



AGENDA
CITY OF BELTON
PLANNING COMMISSION
ELECTRONIC MEETING
MONDAY, JANUARY 4, 2021 - 6:00 P.M.
CITY HALL ANNEX, 520 MAIN STREET
www.belton.org/watch

I. CALL MEETING TO ORDER

II. ROLL CALL

III. APPROVAL OF THE MINUTES OF THE NOVEMBER 2, 2020 PLANNING COMMISSION MEETING

IV. NON-PUBLIC HEARINGS

- A. Consideration of a Final Development Plan for Encore Apartments, consisting of 322 units in six (6) buildings on 11.64 acres. The property is located on the East side of 163rd Street, at Turner Road**
- B. Consideration of a Final Plat for Encore Apartments. The property is located on the East side of 163rd Street, at Turner Road**

V. DIRECTOR'S REPORT

VI. NEXT MEETING DATE: To be determined

VII. ADJOURNMENT

**SECTION III.
MEETING MINUTES
NOVEMBER 2, 2020**

**Minutes of Meeting
Belton Planning Commission
City Hall Annex, 520 Main Street
November 2, 2020**

CALL TO ORDER

Chairman MacPherson called the meeting to order at 6:00 p.m.

ATTENDANCE

Commission: Chairman MacPherson, Mayor Jeff Davis, Councilman Chet Trutzel, Commissioners Tim McDonough, Marsha Vest, Todd Christy and RJ Warren

Absent: Commissioners Kelly Monaghan-Bass and Kara Anderson

Staff: Dave Clements, Planning and Building Director; Alexa Barton, City Manager; Carolyn Yatsook, Economic Development Director; Padraic Corcoran, City Attorney; and Nikia Freiberger, Assistant City Engineer

Guests: Tyler Sallee, Sallee Development, 3730 NE Troon Drive, Lee's Summit, Missouri 64064; and Ryan McGinnis, Schlagel & Associates, 14920 W 107th St, Lenexa, KS 66215

MINUTES

Commissioner McDonough moved to approve the September 21, 2020, Planning Commission meeting minutes. Councilman Trutzel seconded the motion. All members present voted in favor, and the motion carried.

PUBLIC HEARING – Consideration of text amendments to the Unified Development Code (UDC) for Chapter 1 Definitions, Chapter 28 Performance Standards- Fences, and Chapter 30 Signs.

Mr. Clements gave a summary of the staff report and reviewed each of the text amendment changes. The staff report is attached as **Exhibit A**.

Mr. Clements would like to amend Section 28-8 (f) table of fence regulations in the staff report regarding security fences from Decorative Wrought Iron to Decorative Metal. The table should be amended as follows:

Amend Section 28-8 (f) table of fence regulations:

| | | |
|---|-------------------|--|
| Security Fences (Decorative Wrought Iron) (Decorative Metal) | 6 feet max height | In Commercial and Industrial districts, properties larger than 10-acres may have security fences in front of the front corner of the structure |
|---|-------------------|--|

The Commission had several questions regarding the maintenance of the murals, the location of the murals, murals being used as advertisements, mural that are offensive, if murals will require a sign permit, and the duration a political sign is allowed to be up.

- In regards to maintenance of the murals, Section 30-9(t)(4) states “Murals shall be kept in good condition and preserved in the manner in which they were originally created.”
- Murals will only be allowed in the Old Town Belton Overlay District.
 - Section 30-9(t) Murals may be painted on walls, fences or structures in the area defined as the Old Town Belton Overlay District— provided the design is permitted by the property owner and subject to approval of a sign permit.
- Padraic Corcoran, City Attorney stated City’s cannot ban murals being used as advertising. The most Cities can do is not encourage it.
- In regards to murals that are offensive, Section 30-9(t)(3) is the standard for federal regulations. Item Section 30-9(t)(3) reads as follows:
 - (3) Murals shall not contain vulgar, obscene or offensive material, including offensive material of a sexual nature. This includes material that when taken as a whole:
 - (1) applying contemporary community standards, its predominant appeal is to prurient interest in sex; and
 - (2) the average person, applying contemporary community standards, would find the material depicts or describes sexual conduct in a patently offensive way; and
 - (3) a reasonable person would find the material lacks serious literary, artistic, political or scientific value.
- Per Section 30-9(t) murals will needs a sign permit. Murals will also have to follow the sign code. The Planning and Building Department staff approves or denies sign permits. If Planning or Building Department feels they are unable to approve or deny the sign they will refer the sign permit application to Padraic Corcoran, City Attorney.
 - Section 30-9(t) Murals may be painted on walls, fences or structures in the area defined as the Old Town Belton Overlay District— provided the design is permitted by the property owner and subject to approval of a sign permit.
- A political sign is considered a federal sign and therefore cannot be regulated in regards to the duration they are up. However, federal signs are not allowed in the right-of-way.

The public hearing was opened at 6:23 p.m.

No one was present to speak in favor or opposition of the request, therefore the public hearing closed at 6:24 p.m.

Councilman Trutzel moved to approve the text amendments to the Unified Development Code (UDC) for Chapter 1 Definitions, Chapter 28 Performance Standards- Fences, and Chapter 30 Signs with the following amendment:

Section 28-8 (f) table of fence regulations:

| | | |
|---|-------------------|--|
| Security Fences (Decorative Wrought Iron) (Decorative Metal) | 6 feet max height | In Commercial and Industrial districts, properties larger than 10-acres may have security fences in front of the front corner of the structure |
|---|-------------------|--|

The motion was seconded by Commissioner McDonough. When a vote was taken, the following was recorded:

Ayes: 7 – Chairman MacPherson, Mayor Jeff Davis, Councilman Chet Trutzel, Commissioners RJ Warren, Todd Christy, Tim McDonough and Marsha Vest

Noes: 0

Absent: 2 – Commissioners Kelly Monaghan-Bass and Kara Anderson

The motion passed and will be forwarded to City Council.

NON-PUBLIC HEARING – Consideration of a Final Development Plan for Traditions 3rd Plat located East of Emily Lane in the Traditions Planned Unit Development.

Mr. Clements gave a summary of the staff report. The staff report is attached as **Exhibit B**.

The Commission had questions regarding overflow parking and maintenance of the overflow parking.

- Each unit has one parking space inside the garage and one parking space on the driveway. Additional parking will be provided in the overflow parking. The overflow parking area is maintained by the Homeowner's Association.

Commissioner McDonough moved to approve the Final Development Plan for Traditions 3rd Plat as the final plan is consistent with the revised preliminary PUD for Traditions with the following conditions:

1. The Final Development Plan for Traditions 3rd Plat, dated August 26, 2020, by Schlagel and Associates, P.A., is approved as submitted.
2. Revise the landscape plan to provide perimeter plantings around the guest parking lot on Tract R.
3. At the time of building permit application, provide a screen-wall method on the elevations for screening of trash-carts.
4. Revise the detention design on Tract R to better meet the requirements of Section 36-69 (b) (4) Stormwater conveyance.
5. Revise the typical street section graphic to meet Belton standards for residential streets.

The motion was seconded by Commissioner Warren. When a vote was taken, the following was recorded:

Ayes: 7 – Chairman MacPherson, Mayor Jeff Davis, Councilman Chet Trutzel, Commissioners RJ Warren, Todd Christy, Tim McDonough and Marsha Vest

Noes: 0

Absent: 2 – Commissioners Kelly Monaghan-Bass and Kara Anderson

The motion carried.

NON-PUBLIC HEARING – Consideration of a Final Plat for Traditions 3rd Plat located East of Emily Lane in the Traditions Planned Unit Development.

Mr. Clements gave a summary of the staff report. The staff report is attached as **Exhibit C**.

Commissioner Warren moved to approve the Final Plat for Traditions 3rd Plat located East of Emily Lane in the Traditions Planned Unit Development subject to the following conditions:

1. The final plat for Traditions 3rd Plat, dated 8/26/2020, by Schlagel & Associates is approved as submitted.

2. A copy of the applicable homeowner's association documents shall be submitted prior to recording of the final plat.
3. Label the appropriate street name for the north/south street after staff determination.
4. The final plat shall be recorded within one year of City Council approval or the approval of the plat shall be considered null and void.

The motion was seconded by Councilman Trutzel. When a vote was taken, the following was recorded:

Ayes: 7 – Chairman MacPherson, Mayor Jeff Davis, Councilman Chet Trutzel, Commissioners RJ Warren, Todd Christy, Tim McDonough and Marsha Vest

Noes: 0

Absent: 2 – Commissioners Kelly Monaghan-Bass and Kara Anderson

The motion passed and will be forwarded to the City Council for final approval.

NON-PUBLIC HEARING – Consideration of a Final Plat for Traditions 4th Plat located on South Mullen Road, South of Sycamore Drive and East of Traditions Parkway.

Mr. Clements gave a summary of the staff report. The staff report is attached as **Exhibit D**.

The Commission had questions regarding the school district the homes are located in, the cost of the homes, if the Sallee's are selling the lots, and if there is an active Homeowner's Association in the neighborhood.

- The subdivision is located in the Raymore-Peculiar School District.
- The cost of the homes will be in the \$250,000 - \$350,000 range and will have two or three car garages.
- The Sallee's will sell lots to builders who are building both spec homes and homes that are being built for a specific customer. Before a home can be built, the Sallee's must approve the house design and plans.
- The subdivision has a current, active Homeowner's Association. All homes in the neighborhood, including the single-family homes and the multi-family homes are included in the Homeowner's Association.

Councilman Trutzel moved to approve the Final Plat for Traditions 4th Plat located on South Mullen Road, South of Sycamore Drive and East of Traditions Parkway subject to the following conditions:

1. The Final Plat for Traditions 4th Plat, dated 9/10/2020, by Schlager & Associates is approved as submitted.
2. Construct an 8-foot mixed use trail with asphalt surface adjoining the 4th Plat from the existing swimming pool to Tract W at Shane Lane, as required with the revised plan. The trail is to be completed before additional phases commence.
3. A copy of the applicable homeowner's association documents shall be submitted prior to recording of the final plat.
4. The final plat shall be recorded within one year of City Council approval or the approval of the plat shall be considered null and void.

The motion was seconded by Commissioner Warren. When a vote was taken, the following was recorded:

Ayes: 7 – Chairman MacPherson, Mayor Jeff Davis, Councilman Chet Trutzel, Commissioners RJ Warren, Todd Christy, Tim McDonough and Marsha Vest

Noes: 0

Absent: 2 – Commissioners Kelly Monaghan-Bass and Kara Anderson

The motion passed and will be forwarded to the City Council for final approval.

PLANNING COMMISSION TRAINING

- Padraic Corcoran, City Attorney conducted a training session for the Planning Commission members regarding Land Use Law & Legal Issues.

DIRECTOR'S REPORT

- Building 3 at Southview Commerce Center is currently under construction. Building 3 will be home of Chewy.
- The new construction of Casey's General Store is coming along nicely.
- Chairman MacPherson added that the residential development is coming along nicely, as well as commercial development.

