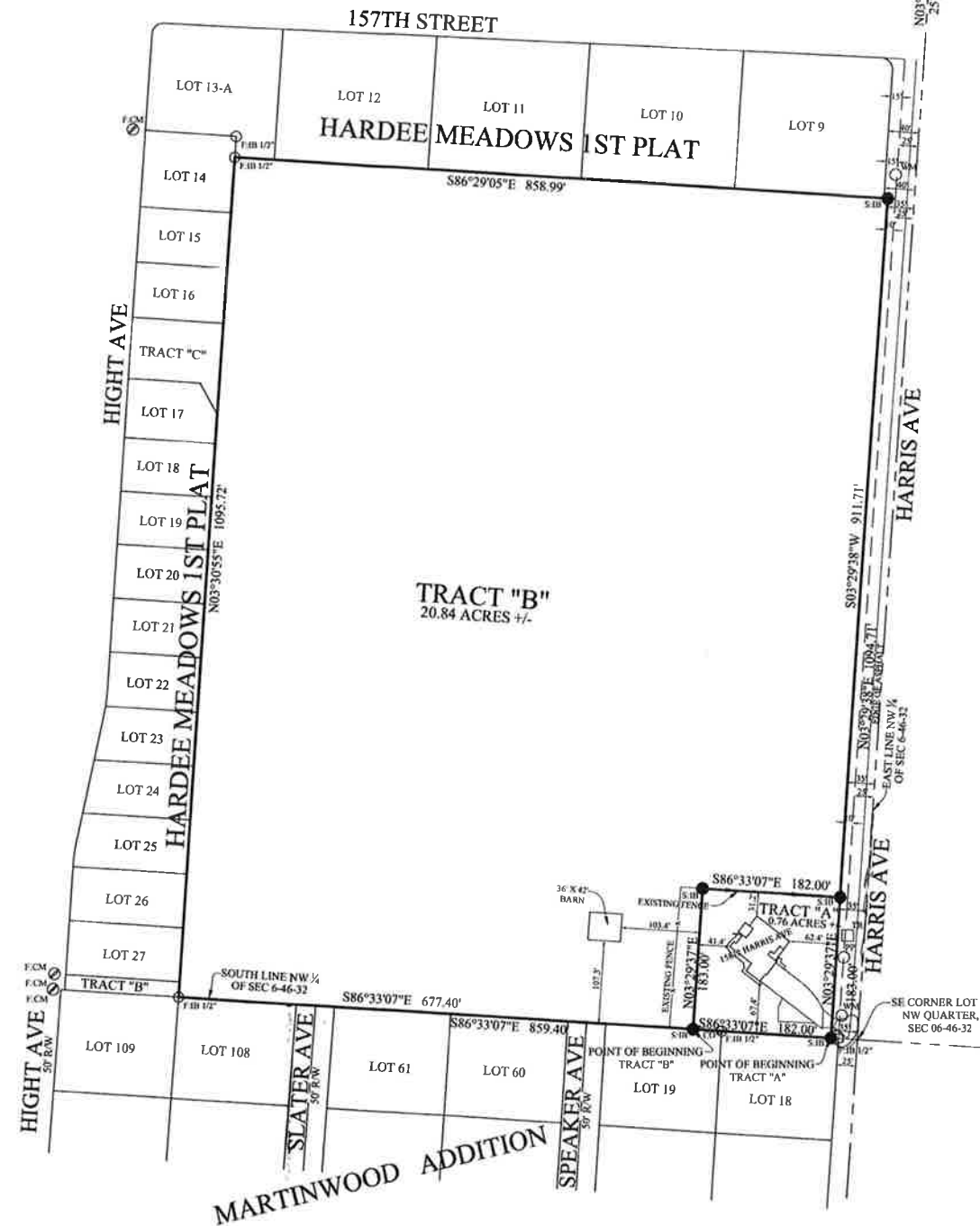
COORDINATES SHOWN ARE NAD83 MISSOURI-WEST ZONE (U.S.
SURVEY FEET) DERIVED FROM CONTROL STATION CA-06 USING
TRIMBLE GPS EQUIPMENT.

GRID FACTOR = 0.9998971
RECIPROCAL = 1.0001029

STATION CA-06 STATE PLANE COORDINATES (US SURVEY FEET)
NORTHING = 971,074.505
EASTING = 2,791,340.447
ELEVATION = 1028.54

MINOR LOT SPLIT

A TRACT OF LAND LOCATED IN THE
NORTHWEST QUARTER OF SECTION 06,
TOWNSHIP 46 NORTH, RANGE 32 WEST
BELTON, CASS COUNTY, MISSOURI



LAND DESCRIPTION TRACT "A"
ALL THAT PART OF LOT 1 OF THE NORTHWEST QUARTER OF SECTION 6, TOWNSHIP 46, RANGE 32, CASS COUNTY, MISSOURI, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID QUARTER SECTION; THENCE NORTH 86 DEGREES 33 MINUTES 07 SECONDS WEST, ALONG THE SOUTH LINE OF SAID QUARTER SECTION, A DISTANCE OF 35.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 86 DEGREES 33 MINUTES 07 SECONDS WEST CONTINUING ALONG SAID SOUTH LINE, A DISTANCE OF 182.00 FEET; THENCE NORTH 03 DEGREES 29 MINUTES 37 SECONDS EAST, A DISTANCE OF 182.00 FEET; THENCE SOUTH 86 DEGREES 33 MINUTES 07 SECONDS EAST, A DISTANCE OF 182.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF HARRIS AVENUE; THENCE SOUTH 03 DEGREES 29 MINUTES 37 SECONDS WEST ALONG SAID RIGHT-OF-WAY LINE 35.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID QUARTER SECTION, A DISTANCE OF 183.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.76 ACRES, MORE OR LESS.

LAND DESCRIPTION TRACT "B"
ALL THAT PART OF LOT 1 OF THE NORTHWEST QUARTER OF SECTION 6, TOWNSHIP 46, RANGE 32, CASS COUNTY, MISSOURI, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID QUARTER SECTION; THENCE NORTH 86 DEGREES 33 MINUTES 07 SECONDS WEST, ALONG THE SOUTH LINE OF SAID QUARTER SECTION, A DISTANCE OF 217.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 86 DEGREES 33 MINUTES 07 SECONDS WEST CONTINUING ALONG SAID SOUTH LINE, A DISTANCE OF 677.40 FEET; THENCE NORTH 03 DEGREES 30 MINUTES 55 SECONDS EAST, A DISTANCE OF 1095.72 FEET; THENCE SOUTH 86 DEGREES 29 MINUTES 05 SECONDS EAST, A DISTANCE OF 858.99 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF HARRIS AVENUE; THENCE SOUTH 03 DEGREES 29 MINUTES 38 SECONDS WEST ALONG SAID RIGHT-OF-WAY LINE 35.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID QUARTER SECTION, A DISTANCE OF 911.71 FEET; THENCE NORTH 86 DEGREES 33 MINUTES 07 SECONDS WEST, A DISTANCE OF 182.00 FEET; THENCE SOUTH 03 DEGREES 29 MINUTES 37 SECONDS WEST, A DISTANCE OF 183.00 FEET TO THE POINT OF BEGINNING, CONTAINING 20.84 ACRES, MORE OR LESS.

STREETS: STREETS SHOWN ON THIS PLAT AND NOT HERETOFORE DEDICATED FOR PUBLIC USE AS STREET RIGHT-OF-WAY, ARE HEREBY SO DEDICATED.

IN TESTIMONY WHEREOF: THE UNDERSIGNED OWNER(S) HAVE SUBSCRIBED THEIR NAMES ON THIS 15th DAY OF October, 2021.

GARY L. HARDEE-TRUSTEE RONDA L. SCHMIDT-TRUSTEE TERRY L. HARDEE-TRUSTEE

STATE OF MISSOURI)
COUNTY OF CASS)

BE IT REMEMBERED THAT ON THIS 15th DAY OF October, 2021, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, CAME GARY L. HARDEE-TRUSTEE & RONDA L. SCHMIDT-TRUSTEE & TERRY L. HARDEE-TRUSTEE TO ME PERSONALLY KNOWN TO BE THE SAME PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT OF WRITING AND DULY ACKNOWLEDGED THE EXECUTION OF SAME. IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARY SEAL THE DAY AND YEAR ABOVE WRITTEN.

MY COMMISSION EXPIRES: 5-13-24

JOEVA L. BECKERDITE
NOTARY PUBLIC-NOTARY SEAL
STATE OF MISSOURI
CASS COUNTY
MY COMMISSION EXPIRES MAY 13, 2024
COMMISSION # 12555639

CITY PLANNING COMMISSION:

THIS SURVEY OF "MINOR LOT SPLIT" HAS BEEN SUBMITTED TO AND APPROVED BY THE BELTON PLANNING COMMISSION THIS DAY OF October, 2021.

CHAIRMAN: COMMUNITY DEV. DIRECTOR:

I, MICHAEL J. HUFFMAN, DO HEREBY CERTIFY THAT THE ABOVE PLAT OF SURVEY IS BASED ON AN ACTUAL FIELD SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION AND THAT SAID SURVEY MEETS OR EXCEEDS THE CURRENT STANDARDS FOR PROPERTY BOUNDARY SURVEYS AS ADOPTED BY THE MISSOURI DEPARTMENT OF AGRICULTURE LAND SURVEY PROGRAM, AND MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS AS ADOPTED BY THE MISSOURI BOARD FOR ARCHITECTS, PROFESSIONAL ENGINEERS, LAND SURVEYORS AND LANDSCAPE ARCHITECTS. I FURTHER CERTIFY THAT I HAVE COMPLIED WITH ALL STATUTES, ORDINANCES AND REGULATIONS GOVERNING THE PRACTICE OF SURVEYING AND PLATTING OF SUBDIVISIONS TO THE BEST OF MY BELIEF.



Michael J. Huffman
MICHAEL J. HUFFMAN
MO RLS-2268
October 10, 2021
DATE

HUFFMAN LAND SURVEYORS, LLC

PO Box 661
Raymore, MO 64083
Office: (816) 322-4544
Email: huffsuvy@ gmail.com



REVISION:	
FILE NAME:	T46 R32 S06 HARDEE.dwg
FILE LOCATION:	Projects\Cass\Belton\T46 R32 S06 Hardee
SURVEY CLASS:	Urban Property Survey

MINOR LOT SPLIT
HARDEE HOME
15812 HARRIS AVE
BELTON, MO 64012

DRAWN BY: RJ5
CHECKED BY: MJH
DATE: OCT. 12, 2021
SCALE: 1" = 50'
SHT 1 OF 1 | S1

SECTION IV.
**FINAL DEVELOPMENT PLAN – 111 SOUTH
MULLEN ROAD**

**FINAL DEVELOPMENT PLAN
TAKE 5 OIL CHANGE & 151 COFFEE
BELTON PLANNING COMMISSION
MONDAY, NOVEMBER 8, 2021 – 5:30 P.M.
CITY HALL ANNEX BUILDING – 520 MAIN STREET**

APPLICATION

Applicant-Driven Assets, LLC./Hank Hopkins

Property Owner-Tammy Townsend

Engineer-High Tide Consultants, LLC./Richard Galloway

Location-The property is located at 111 S. Mullen Road, the southeast corner of Mullen Road and E. North Avenue.

Request-The application was filed for approval of a Final Development Plan to permit the development of a Take 5 Oil Change facility, and a 151 Coffee.

BACKGROUND

This application was filed for a Final Development Plan to allow the redevelopment of the property at 111 S. Mullen Road. This site is the current location of Magic Wand Car Wash. The plan provides for the construction of a *Take 5 Oil Change* facility and a *151 Coffee*, a drive-through express coffee shop.

The property is zoned a C-2 General Commercial District. The drive through coffee shop and drive through oil change facility are permitted uses in this zoning district, with certain conditions pertaining to drive-through facilities and vehicle stacking.