NEXT MEETING DATE: January 4, 2021

ADJOURNMENT

Commissioner McDonough moved to adjourn the meeting. The motion was seconded by Councilman Trutzel. All voted in favor, and the meeting adjourned at 7:34 p.m.

EXHIBIT A

**AMENDMENTS TO THE UNIFIED DEVELOPMENT CODE
BELTON PLANNING COMMISSION
MONDAY, NOVEMBER 2, 2020 – 6:00 P.M.
CITY HALL ANNEX BUILDING – 520 MAIN STREET**

APPLICATION

Applicant- City of Belton/David Clements, Director of Planning and Building.

Request- The application was filed to consider certain amendments to the Unified Development Code; Chapter 1 Definitions, Chapter 28 Performance Standards- fences, and Chapter 30 Signs.

BACKGROUND

From time-to-time, amendments are proposed to the Unified Development Code (UDC), to advance new regulations/land-use techniques, address conflicts, and revise wording to help with administrative situations that arise through use of the code.

The following is a summary of items are items for Planning Commission consideration:

1. Create new definitions for “murals” as permitted wall signs. Create new definition for “abandoned signs” in Chapter 1.
2. Consider amending the provisions of Chapter 28-Fencing, to allow security fencing in front of the front line of a building in commercial and industrial districts for employee parking areas.
3. Consider amendments to Chapter 30-Signs to list abandoned signs as prohibited signs and create standards for painted wall murals. Consider eliminating the duration that a political sign can be displayed.

PROPOSED AMENDMENTS

Create new definitions for “murals” as permitted wall signs. Create new definition for “abandoned signs” in Chapter 1.

Presently, the definition of “signs” includes *paintings*. As such, paintings are signs and are limited to 10 percent of a wall area. There has been interest in the community to allow painted murals on walls in downtown. The following language is proposed to create a definition for murals:

Mural: *Any painting, fresco, decoration, mosaic or similar art form intended for décor/commemoration applied to the wall or side of a building or structure.*

Add new definition for abandoned signs, to help with enforcement activities:

Abandoned sign: *A sign that depicts or refers to a product, business, service, activity, condition or occupation which has changed in such a manner that the sign no longer properly or appropriately identifies or describes said product, business, service, activity, condition or occupation, which no longer exists at the location referred to in the sign, or no longer exists or operates at any location.*

Consider amending the provisions of Chapter 28-Fencing, to allow security fencing in front of the front line of a building in commercial and industrial districts for employee parking areas.

This section of the UDC limits locations and heights of fences. In commercial and industrial districts, “no portion of a fence may extend closer to the front property line than the front corner of the structure”. Two large commercial and industrial users, TransWest Truck and Trailer and the QuikTrip Distribution Center have expressed interest in erecting fences around the parking lots in front of the buildings for security purposes. Such fences would be in front of the front corner of the structures and would not be permitted.

Amend Section 28-8 (f) table of fence regulations:

| | | |
|--|-------------------|--|
| Security Fences (Decorative Wrought Iron) | 6 feet max height | In Commercial and Industrial districts, properties larger than 10-acres may have security fences in front of the front corner of the structure |
|--|-------------------|--|

Consider amendments to Chapter 30-Signs to list abandoned signs as prohibited signs, and to create standards for painted wall murals. Consider eliminating the duration that a political sign can be displayed.

Add abandoned signs to list of prohibited signs and specify removal procedures.

Section 30-6 Prohibited signs

(10) Abandoned signs

Section 30-9 (r) Maintenance

(5) After any business has abandoned its location or tenant space, the owner, agent or person having beneficial use of the building, structure or lot where such business was located shall remove all signs relating to such business.

Additional standards for specific sign types, add standards for murals.

Section 30-9(t)-Murals may be painted on walls, fences or structures in the area defined as the Old Town Belton Overlay District— provided the design is permitted by the property owner and subject to approval of a sign permit.

(1) Murals deemed advertising signs, billboards or graffiti are not encouraged.

(2) Murals shall not imitate or appear to imitate any official traffic sign or device which appears to regulate or direct the movement of traffic or which interferes with the proper operation of any traffic sign or signal, or which obstructs or physically interferes with a motor vehicle operator’s view of approaching, merging, or intersecting traffic.

(3) Murals shall not contain vulgar, obscene or offensive material, including offensive material of a sexual nature. This includes material that when taken as a whole: (1) applying contemporary community standards, its predominant appeal is to prurient interest in sex; and (2) the average person, applying contemporary community standards, would find the material depicts or describes sexual conduct in a patently offensive way; and (3) a reasonable person would find the material lacks serious literary, artistic, political or scientific value.

(4) Murals shall be kept in good condition and preserved in the manner in which they were originally created.

Political signs shall not be erected more than 30 days prior to the election and shall be removed within seven days following the election. Remove time limitations with the following suggested wording:

Remove subsection 30-9(l)(2) in its entirety and renumber the remaining provisions to read as follows: (l) Political signs. Political signs may be erected on private property as follows:

- (1) One political sign per candidate or ballot issue is permitted per street frontage on a lot with permission of the property owner.
- (2) The maximum size of any political sign shall be 32 square feet in a commercial or industrial zoning district.
- (3) The maximum size of any political sign shall be six square feet in a residential zoning district.
- (4) No political sign shall be installed within the right-of-way.

STAFF RECOMMENDATION

The staff recommends approval of the proposed amendments to the Unified Development Code.

PLANNING COMMISSION ALTERNATIVES

1. Motion to **approve** Amendments to the UDC.
2. Motion to **deny** amendments to the UDC.
3. Motion to continue the application pending additional information.

EXHIBIT B
FINAL DEVELOPMENT PLAN
TRADITIONS 3rd PLAT
BELTON PLANNING COMMISSION
MONDAY, NOVEMBER 2, 2020 – 6:00 P.M.
CITY HALL ANNEX BUILDING – 520 MAIN STREET

APPLICATION

Property Owner-Sallee Real Estate Investments, LLC.

Engineer-Schlagel & Associates/Ryan McGinnis, P.E.

Location-The property is located east of Emily Lane in the Traditions PUD.

Request-The application was filed for approval of a **Final Development Plan** for Traditions 3rd Plat. This plan will provide for the third phase of construction of the four-unit multi-family buildings in the Traditions Planned Unit Development.

BACKGROUND

The Traditions is a mixed-use Planned Unit Development initially approved in 2006. A revised preliminary plat for Traditions was approved by the City Council in May of 2018. The original plan and the 2018 revision provided for multi-family units in the area of the proposed 3rd Plat.

There are 23 four-unit buildings in the first phase, and all units are occupied. The second phase is substantially underway, and that phase consists of 25 four-unit buildings. This final plan for the third phase will allow continued construction of 12 four-unit buildings with the same architecture and building materials.

PROPOSED FINAL DEVELOPMENT PLAN

The Final Development Plan is consistent with the revised preliminary plat as approved by the City Council.

Density-The plan provides for 12 new four-unit multi-family buildings on the seven-acre site. This is a total of 48 new units, with a density of 6.85 units per acre. This is the same overall density that was allocated with the preliminary plan.

Building Design-The plan includes elevations and floorplans for the proposed buildings. The four-unit buildings are to be the same design and materials as the first two phases. Materials include low-maintenance siding and decorative stone on the front elevations.

These are all two-bedroom units with one car garages.

Landscaping-A landscape plan was submitted with the final plan. The plan indicates locations of street-trees and plantings around the perimeter of the units. It is recommended that additional landscaping be located at around the perimeter of the parking lot on Tract R to provide better screening.

Streets-Right-of-way for the extension of Emily Lane is dedicated with the plat. There is also a new north/south street that will be part of a collector street system north to Cunningham Parkway, and south to Cambridge Street with future development.

Tracts/Open Space-The plat includes the dedication of Tracts R, S, and T for open space. Tract R includes an eight space overflow/auxiliary parking lot for residents and guests. These tracts will be maintained by the homeowners association.

Detention-Stormwater detention is provided for in area-wide basins located on Tracts in Phase I, just west of the subject property.

STAFF RECOMMENDATION

The staff recommends approval of the application for a Final Development Plan for Traditions 3rd Plat as the final plan is consistent with the revised preliminary PUD for Traditions.

The recommendation is subject to the following conditions:

1. The Final Development Plan for Traditions 3rd Plat, dated August 26, 2020, by Schlagel and Associates, P.A., is approved as submitted.
2. Revise the landscape plan to provide perimeter plantings around the guest parking lot on Tract R.
3. At the time of building permit application, provide a screen-wall method on the elevations for screening of trash-carts.
4. Revise the detention design on Tract R to better meet the requirements of Section 36-69 (b) (4) Stormwater conveyance.
5. Revise the typical street section graphic to meet Belton standards for residential streets.

PLANNING COMMISSION ALTERNATIVES

1. Motion to **approve** a Final Development Plan for Traditions 3rd Plat.
2. Motion to **deny** a Final Development Plan for Traditions 3rd Plat.
3. Motion to continue the application pending additional information.

EXHIBIT C
FINAL PLAT
TRADITIONS 3rd PLAT
BELTON PLANNING COMMISSION
MONDAY, NOVEMBER 2, 2020 – 6:00 P.M.
CITY HALL ANNEX BUILDING – 520 MAIN STREET

Application

Property Owner-Sallee Real Estate Investments, LLC.

Engineer-Schlagel & Associates/David Rinne, PS

Location-The property is located east of Emily Lane in the Traditions Planned Unit Development.

Request-The application was filed for approval of a Final Plat for Traditions 3rd Plat. This plat will provide for the third phase of construction of the four-unit multi-family buildings in the Traditions Planned Unit Development.

BACKGROUND

The Traditions is a mixed-use Planned Unit Development initially approved in 2006. A revised preliminary plat for Traditions was approved by the City Council in May of 2018. The original plan and the recent revision provided for multi-family units in the area of the proposed 3rd Plat.

The first phase is complete, and all units are occupied. The second phase of the multi-family buildings is substantially underway. This Final Plat for the third phase will allow continued construction of the four-unit buildings with the same architecture and building materials.

PROPOSED FINAL PLAT

The Final Plat is consistent with the revised preliminary plat as approved by the City Council.

Density-The plat provides for 12 lots to allow the construction of additional four-unit multi-family buildings. This is a total of 48 new units, which provides the same density that was allocated with the preliminary plat.

Streets- Right-of-way for the extension of Emily Lane is dedicated with the plat. There is also a new north/south street that will be part of a collector street system north to Cunningham Parkway, and south to Cambridge Street with future development.

Easements-The final plat includes appropriate language for public utility easements.

Tracts/Open Space- Tracts/Open Space-The plat includes the dedication of Tracts R, S, and T for open space. Tract R includes an eight-space overflow/auxiliary parking lot for residents and guests. These tracts will be maintained by the homeowner's association.

Detention-Stormwater detention is provided for in area-wide basins located on Tracts in Phase I, just south of the plat area.

STAFF RECOMMENDATION

The staff recommends approval of the application for a Final Plat for Traditions 3rd Plat as the final plat is consistent with the revised preliminary plat. The plat meets all final plat requirements of Section 36.35 of Unified Development Code.

The recommendation is subject to the following conditions:

1. The final plat for Traditions 3rd Plat, dated 8/26/2020, by Schlager & Associates is approved as submitted.
2. A copy of the applicable homeowner's association documents shall be submitted prior to recording of the final plat.
3. Label the appropriate street name for the north/south street after staff determination.
4. The final plat shall be recorded within one year of City Council approval or the approval of the plat shall be considered null and void.

PLANNING COMMISSION ALTERNATIVES

1. Motion to **approve** a Final Plat for Traditions 3rd Plat.
2. Motion to **deny** a Final Plat for Traditions 3rd Plat.
3. Motion to continue the application pending additional information.

EXHIBIT D

FINAL PLAT

TRADITIONS 4th PLAT

BELTON PLANNING COMMISSION

MONDAY, NOVEMBER 2, 2020 – 6:00 P.M.

CITY HALL ANNEX BUILDING – 520 MAIN STREET

Application

Property Owner-Sallee Real Estate Investments, LLC.

Engineer-Schlagel & Associates/David Rinne, PS

Location-The property is located on South Mullen Road, south of Sycamore Drive and east of Traditions Parkway, in the Traditions Planned Unit Development.

Request-The application was filed for approval of a Final Plat for Traditions 4th Plat. This plat will provide for the construction of an additional phase of single-family homes in the Traditions Planned Unit Development.

BACKGROUND

The Traditions is a R-3 mixed-use Planned Unit Development initially approved in 2006. A revised preliminary plat for Traditions was approved by the City Council in May of 2018. The original plan and the 2018 revision provided for new single-family homes in the area of the proposed 4th Plat.

There are 50 single-family lots in Traditions 1st Plat. These lots have all been developed with new single-family homes. This application will provide 47 new lots for future construction, adding to the new home inventory of the subdivision.

PROPOSED FINAL PLAT

The Final Plat is consistent with the revised preliminary plat as approved by the City Council.

Lots and Blocks-The plat provides for 47 lots and four tracts, to allow the construction of additional single-family homes in the planned unit development. The lots range in size from 6,000 square feet to 10,000 square feet. All the lots meet the minimum lot sizes specified in the revised Planned Unit Development from 2018.

Streets- The plat includes the dedication of right-of-way for Connor Street, Shane Lane, and Samantha Lane. These new streets will provide access to the lots, and the proposed streets meet the local residential right-of-way requirements of the Unified Development Code.

Easements-The final plat includes appropriate language for public utility and drainage easements.

Tracts/Open Space- The plat includes the dedication of Tracts U, V, W, X and Y for open space in the subdivision. Tracts U and V are designated open space for the existing Missouri Public Service easement. These tracts will be maintained by the homeowner's association.

The revised PUD also included a trail to be constructed adjoining this 4th Plat. The trail connects the existing swimming pool to Shane Lane at Tract W. This trail is to be constructed with this plat and completed before additional phases commence.

Detention-Stormwater detention is provided for in area-wide basins located on Tracts in Phase I, just west of the plat area.

STAFF RECOMMENDATION

The staff recommends approval of the application for a Final Plat for Traditions 4th Plat as the final plat is consistent with the revised preliminary plat. The plat meets all final plat requirements of Section 36.35 of Unified Development Code.

The recommendation is subject to the following conditions:

1. The Final Plat for Traditions 4th Plat, dated 9/10/2020, by Schlagel & Associates is approved as submitted.
2. Construct an 8-foot mixed use trail with asphalt surface adjoining the 4th Plat from the existing swimming pool to Tract W at Shane Lane, as required with the revised plan. The trail is to be completed before additional phases commence.
3. A copy of the applicable homeowner's association documents shall be submitted prior to recording of the final plat.
4. The final plat shall be recorded within one year of City Council approval or the approval of the plat shall be considered null and void.

PLANNING COMMISSION ALTERNATIVES

1. Motion to **approve** a Final Plat for Traditions 4th Plat.
2. Motion to **deny** a Final Plat for Traditions 4th Plat.
3. Motion to continue the application pending additional information.

SECTION IV.
FINAL DEVELOPMENT PLAN – ENCORE
APARTMENTS

**FINAL DEVELOPMENT PLAN
ENCORE APARTMENTS
BELTON PLANNING COMMISSION
ELECTRONIC MEETING
MONDAY, JANUARY 4, 2021 – 6:00 P.M.
CITY HALL ANNEX BUILDING – 520 MAIN STREET**

APPLICATION

Property Owner/Applicant-NorthPoint Development, LLC./Brad Haymond

Engineer-Renaissance Infrastructure Consulting/Mick Slutter

Architect-Rosemann and Associates/Gabe Vogl

Location-The property is located on the east side of 163rd Street, at Turner Road.

Request-The application was filed for approval of a Final Development Plan for Encore Apartments, consisting of 322 units in six buildings on 11.64 acres.

BACKGROUND

This application was filed for a Final Development Plan for Encore Apartments, in an existing R-3A Planned Unit Development.

The Planning Commission reviewed and recommended approval of a rezoning from a C-2 General Commercial District to a R-3A Planned Unit Development on June 6, 2020. The PUD included a preliminary development plan for the proposed apartments. This Final Development Plan is consistent and complies with the preliminary development plan approved with the rezoning.

As was noted at the rezoning public hearing, Northpoint Development is an experienced and accomplished developer of rental apartments throughout the Kansas City market. The company has developed 3500 apartments throughout metropolitan area in the last eight years.

The Final Development Plan provides for 322 apartments on the 11.64-acre site. There are six, four-story buildings on the plan, a pool and clubhouse, a walking trail around the perimeter of the development with a dog park and a trail connection to Markey Parkway. Three of the buildings provide first floor garage spaces for residents, and there are carports, garages and surface parking to further meet resident and guest parking needs. The four-story buildings will all have elevators and interior corridors, the buildings are not walk-up apartments.

The bedroom mix of the apartments is as follows:

- 30 studio units
- 148 one bedroom/one bath units
- 38 one bedroom/one bath + den
- 60 two bedroom/two bath
- 46 two bedroom/two bath + den

Final Development Plan-Encore Apartments

For ease of review, the proposed buildings are designated by number on the site plan, with building height and number of units noted.

These will be luxury apartments, the applicant states that rental rates will range from approximately \$850.00 for studio units to \$1600.00 for the larger two-bedroom homes, depending on phasing and time of construction and actual market conditions.

The clubhouse serves as a gathering and community resource for residents and includes a kitchen with coffee bar, fitness room, cycling studio, massage studio, conference room, screening/TV room, and an outdoor patio and grilling area. The swimming pool will be a heated salt-water pool with a sun deck.

The applicant believes the property is well suited for multi-family development. The development will provide luxury rental units that will offer new housing choices for residents of Belton and surrounding communities. The location is on an arterial street with nearby highway access. The site is not directly adjacent to any existing single-family homes, a stream buffer and wooded area separate the property from nearby homes in Bradford Place. Development of the site will help support existing retail and nearby employment centers.

FINAL DEVELOPMENT PLAN

The subject property is an 11.6-acre site located on the south side of 163rd Street, at the intersection with Turner Road. The site is midway between Markey Parkway and Given Drive. The signalized intersection of Turner Road and 163rd Street will be the main entrance to the community.

Compliance with R-3A Standards and Planned Unit Development (PUD) Requirements of the Unified Development Code (UDC):

The plan generally meets all requirements of the R-3A Community Residential District. The R-3A district is intended for multiple-family residential development adjacent to arterial streets, to and serve as a transition from commercial development to lower density residential development.

Parking: 1.5 parking spaces per unit for multi-family development or 483 spaces are required for the 322 units. There are 516 parking spaces proposed, including 122 attached and detached garages, 95 carport spaces and surface parking. The parking spaces meet all dimensional requirements for length, width and maneuvering.

Required Yards/setbacks:

Front yard- 30-foot setback required. 22-foot setback proposed.
Rear yard-20-foot setback required. 30-foot setback proposed.
Side yard-5-foot setback required. Varies, exceeds minimum requirement.

Maximum Building Height-35-foot maximum. 41'-6" proposed height. To be measured at average height of gable.

Maximum Building Coverage-25% maximum. 18% proposed building coverage.

Required Open Space-30% of total land area required. 36.6% open space is provided.

Final Development Plan-Encore Apartments

A land-use analysis and site data table is found on Sheet CO-3, General Layout, for other project specifics.

Planned Unit Development Criteria-The *UDC* includes provisions for the approval of a PUD designation for certain types of development. A PUD is intended to encourage creative development with unified design, features and amenities. A PUD provides for flexibility in the design of buildings, yards, and other regulations in a manner that cannot be provided in other zoning districts.

A PUD also requires a Development Agreement be entered approved between the developer and the City Council. The agreement provides a basis for requiring all improvements as shown on the development plan, specifics for timing of development, and other important milestones and commitments.

Building Design: There are no specific building design requirements for the R-3A Multiple-Family Residence District. The building design proposed by the developer provides a quality mix of building materials and an attractive architectural design. The ground floor is differentiated from other the upper stories by changes in building materials, columns, balconies, offsets and other methods of articulation that provide a variety of design. The buildings are designed to have a visually distinct top, middle and first floor.

Primary materials are stone veneer, cement lap siding, board and batten siding and glass. The pitched roof and gables are completed with architectural asphalt shingles.

The clubhouse will be of an architectural style with materials to match the apartments buildings. Final designs for the clubhouse are included with the Final Development Plan. Also, designs for the carports and surface garages are included with Final Development Plan.

Please see pages A-241 through A-244 of the architectural plans for renderings of the proposed buildings.

There are locations of shared trash enclosures on the plan. These enclosures will be constructed of masonry materials to match the buildings, with and appropriate screening/landscaping.

Landscaping: A landscape plan was submitted with the Preliminary Development Plan. The landscape plan meets the requirements of the UDC. The plan exceeds the required 30 percent total landscape area, and provides the required shade trees, parking lot landscaping, and street trees. Additional plantings/shrubs were added along the south side of the property, as was discussed at the rezoning hearing. The landscape plan shall be sealed by a registered landscape architect at the time of building permit submittal.

Streets/access: Access to the site would be from the signalized intersection at Turner Road and 163rd Street. A second entrance is located at the south property line.

Utilities: The plan includes a utility plan for water and sanitary sewer to serve the site. Staff has reviewed the utility plan and determined that the plan provides adequate public facilities.

Final Development Plan-Encore Apartments

Detention: The property is in the Markey Regional Detention Watershed. Payment of a fee in lieu of providing on-site detention is provided in the UDC. The site plan also provides areas of stormwater best management practices (BMP) to lessen run-off and filter storm drainage.

Trails and sidewalks/dog park: A perimeter trail is proposed around the apartment community, with an extension to the dog park, southeast to Markey Parkway. The trail design should be revised to connect to the trail on 163rd Street south of Building 3. Details on the proposed dog park are shown on page CO-4 of the engineering plans. This facility will be a shared cost between NorthPoint and the City of Belton.