Take 5 Oil Change is proposed to be a 3-bay, 1078 square foot building. The company specializes in drive-through oil changes where the customer stays in their vehicle. The facility will have daily hours of operation and have 3 to 6 employees per shift. *Take 5 Oil Change* has over 600 locations across the country. The nearest locations in Missouri are in the Saint Louis area. For more information on the company, please review information at this link:

<https://www.take5oilchange.com>

151 Coffee is a Texas based company started in 2007 in the Dallas-Fort Worth area. There are currently eight locations in that market and more expansions underway. The Belton location would be their first Midwest store. They provide a quick-service drive-through and walk-up facility. The store will have daily hours of operation and 6 to 8 employees per shift. For more information on the company, please review information at this link:

<https://www.151coffee.com>

FINAL DEVELOPMENT PLAN

The subject site is a .96-acre site located at the southeast corner of S. Mullen Road and E. North Avenue. There is one new 24-foot driveway entrance on Mullen Road that provides access to both users. This drive is at approximately the same location as the drive for the existing carwash, but it will be redesigned. There is no access proposed to East North Avenue.

Compliance with C-2 Standards of the Unified Development Code (UDC):

The plan meets all requirements of the C-2 General Commercial District. The C-2 district is intended to provide mid-size retail and commercial businesses along commercial corridors.

Parking/vehicle stacking: The combined parking requirement for both uses is 22 spaces. This is based on the number of seats and customer service area of *151 Coffee*, and the number of service bays for *Take 5 Oil Change*.

Four vehicle stacking spaces behind the menu board are required for *151 Coffee*. There are 9 spaces in the customer queue on the east side of the building.

All parking spaces meet all dimensional requirements for length, width, and maneuvering.

Required Yards/Setbacks:

Front yard-30-foot required setback. The front setback along E. North Avenue is 40 feet to the edge of the covered patio. The front setback along Mullen Road is 40 feet.

Rear yard-20-foot setback required. 90-foot setback proposed.

Side yard-10-foot setback required. 30-foot setback proposed.

Maximum Building Height-75-foot maximum. 22-foot proposed height for the proposed building.

Maximum Building Coverage-40% maximum. 7% proposed building coverage.

Required Open Space-20% of total land area required. 23% open space provided.

A land-use analysis and site data table is found on Sheet C-1, for overall project specifics.

Building Design: The UDC requires all new commercial buildings to include 50 percent masonry on the front and side elevations, with articulation and offsets to add architectural detail on all four sides. Inasmuch as the final development plan is for two buildings, materials and colors are similar on both structures for a more unified design. The primary materials on both buildings are white modular brick with red accents and storefront glass. The design of *151 Coffee* provides 80 percent masonry with offsets, columns and canopies to provide articulation for the building. *Take 5 Oil Change* has 82 percent masonry with the same white modular brick and aluminum framed overhead doors with a bronze finish.

This design and building materials meet the requirements of the Unified Development Code.

There are two trash enclosure on the plan. The enclosures should be constructed of masonry materials to match the building, with and appropriate screening/landscaping. There is no rooftop mechanical equipment on the building.

Final Development Plan-Take 5 Oil Change/151 Coffee

Landscaping: A landscape plan was submitted with the Final Development Plan. The landscape plan meets the requirements of the UDC. The plan provides 23 percent open space, exceeding the required 20 percent total landscape area, and provides the required shade trees, parking lot landscaping, and street trees.

Streets/access: As noted, access is provided to the site from a redesigned driveway entrance on Mullen Road. There is no access proposed for East North Avenue.

Utilities: The plan includes a utility plan for water and sanitary sewer to serve the site. Staff has reviewed the utility plan and determined that the plan provides adequate public facilities.

Detention: This is a .96-acre parcel. Detention is required for parcels one acre or larger. The developer has provided additional areas of landscaping for stormwater quality purposes.

STAFF RECOMMENDATION

The staff recommends approval of the request for a Final Development Plan for *Take 5 Oil Change* and *151 Coffee*, as noted in the staff report and shown on the development plan. The recommendation is subject to the following conditions:

1. The Final Development Plan for *Take 5 Oil Change* and *151 Coffee* is hereby approved, as shown on plans prepared by High Tide Consultants, LLC. dated 9/29/2021, subject to additional conditions.
2. The trash enclosure shall be constructed with masonry materials to match the buildings, with screening and landscaping.
3. The site photometric plan shall be revised to indicate zero-foot candles at the property line and meet all requirements of Section 28-7.
4. Please provide a 5' utility/ROW easement along the south property line.

PLANNING COMMISSION ALTERNATIVES

1. Motion to **approve** a Final Development Plan for *Take 5 Oil Change* and *151 Coffee*.
2. Motion to **deny** a Final Development Plan for *Take 5 Oil Change* and *151 Coffee*.
3. Motion to continue the application for further information.

ATTACHMENTS

1. Location map
2. Final Development Plan (12 pages)

ArcGIS Web Map



11/5/2021, 12:39:49 PM

Aerial_MARC_2020_6in.tif

Red: Band_1

Green: Band_2

Blue: Band_3

Streets

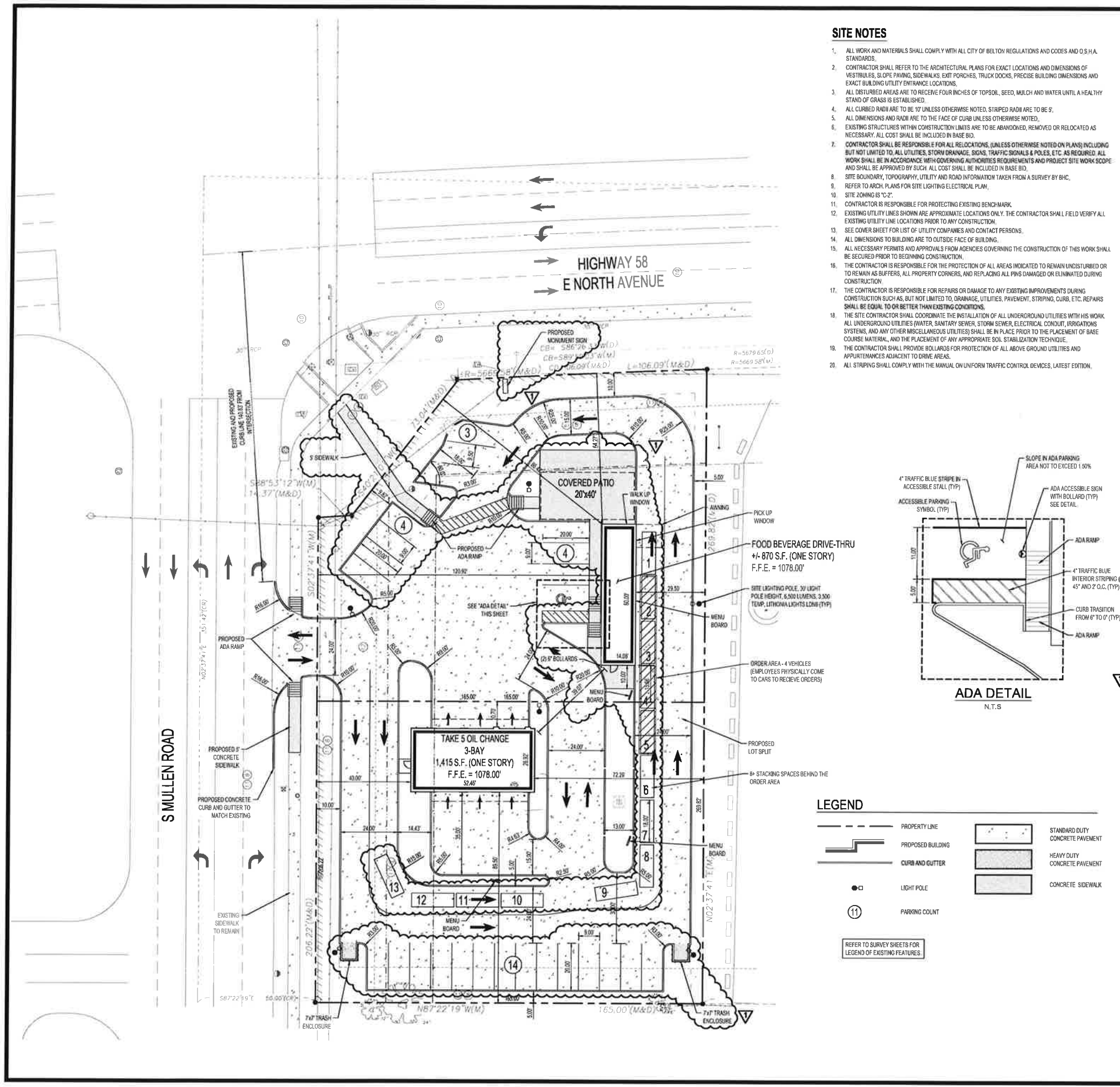
Belton_Parcels

1:1,128

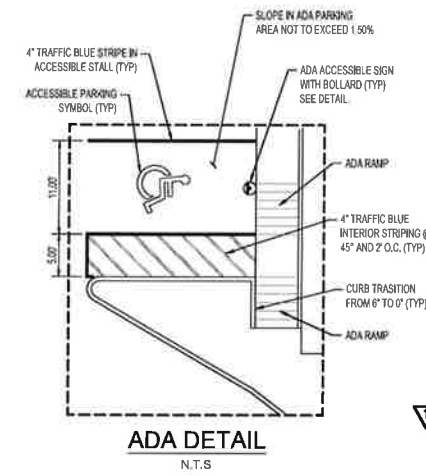
0 0.01 0.02 0.04 0.07 mi

0 0.02 0.04 0.07 km

Maxar, Microsoft, Esri Community Maps Contributors, Kansas City, MO, County of Cass, MO, Missouri Dept. of Conservation, Missouri DNR, © OpenStreetMap, Microsoft, Esri, HERE, Garmin, SafeGraph, INCREMENT P, METINASA, USGS, EPA, NPS, US Census



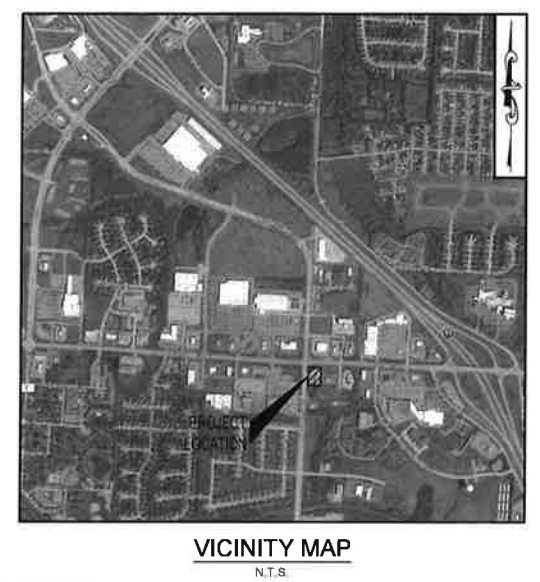
- SITE NOTES**
1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF BELTON REGULATIONS AND CODES AND Q.S.H.A. STANDARDS.
 2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 3. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
 4. ALL CURBED RADII ARE TO BE 10' UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5'.
 5. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 6. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
 7. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SCOPE AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 8. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY BHC.
 9. REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
 10. SITE ZONING IS "C-2".
 11. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING BENCHMARK.
 12. EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO ANY CONSTRUCTION.
 13. SEE COVER SHEET FOR LIST OF UTILITY COMPANIES AND CONTACT PERSONS.
 14. ALL DIMENSIONS TO BUILDING ARE TO OUTSIDE FACE OF BUILDING.
 15. ALL NECESSARY PERMITS AND APPROVALS FROM AGENCIES GOVERNING THE CONSTRUCTION OF THIS WORK SHALL BE SECURED PRIOR TO BEGINNING CONSTRUCTION.
 16. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL AREAS INDICATED TO REMAIN UNDISTURBED OR TO REMAIN AS BUFFERS, ALL PROPERTY CORNERS, AND REPLACING ALL PINS DAMAGED OR ELIMINATED DURING CONSTRUCTION.
 17. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OR DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
 18. THE SITE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL CONDUIT, IRRIGATIONS SYSTEMS, AND ANY OTHER MISCELLANEOUS UTILITIES) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, AND THE PLACEMENT OF ANY APPROPRIATE SOIL STABILIZATION TECHNIQUE.
 19. THE CONTRACTOR SHALL PROVIDE BOLLARDS FOR PROTECTION OF ALL ABOVE GROUND UTILITIES AND APPURTENANCES ADJACENT TO DRIVE AREAS.
 20. ALL STRIPING SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.