STAFF RECOMMENDATION

The staff recommends approval of the request for a Final Development Plan for Encore Apartments, as the final plan is consistent with the preliminary development plan approved with the rezoning application. The recommendation is subject to the following conditions:

1. The Final Development Plan for Encore Apartments is hereby approved, as shown on Final Development Plan by Renaissance Infrastructure Consulting, dated 12/15/2020.
2. Building elevations, floorplans and building perspective drawings for Encore Apartments are hereby approved, as shown on plan set by Rosemann & Associates, dated 12/16/2020.
3. The detached garages shall have stone veneer knee wall on all four elevations.
4. The trail design shall be revised to address staff comments. The pedestrian trail shall be a 8-foot width, with asphalt surface.
5. The clubhouse and trail system shall be completed prior to occupancy permits for the first apartment building.
6. The Final Development Plan shall include a final landscape plan sealed by a registered Landscape Architect.
7. The shared access easement for the south entrance shall be recorded with the Final Plat.
8. Complete civil engineering and utility plans for water and sewer meeting all requirements of applicable codes shall be submitted for review prior to site work/permits issuance.
9. Retaining walls more than 30" in height shall include a black aluminum fencing as a safety rail.
10. The Final Development Plan shall include a Development Agreement to be executed between the applicant and the City of Belton. This Development Agreement shall include details and obligations on construction of the dog park, connecting trail and parking.

PLANNING COMMISSION ALTERNATIVES

1. Motion to **approve** a Final Development Plan for Encore Apartments.
2. Motion to **deny** a Final Development Plan for Northpoint Belton Apartments.
3. Motion to continue the application for further information.

ATTACHMENTS

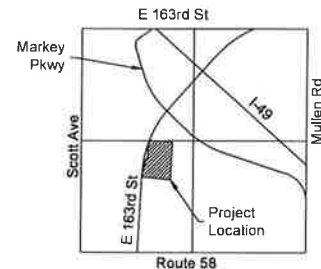
1. Final Development Plan- 18 pages
2. Architectural Set, Floorplans, Exterior Elevations/Building Perspective- 28 pages
3. Photometric Site Plan
4. Photometric Details
5. Area Map

Final Development Plans For The Encore Apartments

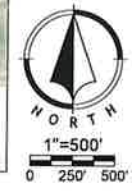
Belton, Cass County, Missouri
Total Project Area: 11.64 Acres

Sheet List Table

| Sheet Number | Sheet Title |
|--------------|--------------------------------|
| C01 | Title Sheet |
| C02 | Existing Conditions |
| C03 | General Layout |
| C04 | Dog Park Layout |
| C05 | Pavement Plan |
| C06 | Grading Plan |
| C07 | Site Utility Plan |
| C08 | Fire Protection Plan |
| C09 | Drainage Map |
| C10 | Preliminary Storm Layout |
| C11 | BMP Plan |
| C12 | Erosion Control Plan Phase I |
| C13 | Erosion Control Plan Phase II |
| C14 | Erosion Control Plan Phase III |
| C15 | Retaining Wall Guard Rail |
| C16 | Trail Typical Section |
| L01 | Overall Landscape Plan |
| L02 | Notes & Details |



LOCATION MAP
S12 T46N R33W
Scale 1" = 2000'



Final Development Plans
20-0119
The Encore Apartments
Belton, Cass County, Missouri

Title Sheet

Site Benchmark & Control:

BM: JE0179 Brass Disk Stamped H 256
N: 958207.284
E: 2789150.692
Elevation: 1075.414

CONTROL POINT A:

Storm Box With an X etched into the Lid
N: 966376.585
E: 2781666.66
Elevation: 1064.197

CONTROL POINT B:

Storm Box With an X etched into the Lid
N: 966168.374
E: 2781606.582
Elevation: 1068.992

Floodplain Note:

According to the F.E.M.A. Flood Insurance Rate Map Number 29037C0009F, effective January 2nd, 2013, this tract graphically lies in: Zone X, Area of Minimal Flood Hazard.

Legal Description:

All that part of the Southwest Quarter of Section 12, Township 46 North, Range 33 West, in the City of Belton, Cass County, Missouri more particularly described as follows:

COMMENCING at the Northeast Corner of the Southwest Quarter of said Section 12; thence North 85°45'50" West, along the North Line of said Southwest Quarter, a distance of 526.29 feet to the true POINT OF BEGINNING of land being described; thence South 02°44'16" West, a distance of 778.52 feet; thence South 73°10'56" West, a distance of 342.28 feet; thence North 81°54'30" West, a distance of 361.63 feet to a point on the Easterly Right-of-Way Line of Missouri State Route "Y", as it now exists; thence northerly and northeasterly along said Right-of-Way Line and being along a curve to the right, said curve having a radius of 2799.93 feet, a chord which bears North 10°15'41" East, a chord distance of 211.77 feet, and an arc length of 211.82 feet to the Southerly Most Corner of that certain parcel of land conveyed by such RIGHT OF WAY DEDICATION - GENERAL WARRANTY DEED to the City of Belton as filed March 15, 2011 and recorded in Cass County Missouri Records Office in Book 03439 at Page 0585; thence along the Easterly Line of said RIGHT OF WAY DEDICATION - GENERAL WARRANTY DEED for the following five (5) courses; thence North 18°49'04" East (Measured), (North 18°55'39" East (Deed)), a distance of 84.39 feet; thence northeasterly along a curve to the right, said curve having a radius of 2796.80 feet, a chord which bears North 15°33'38" East, a chord distance of 141.55 feet, and an arc length of 141.57 feet; thence North 61°03'09" East, a distance of 34.33 feet; thence North 18°05'07" East, a distance of 87.25 feet; thence North 32°53'28" West, a distance of 39.99 feet to a point on said Easterly Right-of-Way Line of Missouri State Route "Y", as it now exists; thence northeasterly along said Easterly Right-of-Way Line and being along a non-tangent curve to the right, said curve having a radius of 2799.93 feet, a chord which bears North 22°27'39" East, a chord distance of 292.78 feet, and an arc length of 292.91 feet; thence North 60°55'39" East, along said Easterly Right-of-Way Line, a distance of 94.25 feet to a point on said North Line of said Southwest Quarter of said Section 12, said point also being the Southwest Corner of Lot 1, ASPEN DENTAL BELTON, a subdivision of land in said City of Belton; thence South 85°45'50" East, along said North Line and also being along the South Line of said Lot 1, ASPEN DENTAL BELTON, a distance of 397.56 feet to the Point of Beginning;

Containing 507,374 square feet, or 11.648 acres, more or less.

LEGEND

| | | | |
|--|----------------------------|--|---------------------------|
| | Existing Section Line | | Proposed Right-of-Way |
| | Existing Right-of-Way Line | | Proposed Property Line |
| | Existing Lot Line | | Proposed Lot Line |
| | Existing Easement Line | | Proposed Easement |
| | Existing Curb & Gutter | | Proposed Curb & Gutter |
| | Existing Sidewalk | | Proposed Sidewalk |
| | Existing Storm Sewer | | Proposed Storm Sewer |
| | Existing Storm Structure | | Proposed Storm Structure |
| | Existing Waterline | | Proposed Fire Hydrant |
| | Existing Gas Main | | Proposed Waterline |
| | Existing Sanitary Sewer | | Proposed Sanitary Sewer |
| | Existing Sanitary Manhole | | Proposed Sanitary Manhole |
| | Existing Contour Major | | Proposed Contour Major |
| | Existing Contour Minor | | Proposed Contour Minor |
| | | | Future Curb and Gutter |

| | | | |
|--|-------------------------|--|--------------------|
| | Utility Easement | | Access Easement |
| | Sanitary Sewer Easement | | Temporary Easement |
| | Drainage Easement | | |

OWNER:
Northpoint Development
Brad Haymond
4825 NW 41st Street, Suite 500
Riverside, MO 64150
(816)860-4990

ENGINEER:
RIC
Mick Sluttler, PE
1815 McGee SL #200
Kansas City, MO 64108
(816) 800-0950

SURVEYOR:
RIC
Roger Dill, PS
132 Abbie Ave.
Kansas City, Kansas, 66103
(816) 800-0950

ARCHITECT:
Rosemann & Associates
Gabe Vogl, NCARB, RA
1526 Grand Blvd.
Kansas City, MO 64108
(816)472-1448

LANDSCAPE ARCHITECT:
RIC
Andy Gabbert, PLA
8653 Pentrose Ln.
Lenexa, KS 66219
(816) 800-0950

GENERAL NOTES

- All work in public easements and right of way and all erosion control work must comply with the latest edition of the Technical Provisions & Standard Drawings for Roads and Sewers, of the City of Belton, Cass, Missouri. If any general notes conflict with the Technical Provisions & Standard Drawings for Roads and Sewers, of the City of Belton, the City of Belton's standards shall override.
- The contractor shall provide evidence that his insurance meets the requirements of the City of Belton.
- All traffic control shall be in conformance with the Manual of Uniform Traffic Control Devices (MUTCD).
- The contractor is responsible for the protection of all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Missouri, at the contractor's expense.
- The contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, driveways, sidewalks, street light and traffic signal junction boxes, traffic signal loop lead ins, signal poles, irrigation systems, etc. Damaged improvements shall be repaired in conformance with the latest City standards and to the City's satisfaction.
- The contractor is responsible for providing erosion and sediment control BMPs to prevent sediment from reaching paved areas, storm sewer systems, drainage courses and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt, or mud and restore the right-of-way, or adjacent properties to original or better condition.
- The contractor shall sod all disturbed areas within the public street right-of-way unless otherwise noted on the plans or if specific written approval is granted by the City.
- All public street sidewalk ramps constructed will be required to comply with the Americans with Disabilities Act (ADA) and Belton, Missouri sidewalk details.
- Excavation for utility work in public street right-of-way requires a Right-of-Way Work Permit from the Public Works Department, in addition to all other permits.
- All work shall be confined within easements and/or construction limits as shown on the plans.
- Curb stakes and hubs shall be provided at all high points, low points, ADA ramp openings, and on each side of all curb inlets when setting string line.
- Any existing and/or temporary storm sewer pipes and box culverts to be abandoned in place shall be grouted using a slurry grout mixture meeting a 7-day compressive strength of 100-150 psi. The slurry grout mixture of fly ash, cement, fine aggregate, forming agents and water shall be approved by the City and shall possess adequate flow characteristics to fill all voids.
- All existing utilities indicated on the drawings are according to the best information available to the engineer, however, all utilities actually existing may not be shown. The contractor shall be responsible for contacting all utility companies for an exact field location of each utility prior to any construction. All utilities, shown and un-shown, damaged through the negligence of the contractor shall be repaired or replaced by the contractor at his expense.
- The contractor will be responsible for all damages to existing utilities, pavement, fences, structures, and other features not designated for removal. The contractor shall repair all damages at his expense.
- By use of these construction documents the contractor hereby agrees that he shall be solely responsible for the safety of the construction workers and the public. The contractor agrees to hold the engineer and owner harmless for any and all injuries, claims, losses, or damages related to the project.
- The contractor will be responsible for providing all signage, barricades, lighting, etc., as required for temporary traffic control during the construction of this project. Maintenance of the temporary traffic control devices will be the contractor's responsibility. All traffic control in conduction with construction in the right-of-way shall be in conformance with the City Traffic Control Requirements.
- Geogrid, footings, or other elements of retaining wall(s) cannot encroach into the right of way, public easements, or adjacent private property.
- All building and life safety issues shall comply with the 2006 International Fire Code and local amendments as adopted by Belton, Missouri.
- Contractor shall be responsible for obtaining all permits including land disturbance, right-of-way, hauling, etc., with Public Works prior to construction.
- Contractor shall restore all disturbed right-of-way upon project completion.
- Prior to construction, contractor shall install pre-construction erosion control measures.
- The Architect shall be responsible for specifying retaining wall block type and color. The contractor shall be responsible for structural design of retaining walls. All retaining wall design shall be completed by a registered engineer in the State of Missouri. Black Aluminum Fencing shall be placed on all walls with a height over 30". Modular block walls shall be of color and finish to be compatible with the building material.
- Submission requirements and contents listed in the City of Belton, Mo Unified Development Ordinance Section 20-5 have been incorporated into this Preliminary Development Plan.

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| NO. | REV. | DATE | DESCRIPTION |
|-----|------|----------|---------------------|
| 3 | ADD | 12/15/20 | PER CITY COMMENT |
| 2 | ADD | 11/24/20 | PER CITY COMMENT |
| 1 | ADD | 10/22/20 | ORIGINAL SUBMISSION |

DEVELOPMENT INFORMATION

Existing Zoning: R - 3 PUD: Multiple Family Planned Overlay

Total Land Area: 11.64 Ac (507,038.40 SF)

Total Proposed Units: 322

Proposed Density: 27.66 units/acre

Parking Required: 483 (1.5 / Unit)

Parking Provided:

Total Proposed: 516 (1.6 / Unit)

Garage Parking: 142 (80 Detached; 62 Internal)

Car Port Parking: 78

ADA Stalls: 11

Proposed Impervious Area: 7.38 Ac (321,473 SF, 63.40%)

Required Open Spaces: 152,111 SF (min. 30% lot area)

Provided Open Spaces: 4.28 Ac (185,695 SF, 36.60%)

Bedroom Breakdown:

| | |
|---------------------------------|-----|
| Studio: | 30 |
| One Bedroom One Bathroom: | 148 |
| One Bedroom One Bathroom + Den: | 38 |
| Two Bedroom Two Bathroom: | 60 |
| Two Bedroom Two Bathroom + Den: | 46 |

Building Type:

Building 1&2: Type A

Building 3&6: Type B

Building 4&5: Type C

Proposed Retaining Wall Typ.
See Note 24, Sheet C01
For Block Type and Color

Proposed Monument Sign
See Architectural Plans for
More Detail

Existing 163rd St Centerline

163rd Street
(Public ROW Varies)

Turner Rd.

10.0' Existing Sidewalk

Proposed Building Setback

Sight Triangle Typ.

Proposed Car Port Typ

Proposed Garage Typ.

Proposed Public Trail

30' Stream Buffer Setback

Existing 10.0' Sanitary Easement.
Contractor Shall Field Verify If
Sanitary Main Exists. If Sanitary Main
is Located, Fill w/ Flowable Fill and
Abandon In Place.

UNPLATTED
CITY OF BELTON -
REFERENCE SOURCE
NOT FOUND.

Dog Park and Trail Connection
To Be Submitted Under Separate
163rd Street Planning Submittal.

20.0' Access Easement

Proposed Trash Enclosure
(Gate and Materials to Match
Buildings)

30' Stream Buffer Setback

20' Access Easement
(By Separate Document)

FND. 1/2" REBAR
W/ LS1658 CAP

30' Stream Buffer Setback

LOT 1
ASPEN DENTAL
BK. 4463, PG. 36

City of Belton, MO UDO Sec. 6-2 Bulk and Dimensional Standards Table

| | R3-A Required | Proposed | Exception |
|-------------------------------|----------------|-----------------|-----------|
| Minimum Lot Area | 12,000 SQ. FT. | 507,038 SQ. FT. | NO |
| Per Lot | | | |
| Minimum Lot Width (ft) | 90 | 845 | NO |
| Minimum Lot Depth (ft) | 120 | 398 | NO |
| Yards, Minimum (ft) | | | |
| Front | 30 | 20 | YES |
| Rear (or 20% of depth) | 30 | 30 | NO |
| Side | 5 | | |
| Maximum Building Height (ft) | 35 | 41'-6" | YES |
| Maximum Building Coverage (%) | 25 | 18 | NO |

Sheet
C03

Final Development Plans
20-0119
The Encore Apartments
Belton, Cass County, Missouri

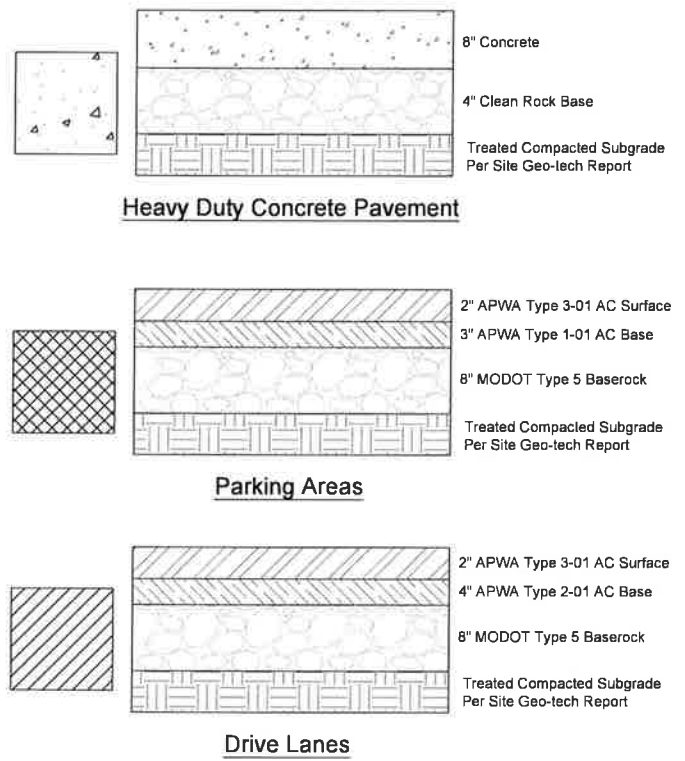
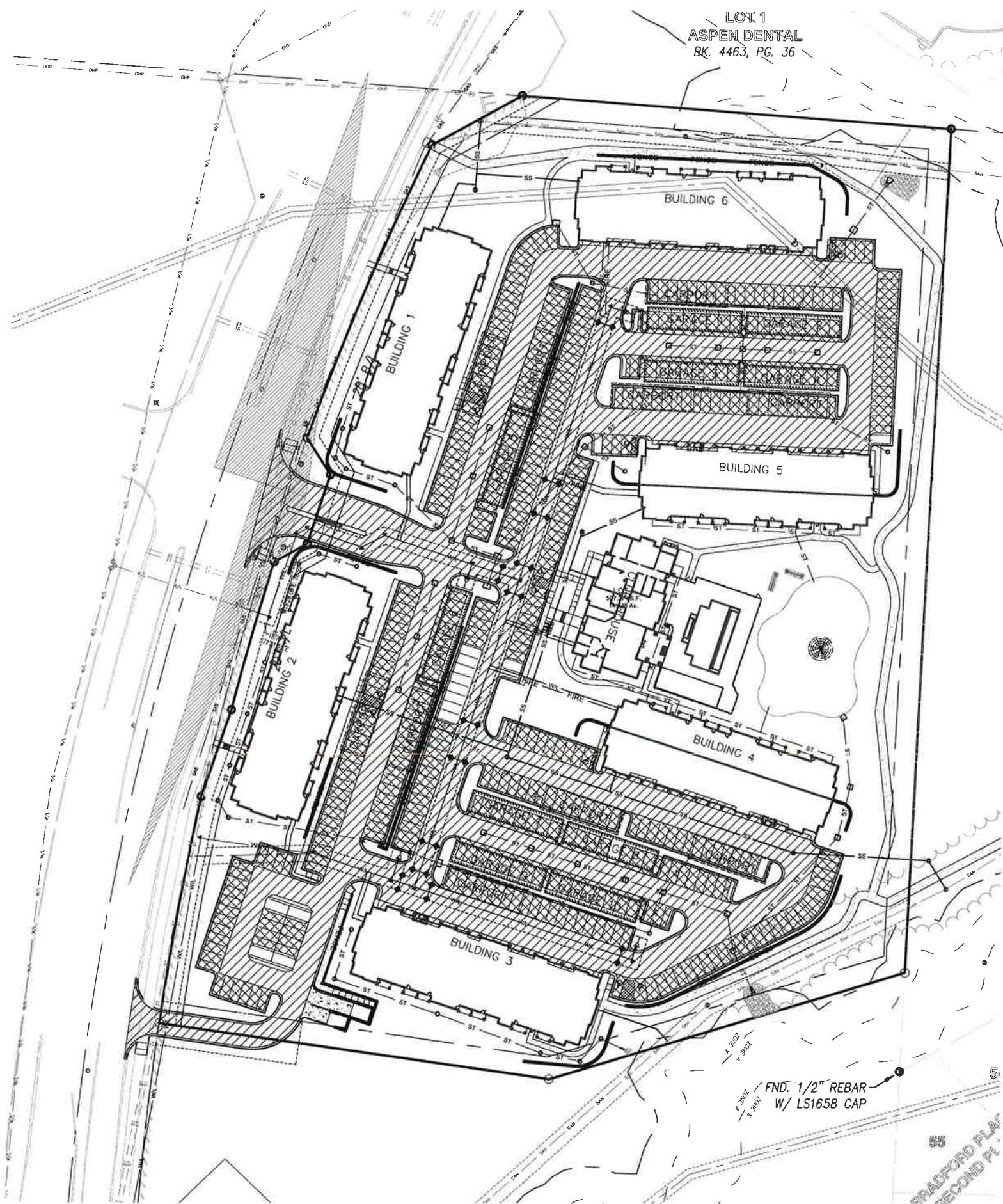
General Layout

| NO. | BY | DATE | REVISION |
|-----|-----|--------------|---------------------|
| 1 | JAD | MES 10/22/20 | ORIGINAL SUBMISSION |
| 2 | JAD | MES 11/24/20 | PER CITY COMMENT |
| 3 | TCD | MES 12/15/20 | PER CITY COMMENT |

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LOT 1
ASPEN DENTAL
BK. 4463, PG. 36



Note: All pavement sections are for information only. Contractor to reference and be in conformance with Geotechnical Report by Olsson Inc., dated Feb. 21, 2020.