LEGEND

	PROPERTY LINE		STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED BUILDING		HEAVY DUTY CONCRETE PAVEMENT
	CURB AND GUTTER		CONCRETE SIDEWALK
	LIGHT POLE		
	PARKING COUNT		

REFER TO SURVEY SHEETS FOR LEGEND OF EXISTING FEATURES



PARKING ANALYSIS

TAKE 5:	3 SERVICE BAYS + 1,415 S.F.
PARKING REQUIRED:	6 SPACES (1 PER BAY, MINIMUM 6 SPACES)
FOOD / BEVERAGE DRIVE-THRU:	800 S.F. PATIO
PARKING REQUIRED:	16 SPACES (1 PER 4 SEATS OR 1 PER 50 SF OF CUSTOMER SERVICE AREA)
TOTAL PARKING REQUIRED:	22 SPACES
TOTAL PARKING PROVIDED:	25 SPACES (INCLUDING 1 ADA)

ACREAGE ANALYSIS

PROPOSED TAKE 5 LOT:	0.48 AC.
PROPOSED DRIVE-THRU LOT:	0.48 AC.
EXISTING TRACT A - LOT 1 (TOTAL):	0.96 AC.

LAND USE TABLE

ZONING:	C-2
REQUIREMENTS:	
MINIMUM LOT AREA -	10,000 S.F.
MINIMUM LOT WIDTH -	100'
MINIMUM YARDS - FRONT 30'; REAR 20'; SIDE 10'	
MAXIMUM BUILDING HEIGHT -	75'
MAXIMUM BUILDING COVERAGE -	40% OF LOT
OPEN SPACE REQUIRED -	20%

Not For Construction

SITE PLAN

SCALE IN FEET

REVISION	BY
9-29-21	JPH
REVISED PER CITY COMMENTS	

HIGH TIDE CONSULTANTS LLC
700 CANAL BOULEVARD
THIBODAUX, LA 70301
www.hightidela.com

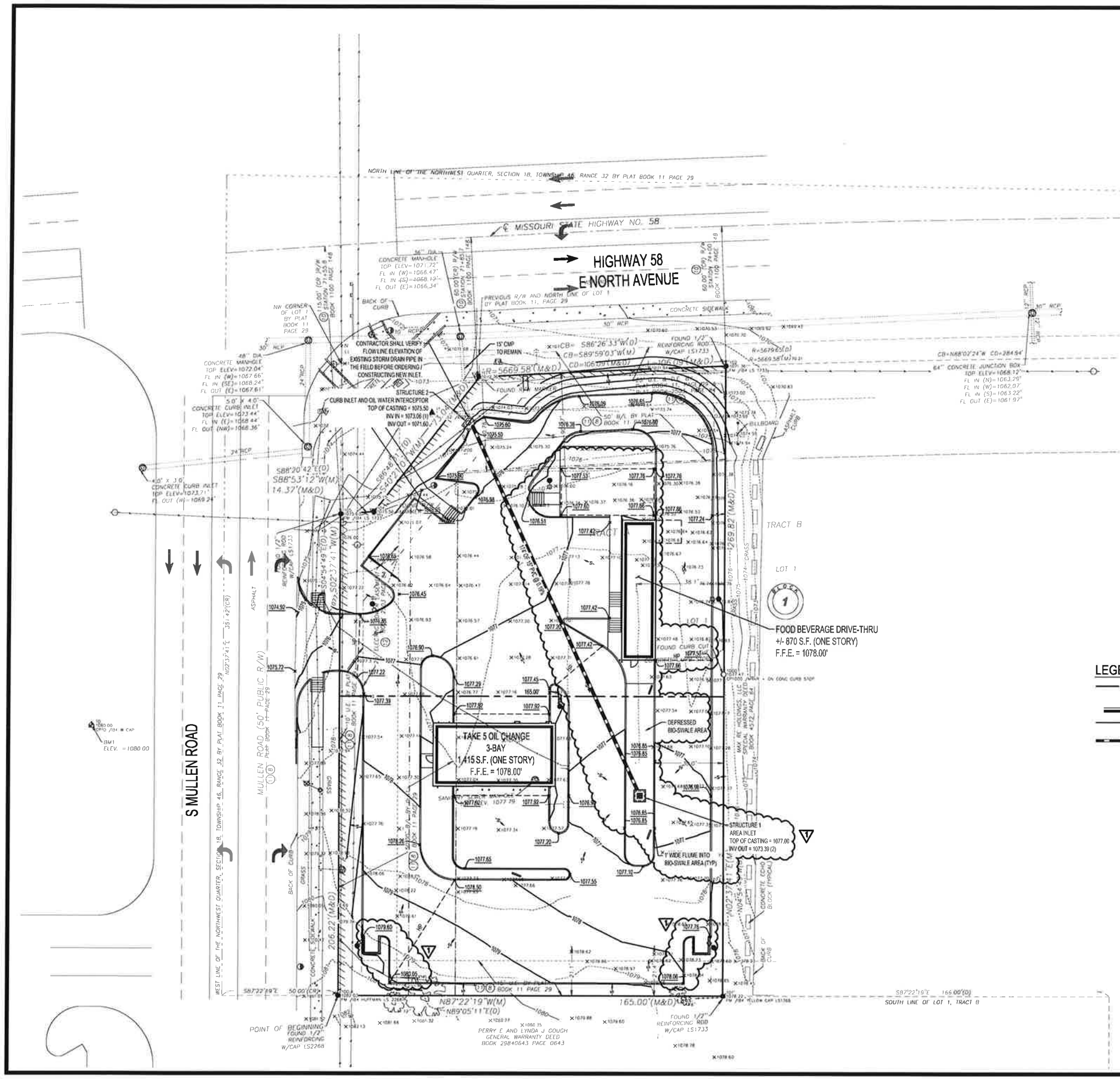
SEPTEMBER 29, 2021
DATE:

STATE OF MISSOURI
B. SHANE GUIN
NUMBER 202100004
ENGINEER

PROPOSED TAKE 5 OIL CHANGE
S MULLEN ROAD @ HIGHWAY 58
BELTON, MISSOURI

DRIVEN ASSETS, LLC

DRAWN	JPH
CHECKED	RCG
ISSUED DATE	9-29-21
ISSUED FOR	FINAL DEVELOPMENT PLAN
PROJECT NO.	21-120
FILE	21-120 SITE
SHEET	C-1



GRADING NOTES

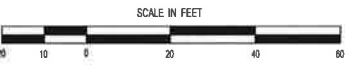
1. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING FEATURES, INCLUDING REMOVAL OF ANY EXISTING UTILITIES UNLESS OTHERWISE NOTED ON THE PLANS. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY LIMITS.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
4. PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
5. EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
6. IF ANY EXISTING STRUCTURES SHOWN TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
7. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
8. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
9. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
10. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
11. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY BHC. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
12. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1 OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS ESTABLISHED.
13. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAVE.
14. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARD OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES.
15. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.

LEGEND - PROPOSED IMPROVEMENTS

	PROPERTY LINE		CONTOUR
	PROPOSED BUILDING		DITCH CENTER LINE
	CONCRETE CURB		SPOT ELEVATION
	STORM DRAIN PIPE		HIGH POINT / GRADE BREAK
	AREA INLET		SLOPE ARROW
	CURB INLET		WATER LINE
	4' FLUME		SANITARY SEWER LINE
			GAS LINE
			UNDERGROUND ELECTRICAL LINE

Not For Construction

GRADING PLAN



REVISION	BY
9-29-21	JPH
REVISED PER CITY COMMENTS	

HIGH TIDE
CONSULTANTS LLC
700 CANAL BOULEVARD
THIBODAUX, LA 70301
www.hightidela.com

STAMP
B. SHANE
CUN
NUMBER
202100049
ENGINEER
STATE OF MISSOURI
PROFESSIONAL

SIGNATURE: [Signature]
DATE: SEPTEMBER 29, 2021

PROPOSED TAKE 5 OIL CHANGE
S MULLEN ROAD @ HIGHWAY 58
BELTON, MISSOURI

DRIVEN ASSETS, LLC

DRAWN
JPH

CHECKED
RCG

ISSUED DATE
9-29-21

ISSUED FOR
FINAL DEVELOPMENT PLAN

PROJECT NO.
21-120

FILE
21-120 GRADING

SHEET
C-2

GENERAL PLANTING NOTES

1. LOCATE ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. ANY DAMAGE DONE TO EXISTING OR NEW UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO OWNER.
2. PLANTS SHALL BE WELL FORMED, NO. 1 GRADE OR BETTER NURSERY STOCK AND SHALL MEET THE APPLICABLE STANDARDS NOTED HEREIN AND SHALL BE SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT.
3. STAKE OUT ALL TREE LOCATIONS AND PLANTING BED EDGE CONFIGURATIONS FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. BED EDGES SHALL HAVE SMOOTH, EVEN LINES AS SHOWN ON THE DRAWINGS. LOCATE AS SHOWN ON PLANS.
4. COORDINATE WORK WITH THE WORK OF OTHER TRADES ON THE SITE.
5. ENTIRE SITE SHALL BE GRADED TO FINISH GRADE PRIOR TO SCHEDULING PLANTING INSTALLATION.
6. PLANTS SHALL BE SPECIMEN QUALITY, FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. SHRUBS SHALL BE FULL TO GROUND.
7. PLANT MATERIAL OF THE SAME SPECIES SHALL BE MATCHING IN CHARACTER AND SIZE, OBTAINED FROM THE SAME SOURCE.
8. ANY CHANGES IN PLANT MATERIAL SIZE, QUANTITY, SPECIES OR VARIETY MUST BE APPROVED BY THE OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

LANDSCAPE ORDINANCE STANDARDS

1. ALL LANDSCAPING SHALL BE INSTALLED IN A SOUND MANNER AND IN ACCORDANCE WITH ACCEPTED STANDARDS OF THE NURSERYMAN'S MANUAL FOR THE ENVIRONMENTAL HORTICULTURE INDUSTRY.
2. PLANT MATERIALS SHALL BE TRUE TO NAME, VARIETY AND SIZE AND SHALL CONFORM TO ALL APPLICABLE PROVISIONS OF THE AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION.
3. ALL SINGLE TRUNK TREES SHALL HAVE A MINIMUM OF TWO (2) 1" INCH CALIPER UPON PLANTING. SINGLE TRUNK TREES MUST MEASURE A MINIMUM OF TEN (10) FEET TALL UPON PLANTING. ALL TREE HEIGHTS SHALL BE MEASURED FROM THE TOP OF THE ROOT BALL TO THE TIP OF THE HIGHEST BRANCH. SEE PLANT SCHEDULE FOR HEIGHTS AS SPECIFIED BY PLANT.
4. TREE STANDARDS: TREES SELECTED FOR PLANTING SHALL MEET THE MINIMUM REQUIREMENTS PROVIDED IN THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, LATEST EDITION AS PUBLISHED BY THE AMERICA NURSERY AND LANDSCAPE ASSOCIATION.
5. SHRUB QUALITY STANDARDS: SHRUBS SELECTED FOR PLANTING SHALL MEET THE MINIMUM REQUIREMENTS PROVIDED IN THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, LATEST EDITION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. SHRUBS SIZE SHALL BE A MINIMUM 3-GALLON WELL-ROOTED CONTAINER STOCK.
6. GROUND COVER AND VINES QUALITY STANDARDS: GROUND COVER (OTHER THAN TURF GRASS) SHALL BE A MINIMUM OF FOUR (4) INCH WELL-ROOTED CONTAINER STOCK SPACED NO MORE THAN EIGHT (8) INCHES ON CENTER. WELL-ROOTED TWO-AND-ONE-HALF (2 1/2) INCH CONTAINER STOCK MAY BE SUBSTITUTED AND SPACED SIX (6) INCHES ON CENTER. VINES AND GROUND COVER PLANTS SHOULD SHOW A NUMBER OF VIGOROUS WOODY RUNNERS OR A WELL DEVELOPED CROWN.