Sheet
C05

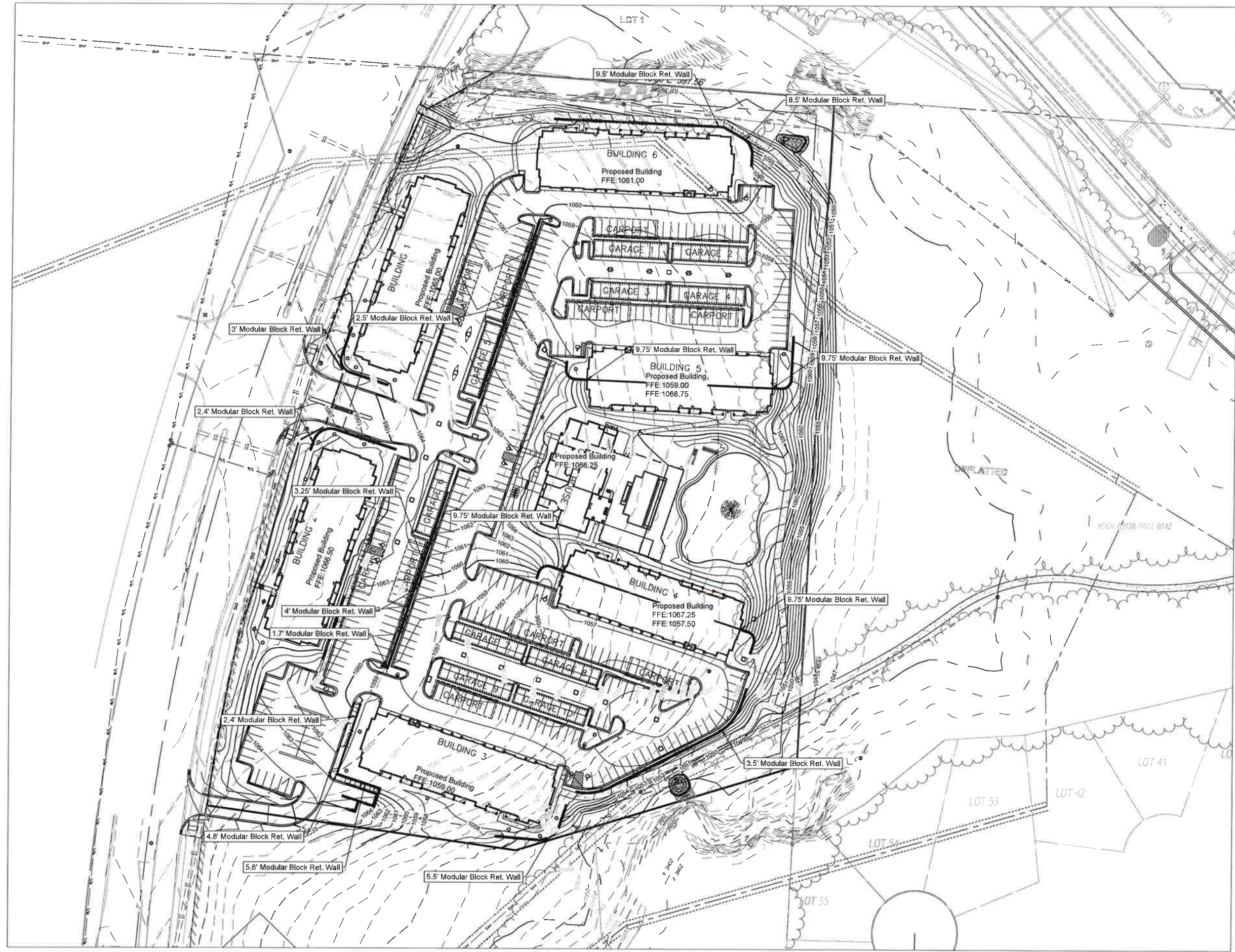
Final Development Plans
20-0119
The Encore Apartments
Belton, Cass County, Missouri

Pavement Plan

| NO. | REV. | DATE | DESCRIPTION | BY | CHK. |
|-----|------|----------|---------------------|----|------|
| 1 | ADD | 10/22/20 | ORIGINAL SUBMISSION | | |
| 2 | ADD | 11/24/20 | PER CITY COMMENT | | |
| 3 | TRD | 12/15/20 | PER CITY COMMENT | | |

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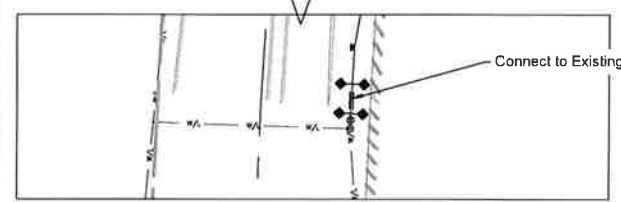
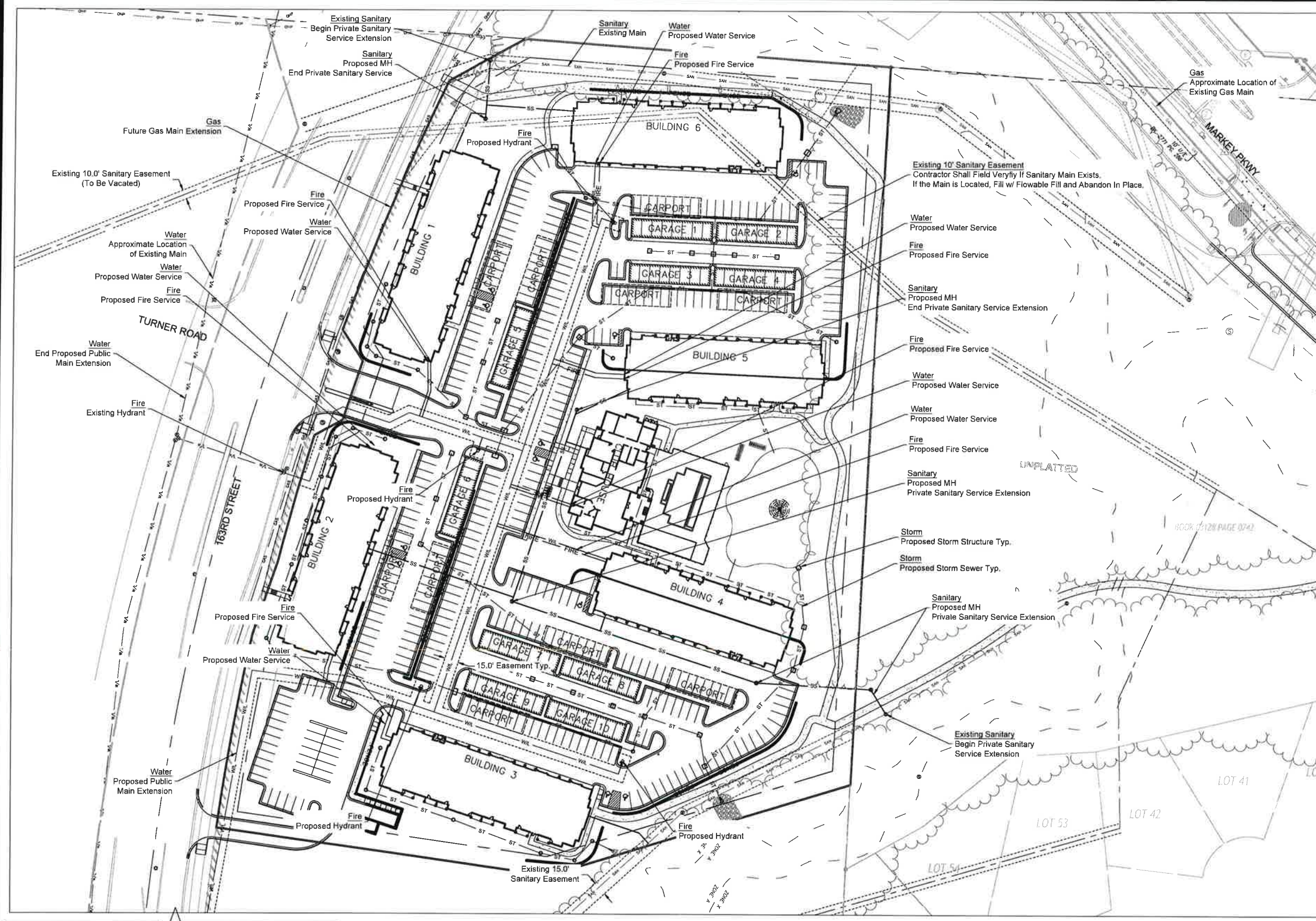
Grading Plan

| NO. | BY | DATE | DESCRIPTION |
|-----|-----|----------|---------------------|
| 1 | JAD | 02/22/20 | ORIGINAL SUBMISSION |
| 2 | JAD | 03/01/20 | PER CITY COMMENT |
| 3 | JAD | 03/01/20 | PER CITY COMMENT |
| 4 | JAD | 03/01/20 | PER CITY COMMENT |

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LEGEND

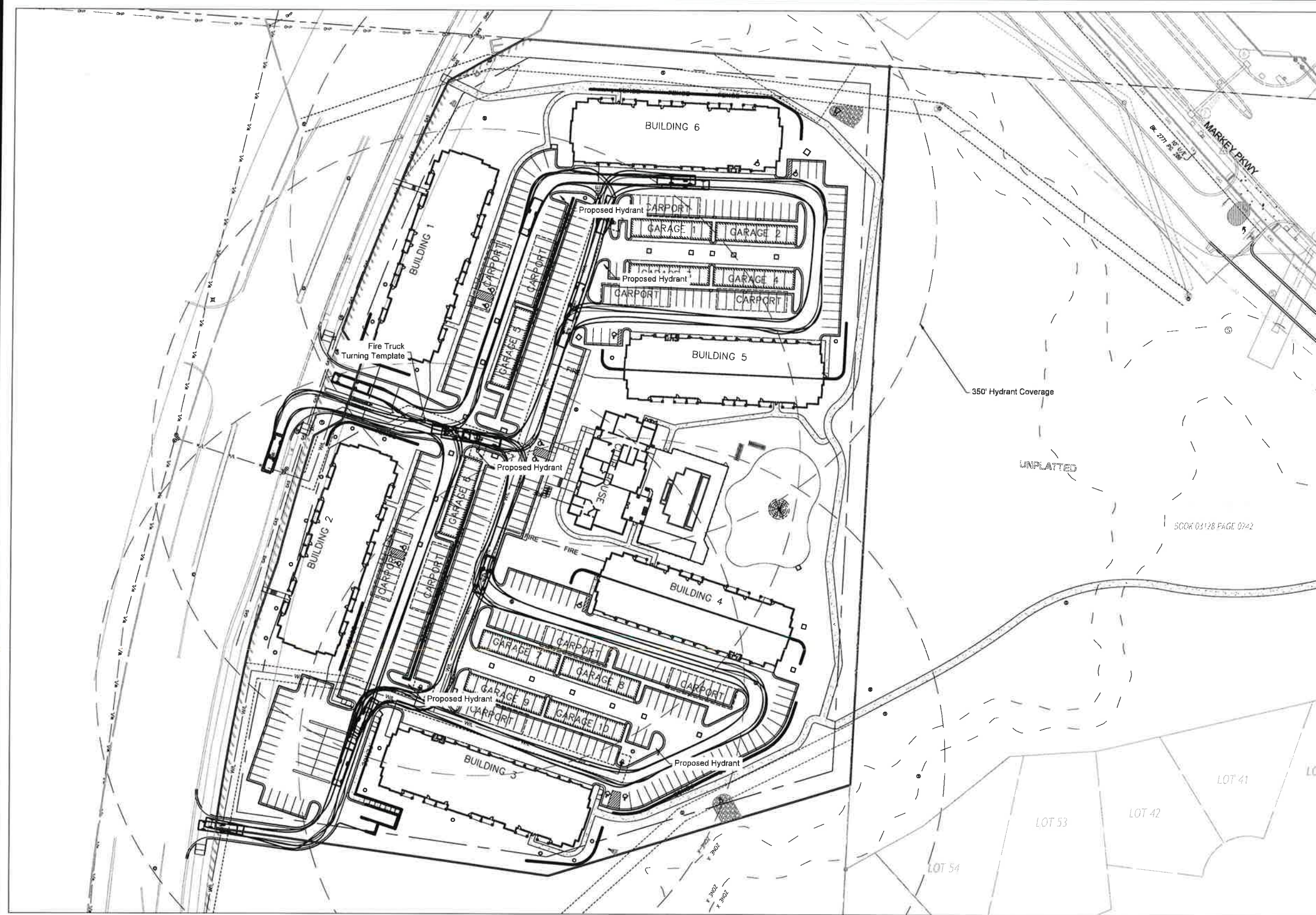
| | |
|------|---------------------------|
| WL | Proposed Main Extension |
| FIRE | Proposed Fire Service |
| WL | Proposed Water Service |
| GS | Proposed Sanitary Service |
| ST | Proposed Storm Sewer |