IRRIGATION NOTES

1. LOCATE ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. ANY DAMAGE DONE TO EXISTING OR NEW UTILITIES SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ON SITE STRUCTURES OR PAVING RESULTING FROM IRRIGATION CONSTRUCTION AND IS TO REPAIR ANY DAMAGE WHICH OCCURS DURING INSTALLATION AT NO ADDITIONAL COST TO OWNER.
3. CONTRACTOR SHALL FOLLOW LOCAL IRRIGATION REQUIREMENTS REGARDING PIPE DEPTH, TAPS AND BACKFLOW PREVENTION DEVICES, ETC.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMING TO ALL CODES AND ORDINANCES RELEVANT TO THE WORK UNDER THIS CONTRACT.
5. ALL WORK, ADJUSTMENTS AND INSPECTIONS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS AND LABOR TO FULLY EXECUTE AND GUARANTEE, AS REQUIRED, THE TOTAL WORK AS PER INSTRUCTIONS OF THE OWNER.
7. IRRIGATION SHALL BE PROVIDED ON DESIGN BUILD BASIS. THE CONTRACTOR SHALL LOCATE ALL LINES AND HEADS IN SUCH A WAY AS TO CAUSE THE LEAST CONFLICT WITH THE LOCATION OF UTILITIES AND PROPOSED PLANTS.
8. IRRIGATION PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 24" OR BELOW FROST DEPTH, WHICHEVER IS GREATER.
9. IRRIGATION CONTRACTOR TO COORDINATE PLACEMENT OF REQUIRED SLEEVES WITH GENERAL CONTRACTOR PRIOR TO PAVING AND CONCRETE INSTALLATION BEING COMPLETED.
10. PVC SLEEVES SHALL BE INSTALLED AT A DEPTH OF AT LEAST 24" BELOW PAVEMENT SURFACE AND NO DEEPER THAN 36". END OF SLEEVE SHALL EXTEND 6" BEYOND CURB OR PAVEMENT EDGE.
11. CONTRACTOR TO CONFIRM ADEQUATE PRESSURE EXISTS TO OPERATE SYSTEM PRIOR TO INSTALLATION.
12. IRRIGATION SYSTEM TO BE OPERATIONAL BEFORE PLANTING MATERIALS MAY BE INSTALLED IN PLANTING BEDS.
13. IRRIGATION SYSTEM SHALL BE PROVIDED TO ALL PLANTING AND LAWN AREAS WITHIN PROJECT SITE.
14. IRRIGATION CONTRACTOR SHALL INSTALL DRAIN VALVE AT LOWEST POINT FOR WINTERIZING SYSTEM.

LANDSCAPE MATERIALS AND PLANTS LIST

QUANTITY	PLANT / MATERIAL NAME AND DESCRIPTION
3,550 ±	Bed Preparation (square feet) 6" planting soil over 8" loosened topsoil. Mix top 4" of topsoil with first 3" of imported planting soil.
73	Gravel (square feet) 1"-2" river rock; 3" depth layer over non-woven filter fabric
78	Metal Edging (linear feet) 1/2" x 4" aluminum edging color black; install between planting and gravel border
3,550 ±	Hardwood Mulch, shredded (square feet) 3" thick layer in all planting areas and 2x root ball diameter ring around all trees
1,100	Sod - Kentucky Bluegrass, (square yards) certified weed and pest free
5	Bald Cypress (Taxodium distichum) 45 gallon container, 10'-12" height 6'-7" spread, 2 1/2" caliper, heavily branched, full canopy
65	Daylily 'Stella D'Oro' (Hemerocallis fulva 'Stella D'Oro') 1 gallon container, minimum of 3 fans, heavy foliage
212	Juniper 'Armstrong' (Juniperus chinensis 'Armstrongii') 3 gallon container, 20" - 24" height, 18"-24" spread, 2.5" OC, dense and compact growth habit
21	Juniper 'GREY OWL' (Juniperus virginiana 'Grey Owl') 5 gallon container, 24" - 36" height, 24"-36" spread, 3" OC, dense and compact growth habit
3,032	Liriope (Liriope muscari) 4" Container, 4"-6" height and spread, full container 4 per square foot
9	Shumard Oak (Quercus shumardii) 65 gallon container, 12"-14" height, 3"-3 1/2" cal., 6'-7" height, single leader

LANDSCAPE ORDINANCE CALCULATIONS

BELTON, MO MUNICIPAL CODE - CHAPTER 22
LOT(S) 1&2, LAND USE - COMMERCIAL

OPEN SPACE (as required)
NOT REQUIRED

PARKING LOT ISLAND PLANTING (INTERIOR)
A. 1 SHADE TREE / 10 SPACES
B. 3 SHRUBS / 10 SPACES

REQUIRED: 5 TREES
REQUIRED: 15 SHRUBS
PROVIDED: 5 TREES (SEE PLAN)
PROVIDED: 21 SHRUBS (SEE PLAN)

FRONT YARD/ STREET FRONTAGE

A. 1 TREE PER 40 LF
B. 6' CONTINUOUS LANDSCAPE STRIPE

366 LINEAR FEET =

REQUIRED: 9 TREES + CONTINUOUS 6' LANDSCAPE STRIP
PROVIDED: 9 TREES + CONTINUOUS 6' LANDSCAPE STRIP

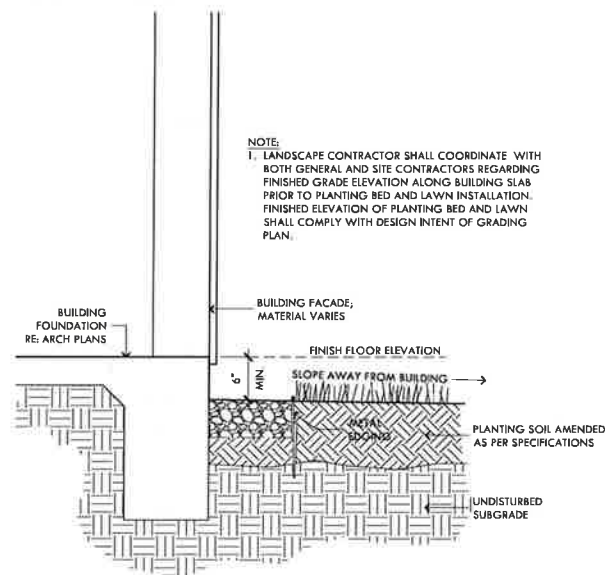
SIDE YARD
NOT REQUIRED

SITE PERIMETER
NOT REQUIRED

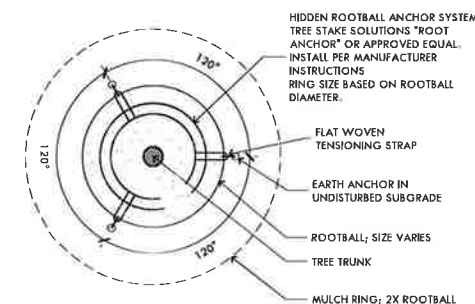
McKNIGHT
LANDSCAPE ARCHITECTS

600 S. FLORENCE DRIVE, SUITE 100
BELTON, MISSOURI 64015-1000
P: 816-334-1000 F: 816-334-1001
WWW.MCKNIGHTLANDSCAPE.COM

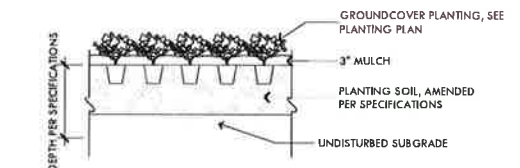
REVISION	BY



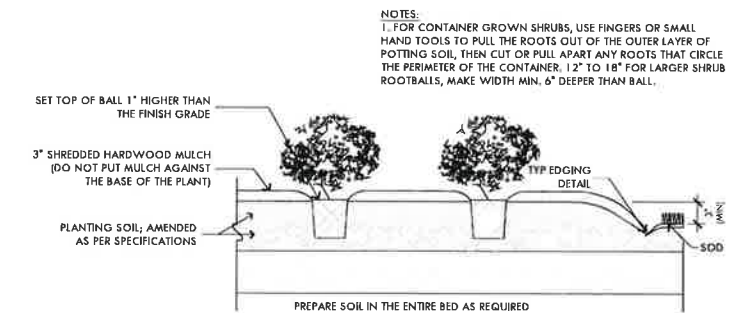
A PLANTING AT BUILDING (TYPICAL) SECTION
1" = 1'-0"



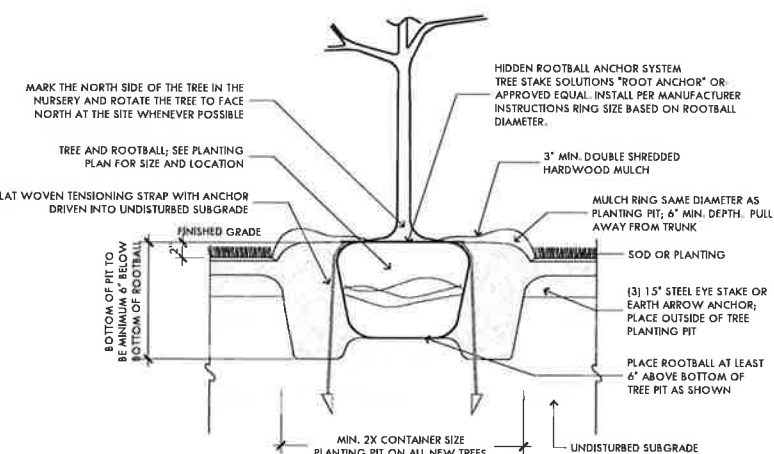
B TREE STAKING - TYPICAL PLAN
1/2" = 1'-0"



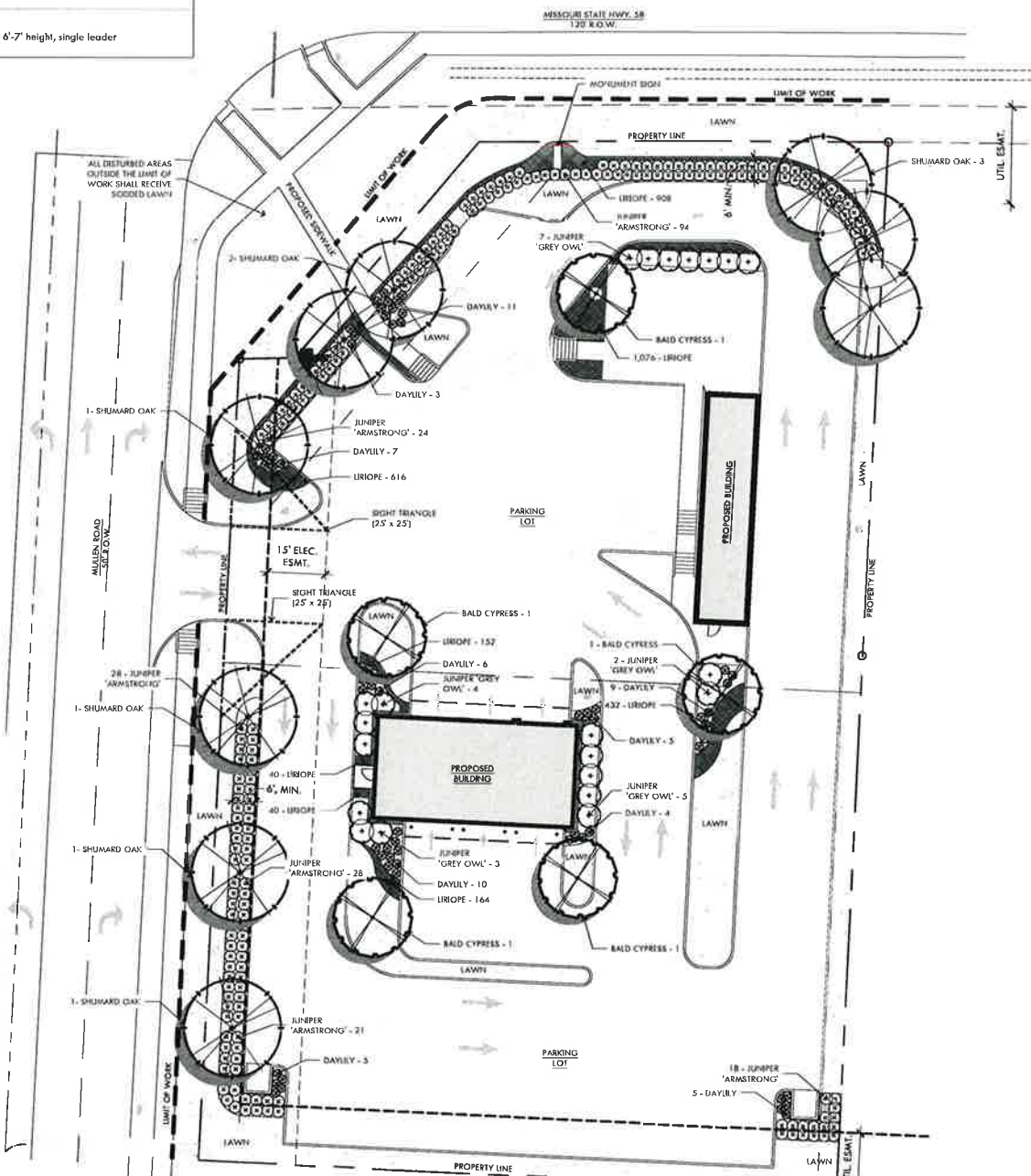
C GROUND COVER PLANTING - TYPICAL SECTION
1/2" = 1'-0"



D SHRUB PLANTING - TYPICAL SECTION
1/2" = 1'-0"



E TREE PLANTING - TYPICAL SECTION
1/2" = 1'-0"



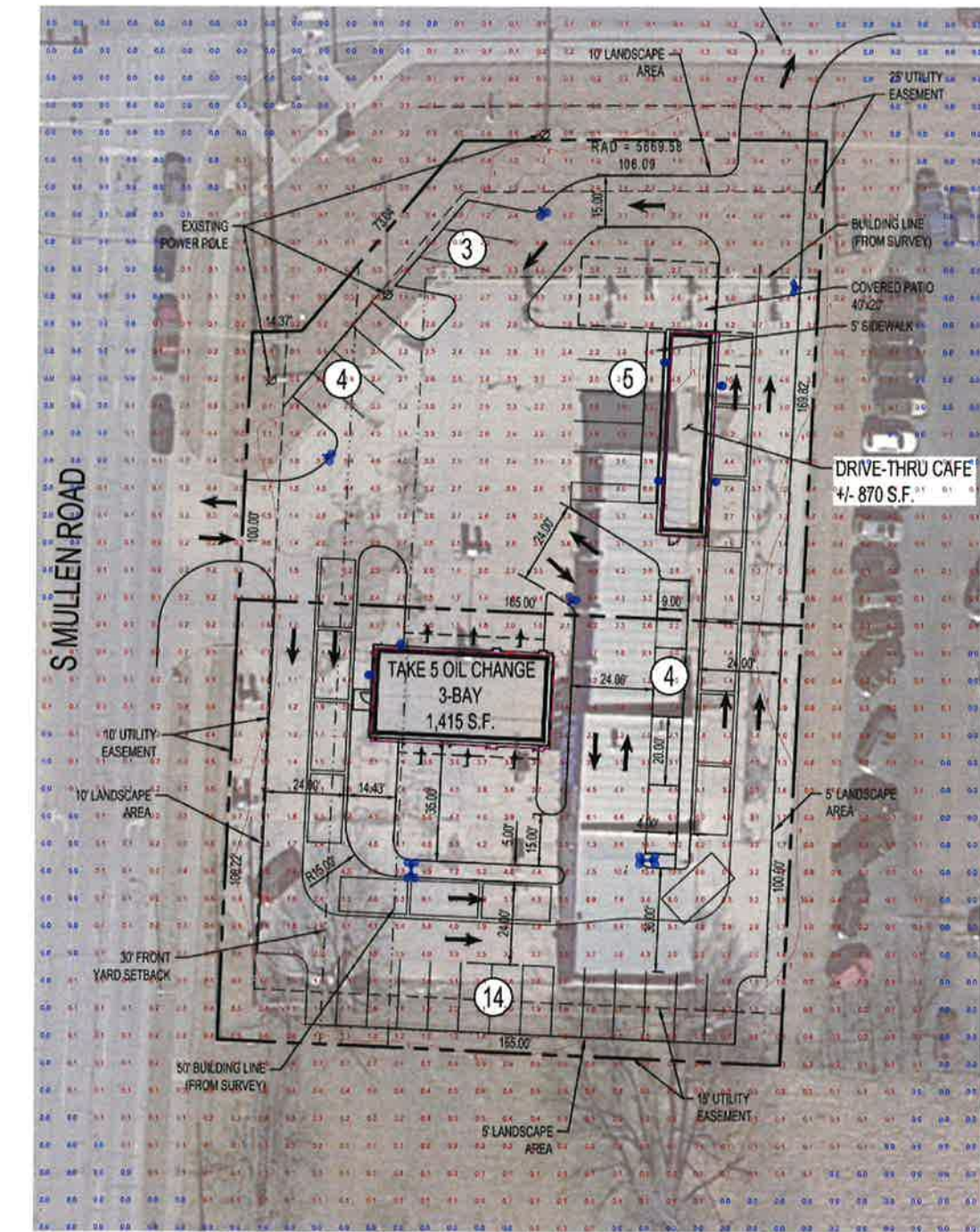
1 PLANTING PLAN
SCALE: 20' = 1'-0"

PROPOSED TAKE 5 OIL CHANGE
S MULLEN ROAD @ HIGHWAY 58
BELTON, MISSOURI
DRIVEN ASSETS, LLC

DRAWN BY
CHECKED BY
ISSUED DATE
7-28-21
ISSUED FOR
FINAL DEVELOPMENT PLAN
PROJECT NO.
21-49
FILE
PLANTING PLAN

SHEET
L5.0

Symbol	Label	Quantity	Manufacturer	Coloring Number	Description	Lamp	Filename	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
1	B	1	METEOR Lighting	LANZE 4 Series/ 30W (Down: 15W Up: 15W) / 4000K(CRI85) / Down:30deg Up: 15deg/ VLM	LA4-30-400-XXX-XXX-3015-XXX-XXX		LA4-30-400-XXX-XXX-3015-XXX-XXX.ies	1	Absolute	1.00	30.0
2	D	7	Lithonia Lighting	DSX1 LED P5 40K T4H MVOLT	DSX1 LED P5 40K T4H MVOLT	LED	DSX1_LED_P5_40K_T4H_MVOLT.ies	1	Absolute	1.00	138.0
3	F	6	Lithonia Lighting	WST LED P1 40K WF MVOLT	WST LED, Performance package 1, 4000 K, LED visual comfort Forward throw, MVOLT		WST_LED_P1_40K_WF_MVOLT.ies	1	Absolute	1.00	14.0
4	G	1	Lithonia Lighting	DSX1 LED P5 40K BLC MVOLT	DSX1 LED P5 40K BLC MVOLT	LED	DSX1_LED_P5_40K_BLC_MVOLT.ies	1	Absolute	1.00	138.0



1 SITE PHOTOMETRICS
N.T.S.

ADG BATON ROUGE
10705 RIEGER ROAD, SUITE 101
BATON ROUGE, LA 70809
PHONE 225-293-9474



PROPOSED TAKE 5 OIL
CHANGE
S MULLEN ROAD @ HIGHWAY 58
BELTON, MISSOURI

Revision Date
DATE: 8/22/21
ADG PROJECT NO: 21-228

DRAWN: KB
CHECKED: LB

SHEET NO:

E1.0

NOTE:
CONTRACTOR TO SUPPLY COLOR SAMPLES BEFORE
FINAL COLOR
SELECTIONS ARE MADE FOR THE BRICK.
COLOR MATCH GROUT TO THE COLOR OF BRICK.
CONTROL JOINT SEALANT TO MATCH AGAINST BRICK
COLOR.

EXTERIOR MATERIAL LEGEND: X-1				
CODE	ITEM	COLOR:	MANUFACTURER:	REMARKS:
E-1	STOREFRONT GLAZING	ALUMINUM		CLEAR ANODIZED ALUMINUM STOREFRONT W/ INSULATED GLAZING
E-2	BRICK MODULAR 4x16	INTERSTATE ARTIC WHITE	BLACKSON BRICK	MODULAR, CONTACT BRAE BARTON 817.874.3194
E-3	BRICK MODULAR 4x16	INTERSTATE MIDNIGHT BLACK	BLACKSON BRICK	MODULAR, CONTACT BRAE BARTON 817.874.3194
E-4	STANDING SEAM PANEL	BRITE RED/ LILLY INDUSTRIES	MUELLER	MSL STANDING SEAM ROOF
E-5	METAL AWNING	BRITE RED	ARCHFAB	MATCH MBI BRITE RED
E-6	FASCIA	SW6871	SHEWIN-WILLIAMS	POSITIVE, SEMIGLOSS
E-7	SOFFIT	SW7076	SHEWIN-WILLIAMS	CYBERSPACE, SEMIGLOSS
E-8	R PANEL METAL ROOF	BRITE RED/ LILLY INDUSTRIES	MUELLER	MSL STANDING SEAM ROOF
E-9	R PANEL METAL ROOF	GRAY	MUELLER	MSL STANDING SEAM ROOF



WEST - WALL ELEVATION CALCULATIONS:
TOTAL SQUARE FOOTAGE = 827 SF
(EXCLUDES ROOF, AWNING, GLASS)
MASONRY BRICK = 644 SF = 78%
METAL PANEL = 183 SF = 22%

1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



EAST - WALL ELEVATION CALCULATIONS:
TOTAL SQUARE FOOTAGE = 957 SF
(EXCLUDES ROOF, AWNING, GLASS)
MASONRY BRICK = 804 SF = 81%
METAL PANEL = 183 SF = 19%

2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT TO BE USED
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APPROVAL,
PERMITTING OR
CONSTRUCTION



151 COFFEE
S. MULLEN RD & HWY 58
BELTON, MO

Revisions:

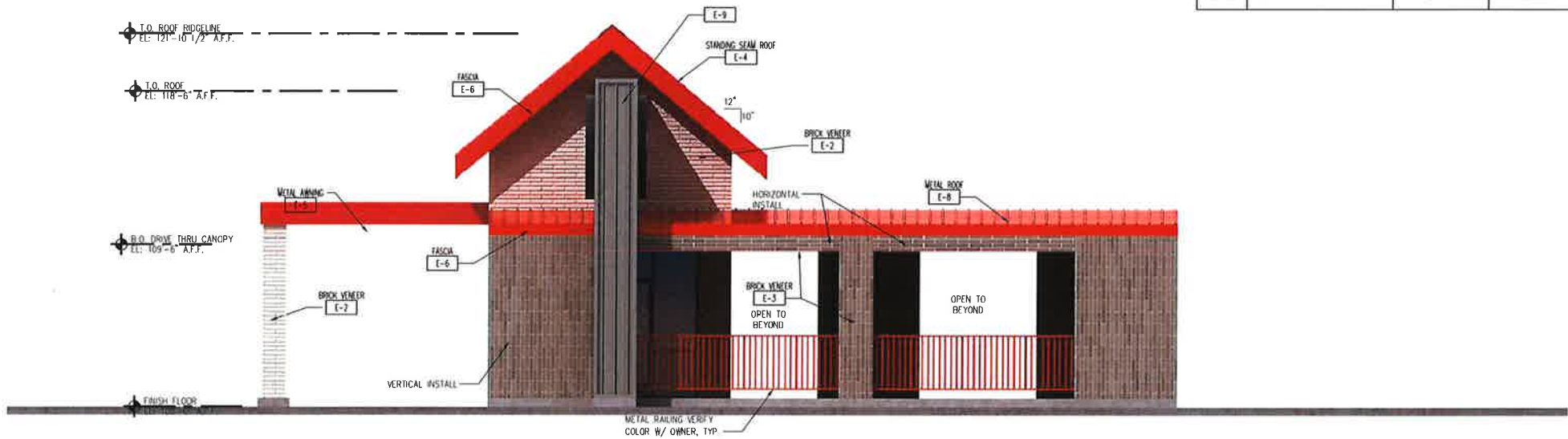
File Name: 21258-A3.1
Project No: 21258
Date: 09/27/21
Drawn By: GSS
Checked By: TT

SHEET
A3.1
EXTERIOR
ELEVATIONS

NOTE:
CONTRACTOR TO SUPPLY COLOR SAMPLES BEFORE
FINAL COLOR
SELECTIONS ARE MADE FOR THE BRICK.
COLOR MATCH GROUT TO THE COLOR OF BRICK.
CONTROL JOINT SEALANT TO MATCH AGAINST BRICK
COLOR.