| NO. | DATE | REVISION |
|-----|----------|---------------------|
| 1 | 10/22/20 | ORIGINAL SUBMISSION |
| 2 | 11/24/20 | PER CITY COMMENT |
| 3 | 12/15/20 | PER CITY COMMENT |

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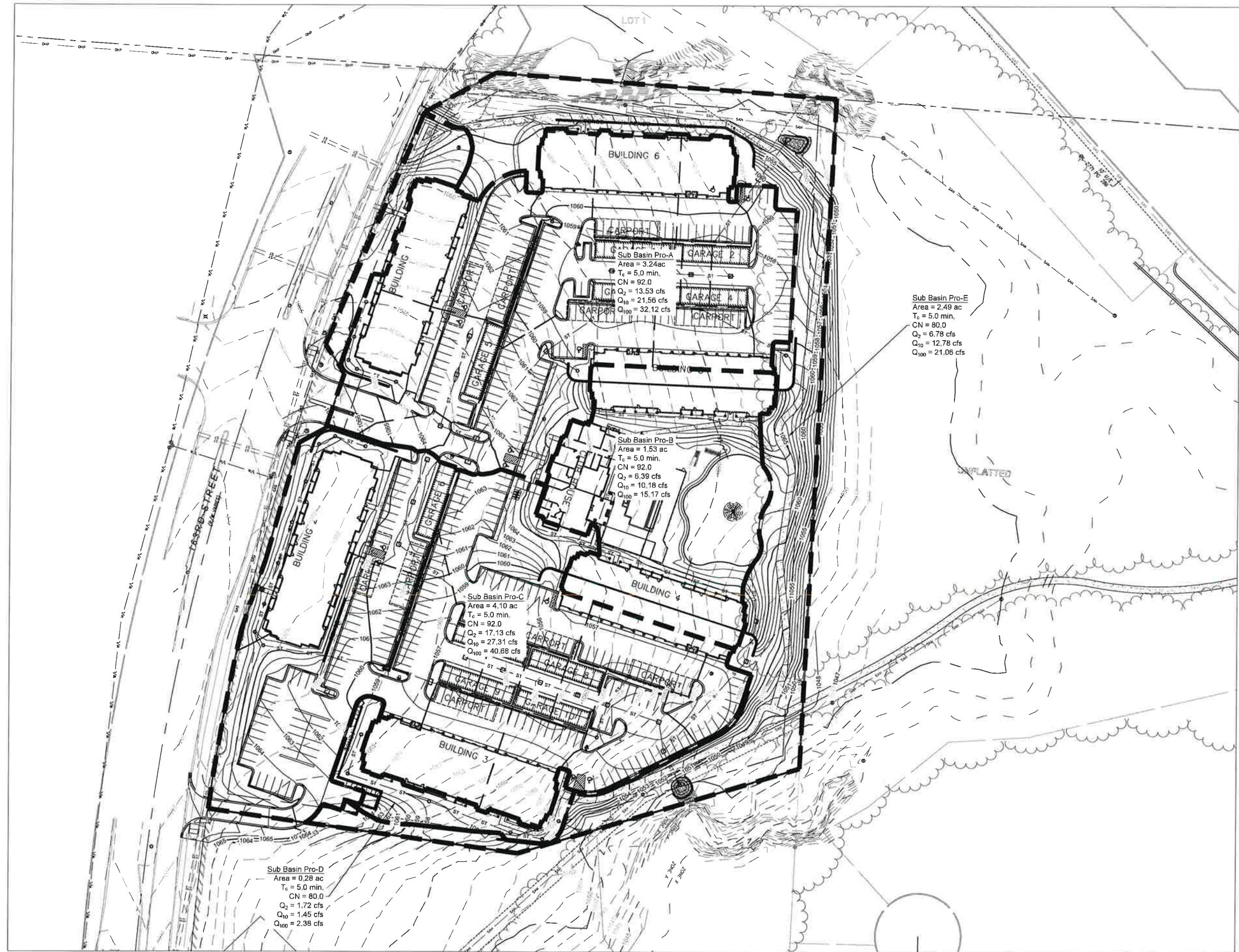


Fire Protection Plan

| NO. | DATE | BY | FOR | REVISION |
|-----|------------------|----|-----|---------------------|
| 3 | TWO MES 12/15/20 | | | PER CITY COMMENT |
| 2 | ADD MES 11/24/20 | | | PER CITY COMMENT |
| 1 | ADD MES 10/22/20 | | | ORIGINAL SUBMISSION |

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| NO. | REV. | DATE | DESCRIPTION |
|-----|------|--------------|---------------------|
| 1 | ADD | MES 11/24/20 | PER CITY COMMENT |
| 2 | ADD | MES 11/24/20 | PER CITY COMMENT |
| 3 | TRD | MES 12/15/20 | PER CITY COMMENT |
| 4 | ADD | MES 12/22/20 | ORIGINAL SUBMISSION |
| 5 | REV | 02/11/21 | REVISION |

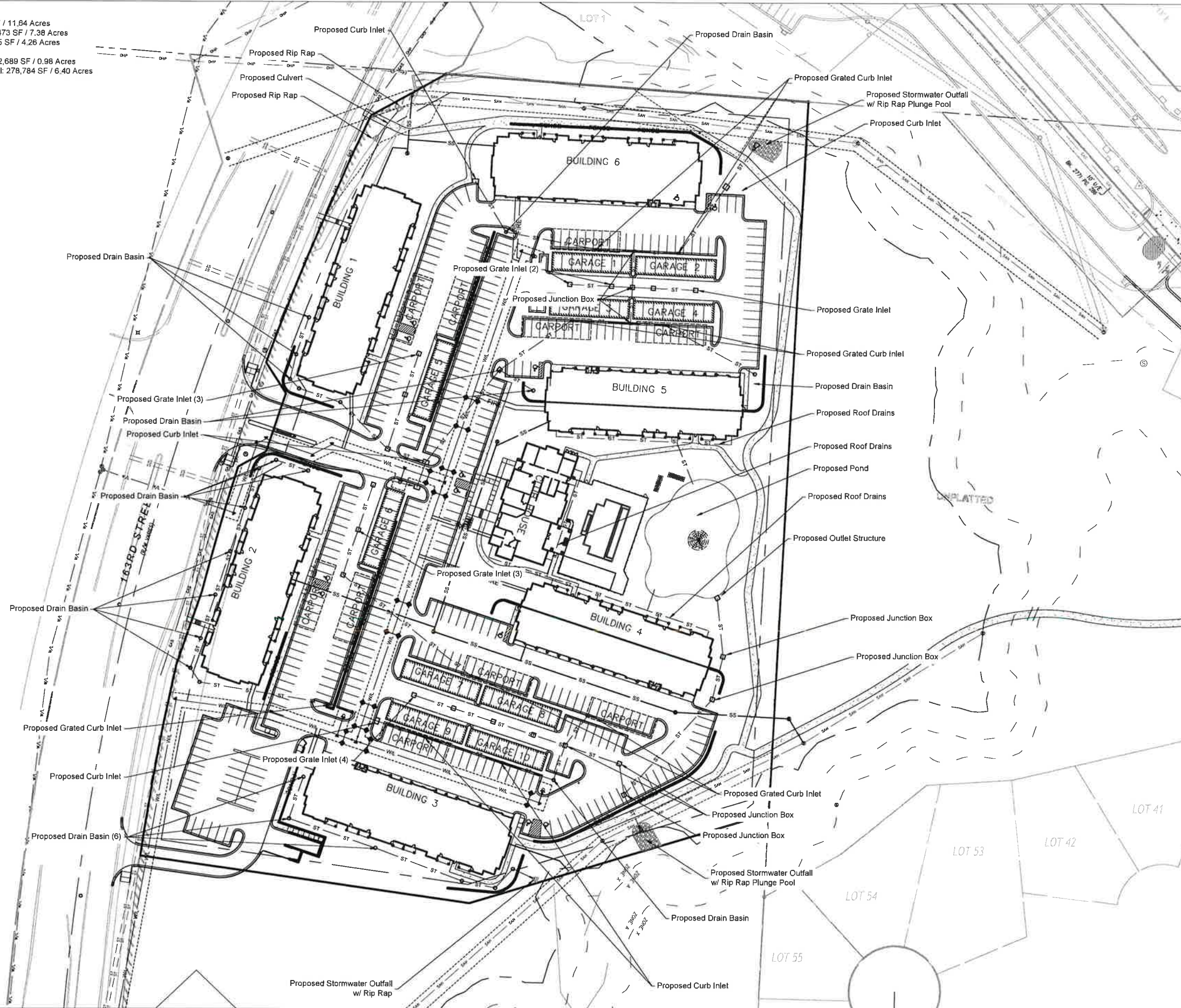
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Drainage Data Table

Total Site Area: 507,038 SF / 11.64 Acres
 Total Site Impervious: 321,473 SF / 7.38 Acres
 Total Site Pervious: 185,695 SF / 4.26 Acres

Impervious Area to Pond: 42,689 SF / 0.98 Acres
 Impervious Area to Regional: 278,784 SF / 6.40 Acres



Preliminary Storm
Layout

| NO. | BY | DATE | REVISION |
|-----|---------|----------|---------------------|
| 3 | TCD MES | 12/15/20 | PER CITY COMMENT |
| 2 | ADD MES | 11/24/20 | PER CITY COMMENT |
| 1 | ADD MES | 10/22/20 | ORIGINAL SUBMISSION |