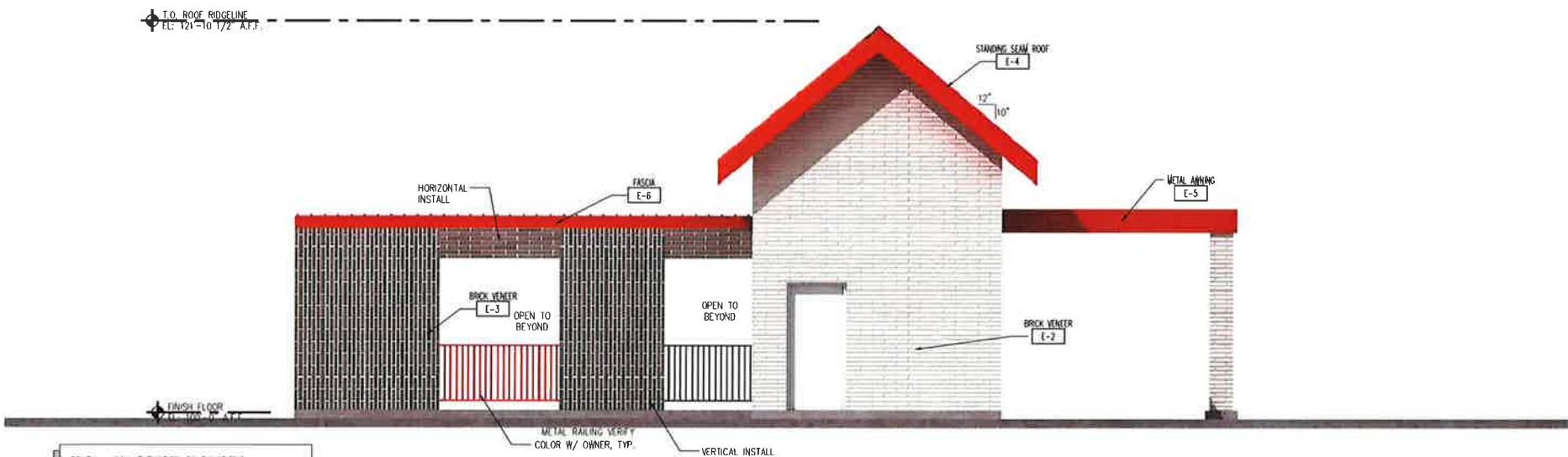
EXTERIOR MATERIAL LEGEND:

CODE	ITEM	COLOR:	MANUFACTURER:	REMARKS:
E-1	STOREFRONT GLAZING	ALUMINUM		CLEAR ANODIZED ALUMINUM STOREFRONT W/ INSULATED GLAZING
E-2	BRICK MODULAR 4x16	INTERSTATE ARTIC WHITE	BLACKSON BRICK	MODULAR, CONTACT BRAE BARTON 817.874.3194
E-3	BRICK MODULAR 4x16	INTERSTATE MIDNIGHT BLACK	BLACKSON BRICK	MODULAR, CONTACT BRAE BARTON 817.874.3194
E-4	STANDING SEAM PANEL	BRITE RED/ LILLY INDUSTRIES	MUELLER	MSL STANDING SEAM ROOF
E-5	METAL AWNING	BRITE RED	ARCHFAB	MATCH MBOI BRITE RED
E-6	FASCIA	SW6871	SHEWIN-WILLIAMS	POSITIVE, SEMIGLOSS
E-7	SOFFIT	SW7076	SHEWIN-WILLIAMS	CYBERSPACE, SEMIGLOSS
E-8	R PANEL METAL ROOF	BRITE RED/ LILLY INDUSTRIES	MUELLER	MSL STANDING SEAM ROOF
E-9	R PANEL METAL ROOF	GRAY	MUELLER	MSL STANDING SEAM ROOF



NORTH - WALL ELEVATION CALCULATIONS:
TOTAL SQUARE FOOTAGE = 266 SF
(EXCLUDES ROOF, AWNING, GLASS)
MASONRY BRICK = 220 SF = 83%
METAL PANEL = 46 SF = 17%

1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH - WALL ELEVATION CALCULATIONS:
TOTAL SQUARE FOOTAGE = 389 SF
(EXCLUDES ROOF, AWNING, GLASS)
MASONRY BRICK = 389 SF = 100%
METAL PANEL = 0

2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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151 COFFEE
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BELTON, MO

Revisions:

File Name: 21258-A3.2
Project No: 21258
Date: 09/27/21
Drawn By: GSS
Checked By: T

SHEET
A3.2
EXTERIOR
ELEVATIONS



1 PERSPECTIVE SITE VIEW
SCALE: NTS

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BELTON, MO

Revisions:

File Name:	21258-A3.2
Project No:	21258
Date:	09/27/21
Drawn By:	CSS
Checked By:	TI

SHEET
A3.2a
30

Storefront glazing: aluminum, medium bronze
Modular Brick: Blackson Brick in interstate arctic white.
Band at top: stucco in red
Off white entry wall: stucco in off white
Coping Band: Berridge 24 gauge colorclad metal in medium bronze
Garage doors: Clopay aluminum doors in medium bronze with glazing panels
Roof (concealed by parapets): Roofing material is white TPO.

ALL BUILDING MATERIALS WILL BE COORDINATED WITH THE ADJACENT COFFEE SHOP
THERE ARE NO ROOFTOP UNITS ON THIS BUILDING

TAKE 5 OIL - BELTON - PRELIMINARY RENDERINGS FOR APPROVAL

TAKE 5 OIL LOGO
TO FOLLOW



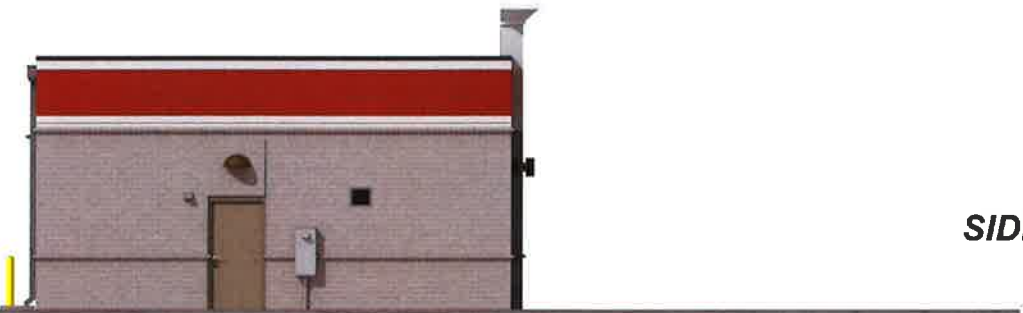
FRONT ELEVATION



SIDE ELEVATION (RIGHT)



REAR ELEVATION



SIDE ELEVATION (LEFT)

Date: 07-21-2023
Drawn By: GEG
Checked By: MRG
Project Number: Take 5 Oil
Revision: Date:

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We will promptly administer construction.

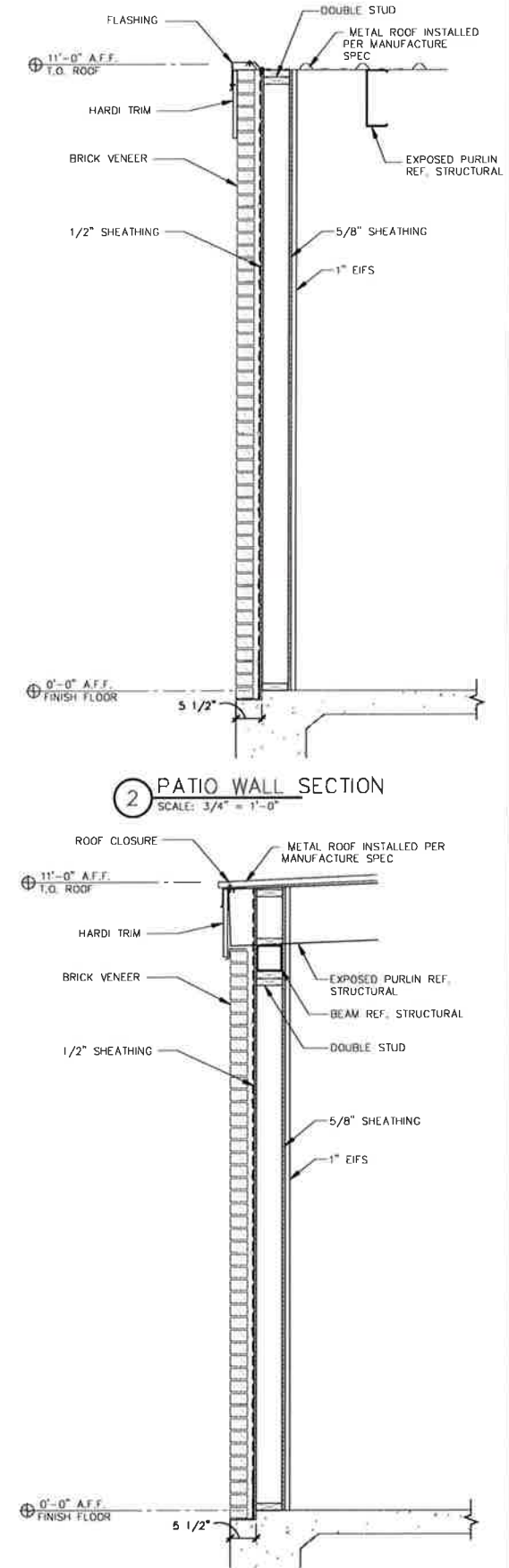
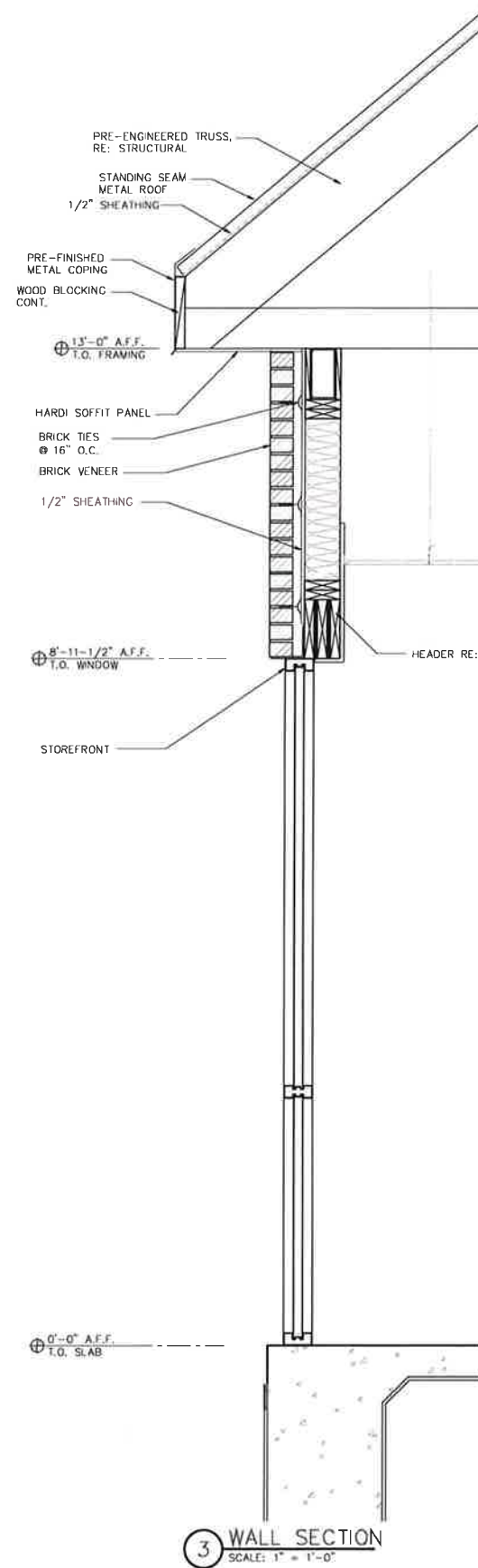
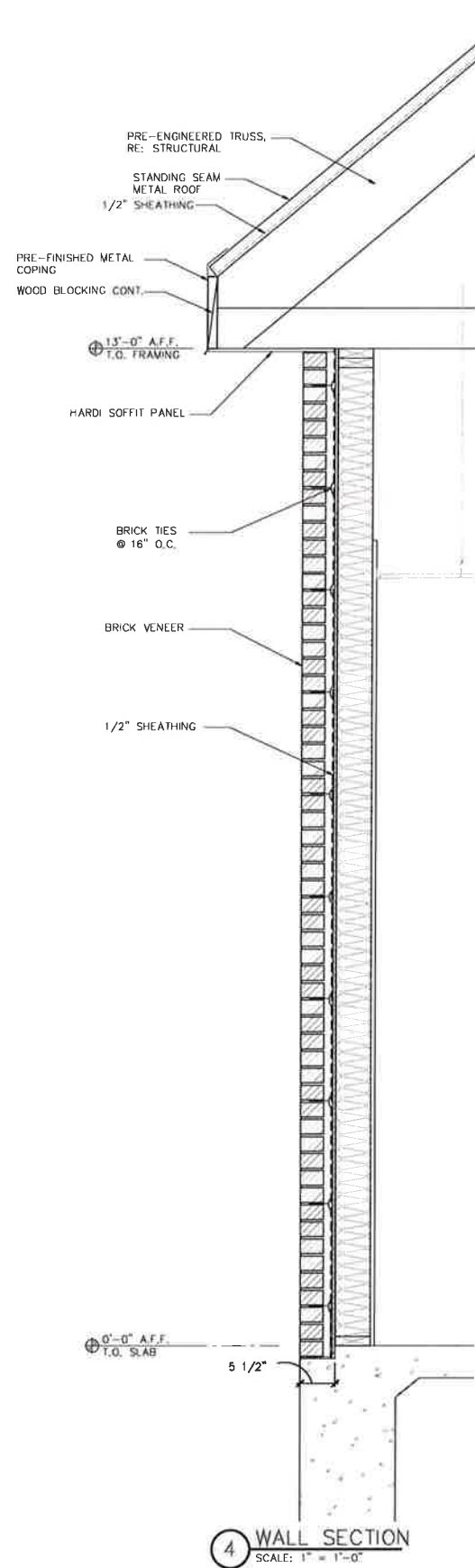
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Take 5 Oil change Shop
Preliminary Design

A4.00

Bldg Elevations

phase:
set no:



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151 COFFEE
S. MULLEN RD & HWY 58
BELTON, MO

Revisions:

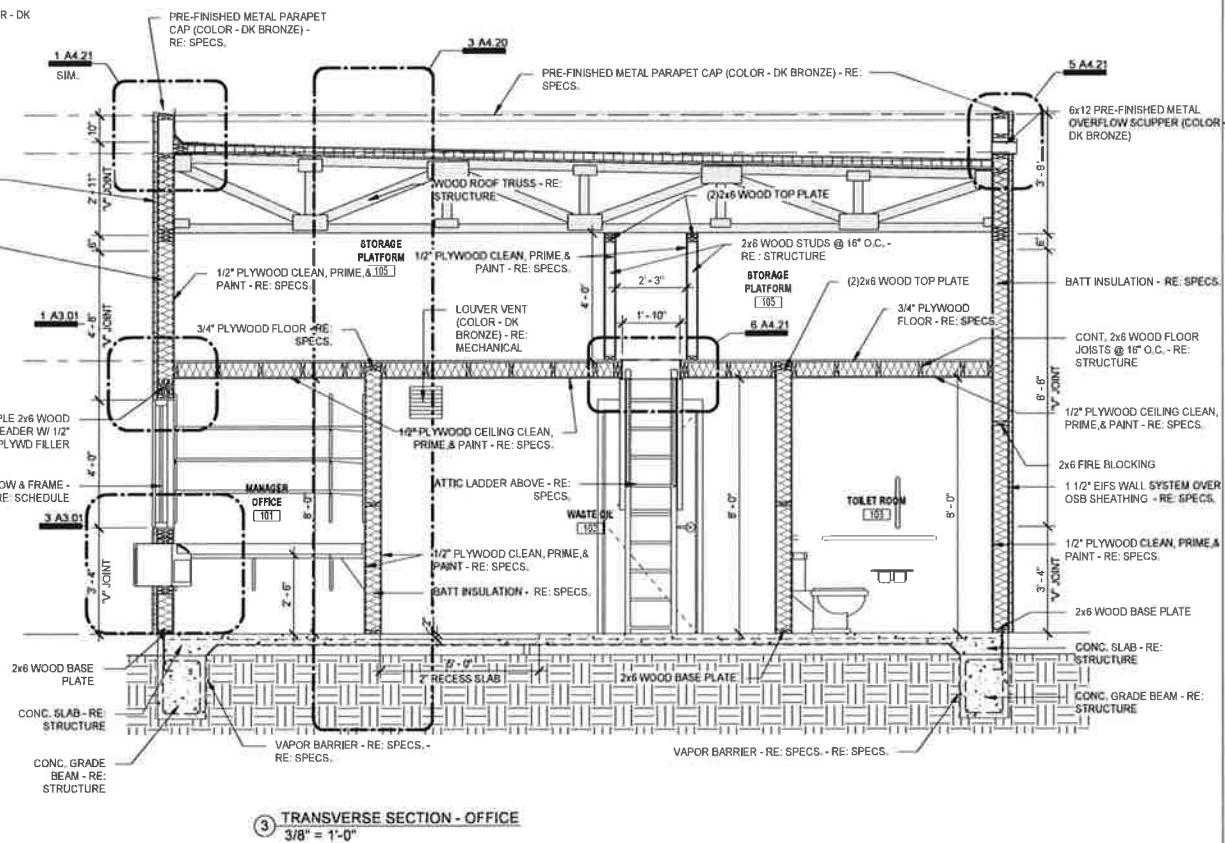
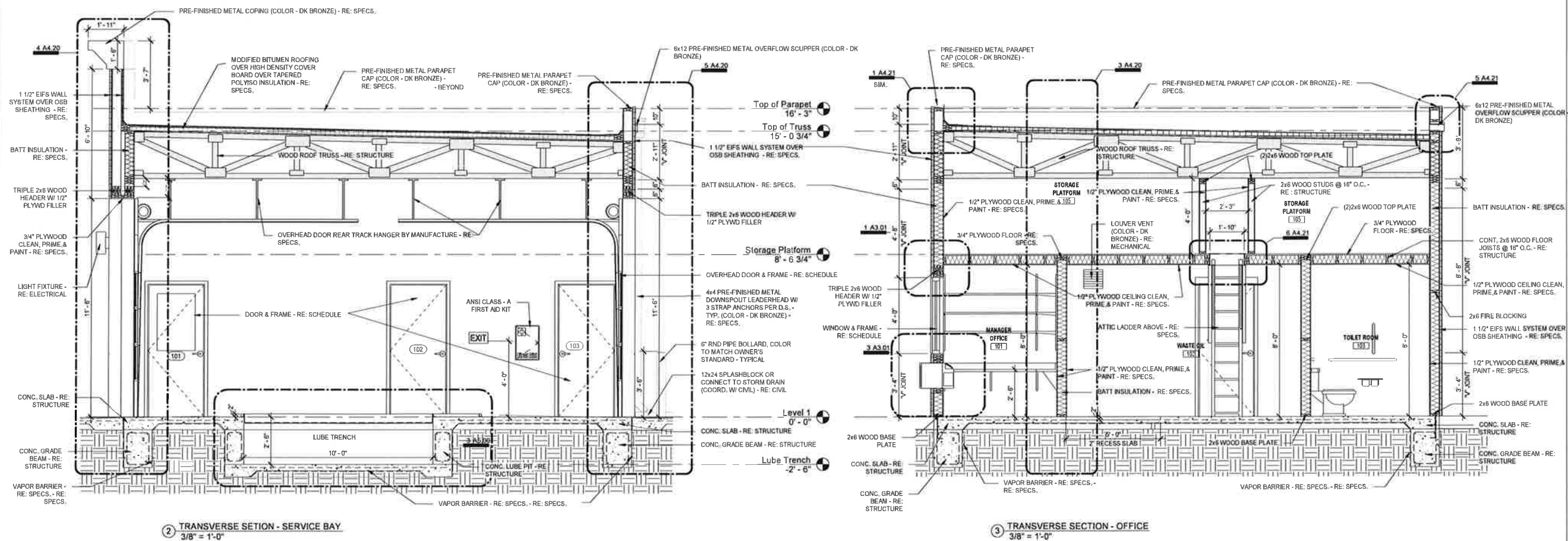
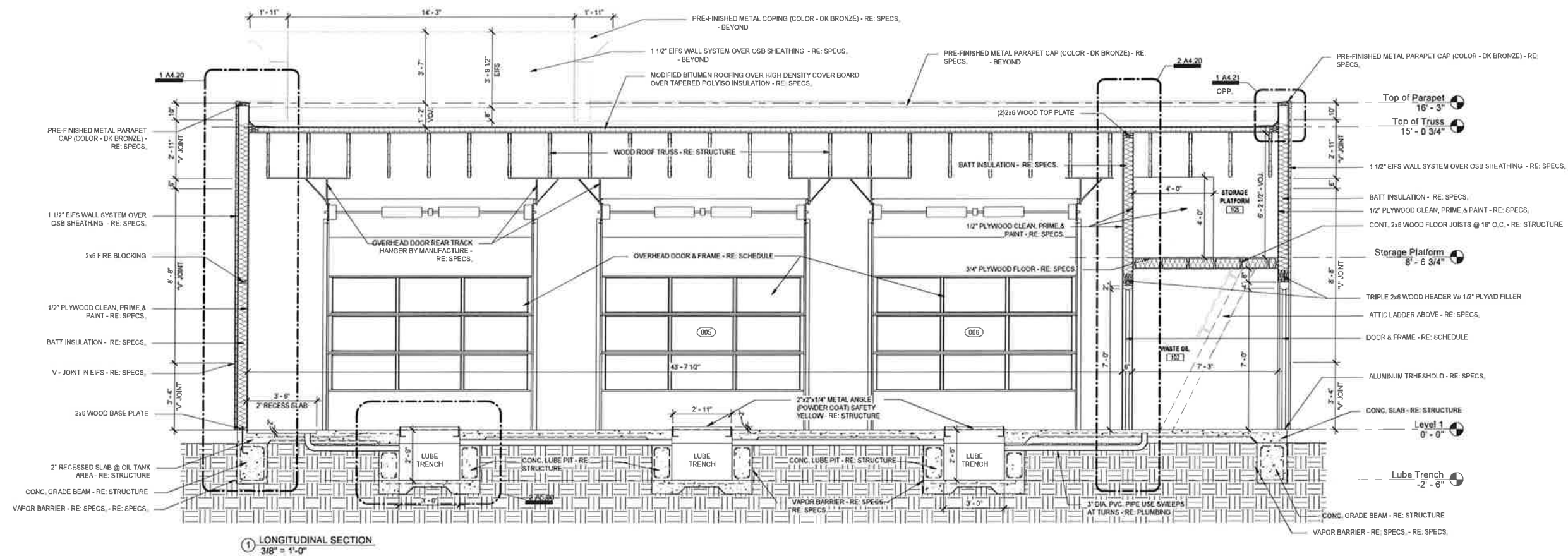
File Name: 2125B-A1.1
Project No: 2125B
Date: 09/27/21
Drawn By: XXX
Checked By: T1

SHEET
A4.0
BUILDING SECTION



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FLOOR PLAN



Date: _____ Issue Date: _____
Drawn By: _____ SML
Checked By: _____ Checker:
Project Number: _____ 0

Revision: _____ Date: _____
(Date)

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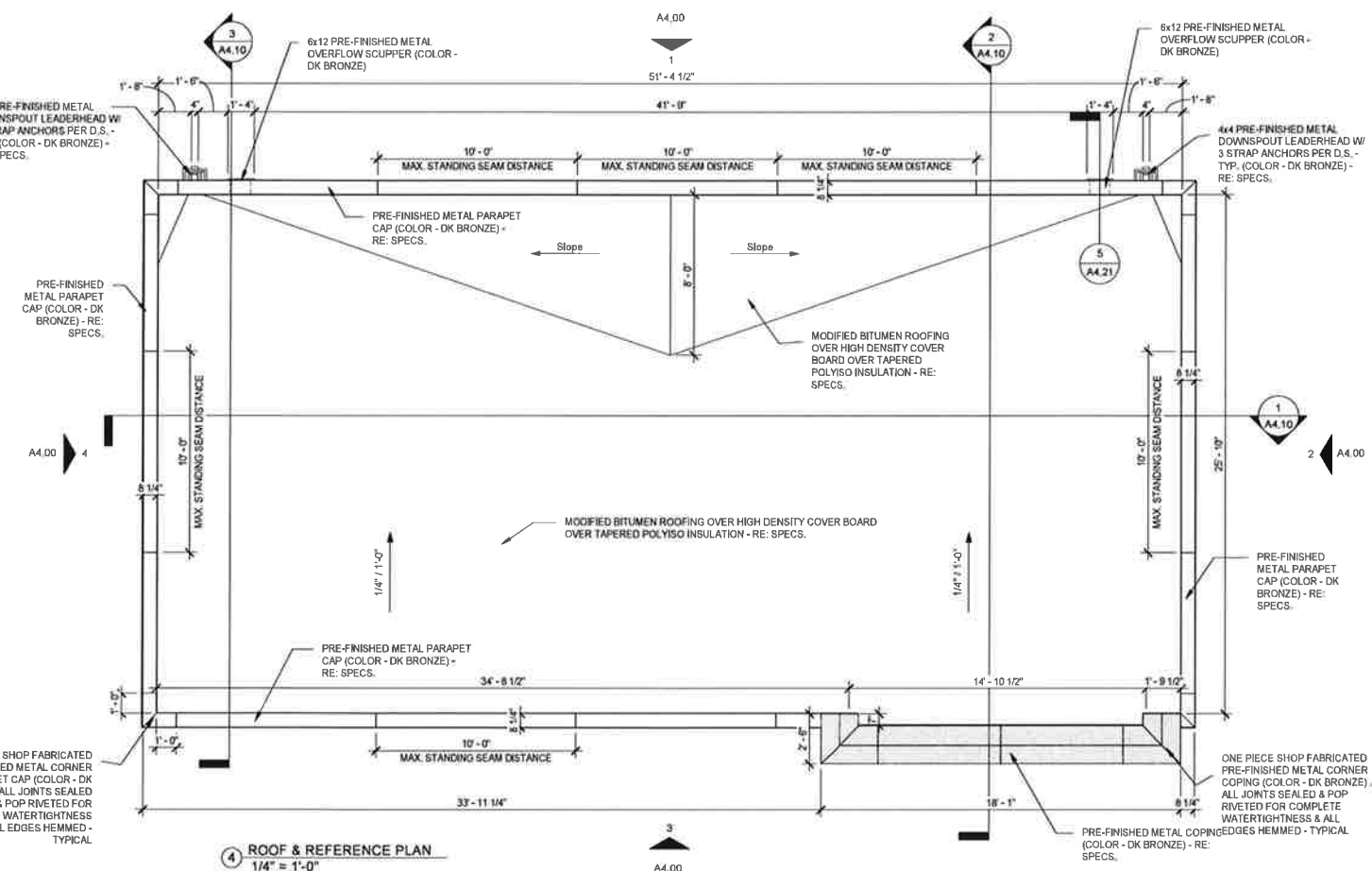
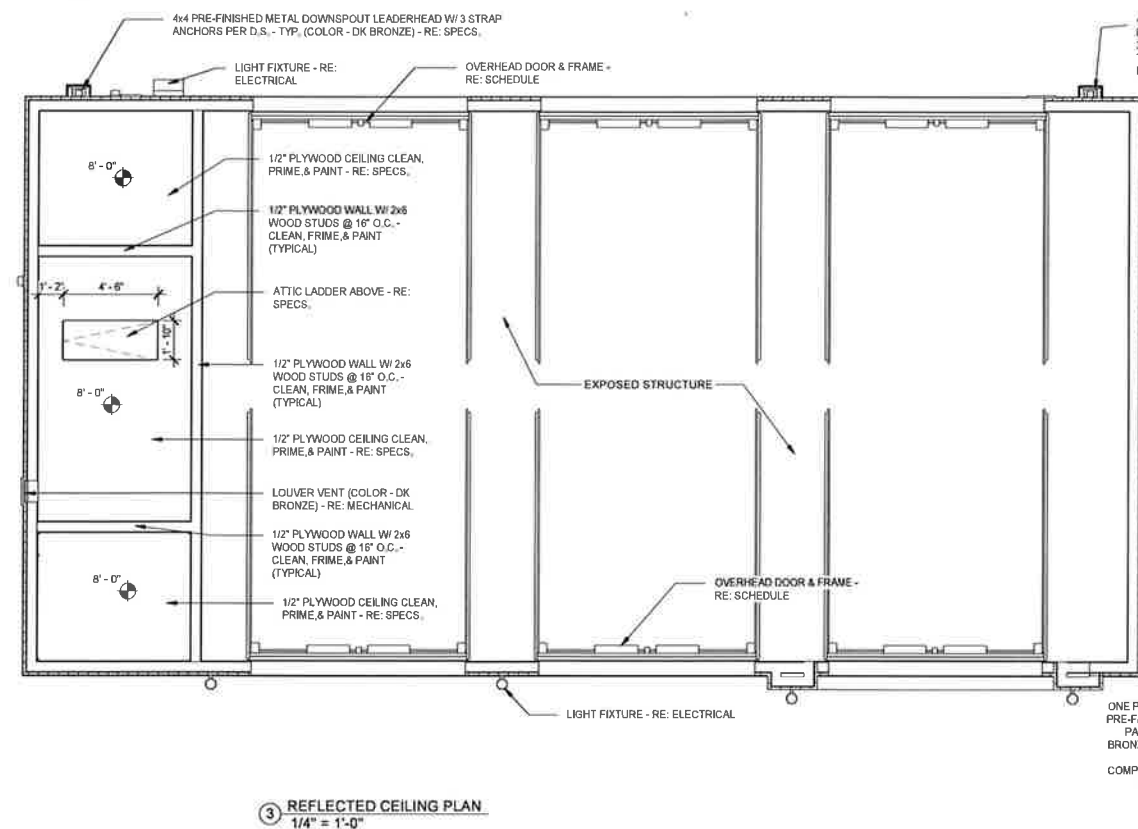
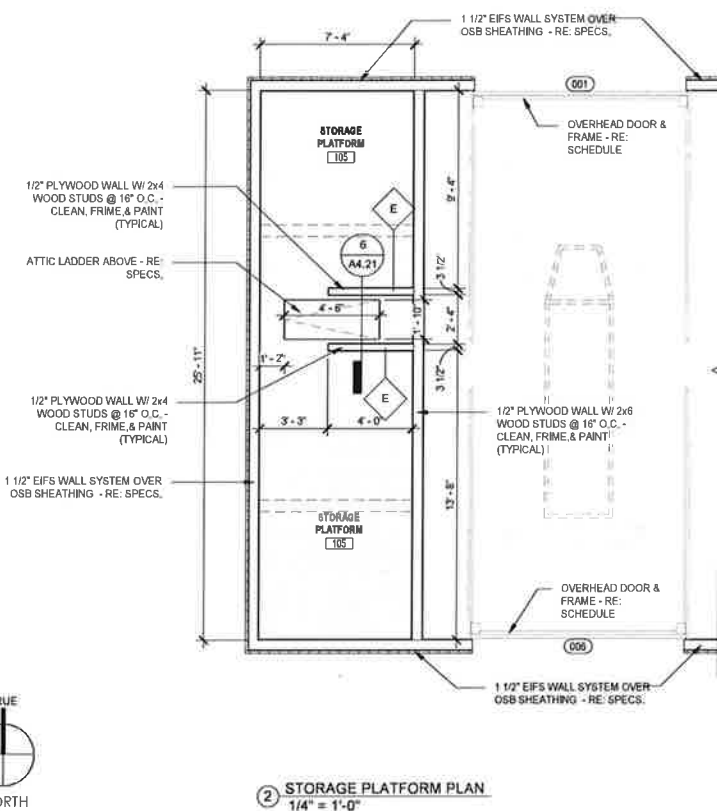
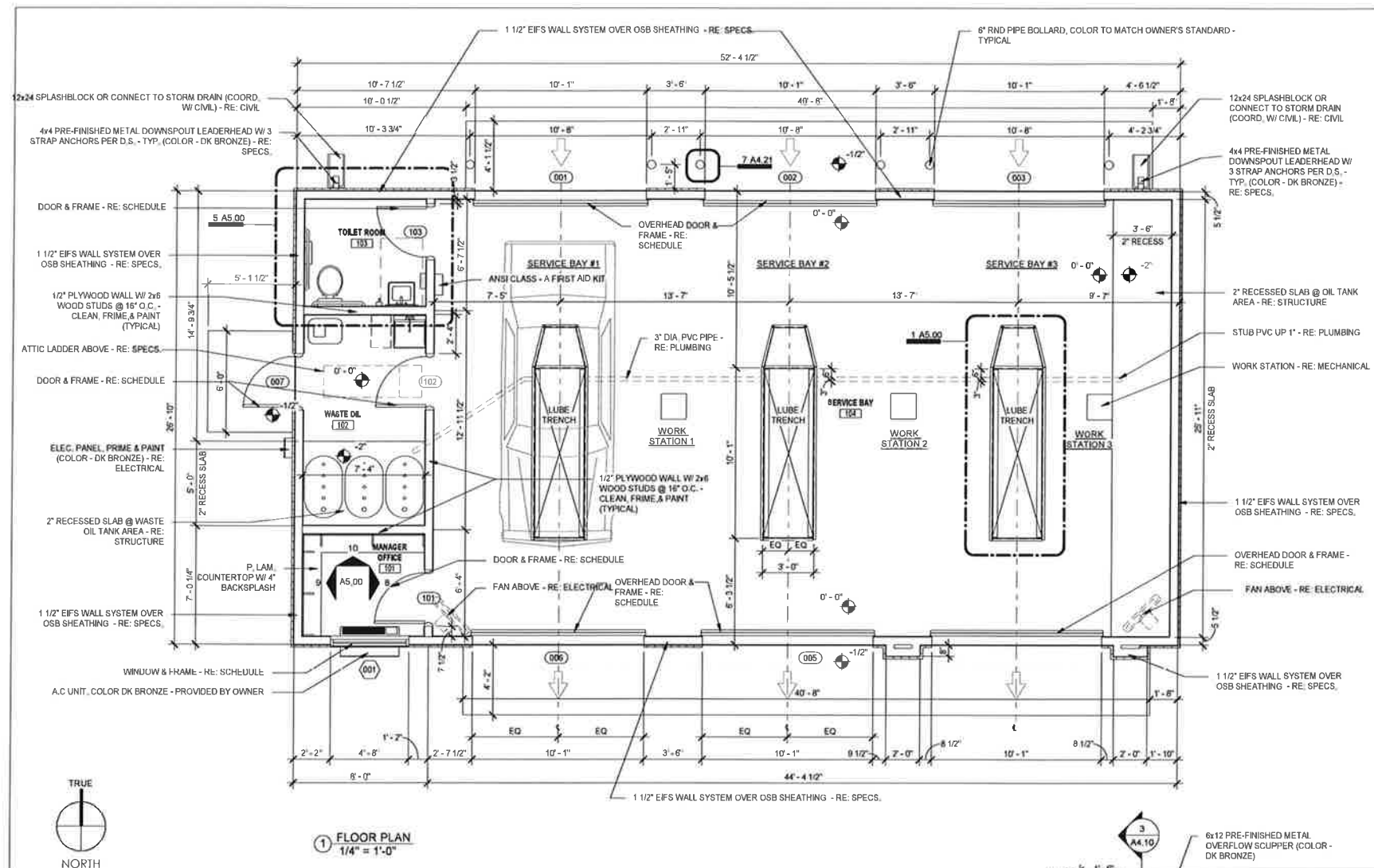
Take 5 Oil change Shop

BELTON MISSOURI

A4.10

Bldg Sections

phase:
set no:



Date:	Issue Date
Drawn By:	SMU
Checked By:	
Project Number:	0

Revision: _____ Date: _____

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Take 5 Oil change Shop

BELTON MISSOURI

A2.10

phase:
set no