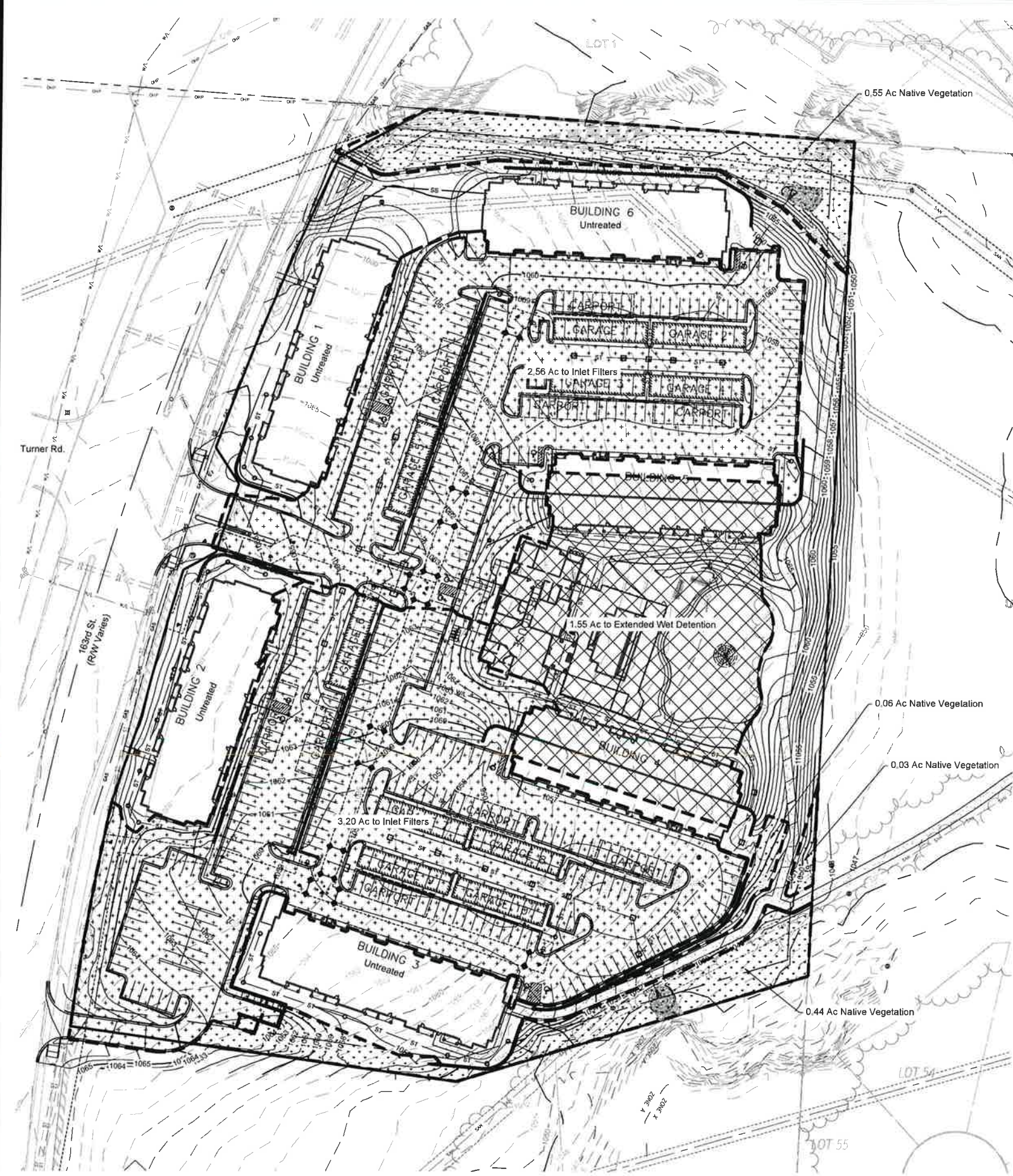
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| | | | |
|---|-----|-----|----------|
| 1 | TCD | MES | 12/15/20 |
| 2 | ADD | MES | 1/24/21 |
| 3 | ADD | MES | 10/22/20 |
| 4 | ADD | BY | CD |
| | | | DATE |

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- Legend**
- Extended Wet Detention
 - Inlet Filter
 - Maintained/Established Native Vegetation
 - Untreated



1. Required LS (New Development, Wksht 1) or Total VR (Redevelopment, Wksht 1A): 4.00

Note: Various BMPs may alter CN of proposed development, and LS; recalculate both if applicable.

2. Proposed BMP Option Package No. 1

| Cover/BMP Description | Treatment Area | VR from Table 4.4 or 4.6 ¹ | Product of VR x Area |
|---------------------------|----------------|---------------------------------------|----------------------|
| Extended Wet Detention | 1.55 | 5.00 | 7.75 |
| Inlet Filter | 3.20 | 5.00 | 16.00 |
| Inlet Filter | 2.56 | 5.00 | 12.80 |
| Native Vegetation | 1.08 | 9.25 | 9.99 |
| Untreated | 3.25 | 0.00 | 0.00 |
| Total²: | 11.64 | Total: | 46.54 |
| | | *Weighted VR: | 4.00 |

**FLEXSTORM PURE FILTERS FOR PERMANENT INLET PROTECTION
PRODUCT SELECTION AND SPECIFICATION DRAWING**

CREATE YOUR OWN FLEXSTORM PART NUMBER BY COMBINING FRAME FIN AND BAG FIN

NOTES:

- ALL FRAMING IS CONSTRUCTED OF 304 STAINLESS STEEL FOR 80 YEAR SERVICE LIFE RATING.
- TOTAL BYPASS CAPACITY: BYPASS CAPACITY WILL VARY WITH EACH SIZE DRAINAGE STRUCTURE. FLEXSTORM DESIGNS FRAMING BYPASS TO MEET OR EXCEED THE DESIGN FLOW OF THE PARTICULATE DRAINAGE STRUCTURE.
- UPON BREAKING CONFIRMATION OF THE DOT CALL-OUT, PRECAST OR CASTING MAKE AND MODEL OR DETAILED DIMENSIONAL TERMS MUST BE PROVIDED TO CONFIRM AND ASSEMBLE YOUR CUSTOMIZED FLEXSTORM INLET FILTER. PART NUMBER ALONE IS NOT SUFFICIENT.
- FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM

INSTALLATION:

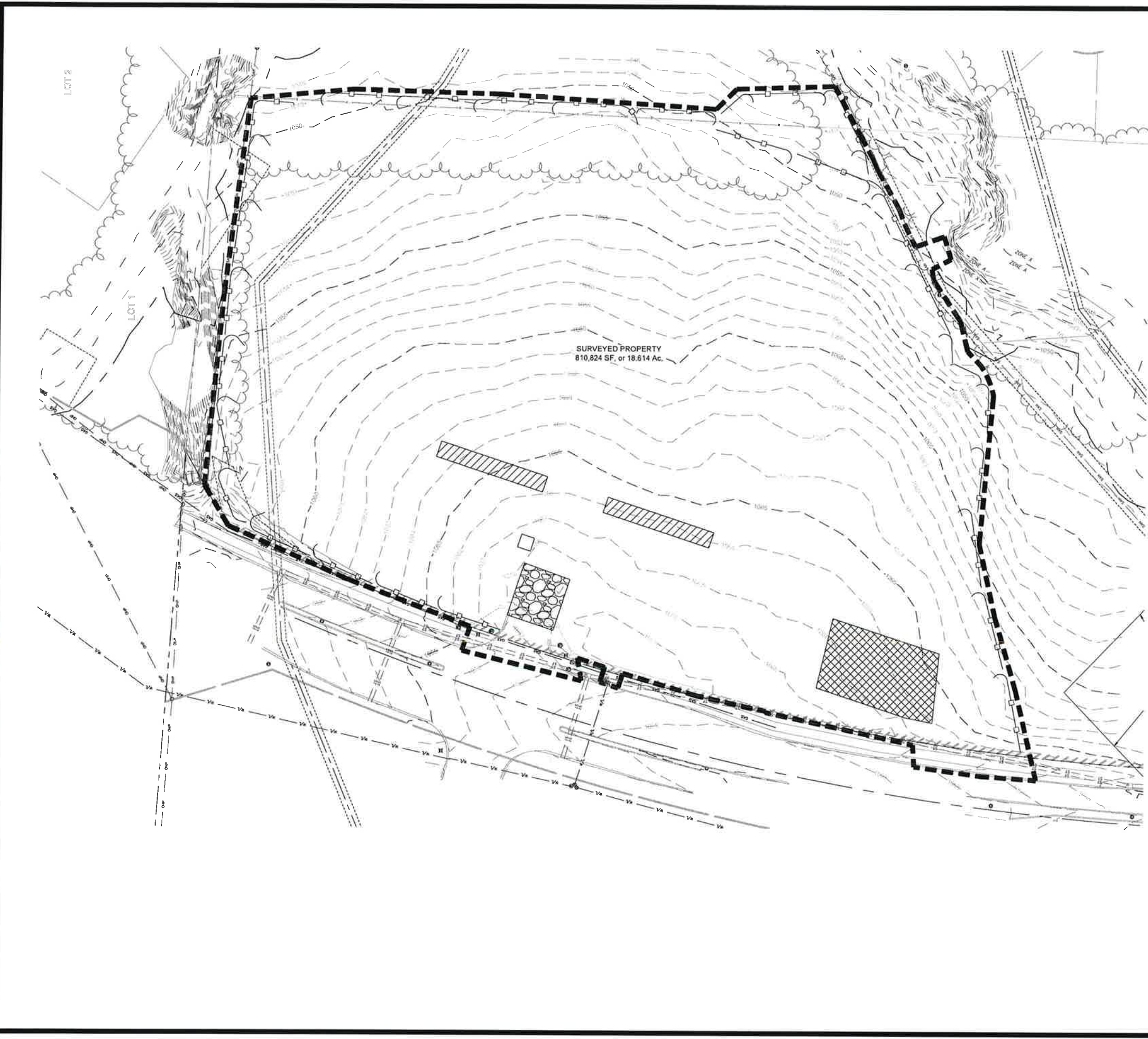
- REMOVE GRATE
- DROP FLEXSTORM INLET FILTER OVER LEAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE.
- REPLACE GRATE

ALL PRODUCTS MANUFACTURED BY INLET & PIPE PROTECTION, INC. A DIVISION OF AES, INC.
WWW.INLETFILTERS.COM
(866) 287-9025 FX
(630) 355-3477 FX
INFO@INLETFILTERS.COM

Note: Proposed inlet filters shall be FlexStorm Post Construction with filter bags or approved equivalent. See approved RIC Stormwater Management Study, dated April 4, 2020, for more information.

| NO. | DATE | DESCRIPTION | BY | CHKD. |
|-----|----------|---------------------|----|-------|
| 1 | 12/19/20 | PER CITY COMMENT | | |
| 2 | 1/24/21 | PER CITY COMMENT | | |
| 3 | 1/24/21 | ORIGINAL SUBMISSION | | |
| 4 | 10/22/20 | REVISION | | |

Renaissance Infrastructure Consulting
 1815 MCCREY STREET, SUITE 200
 KANSAS CITY, MISSOURI 64108
 816.800.0950
 www.rii-consult.com



EROSION CONTROL LEGEND

- Stabilized Construction Entrance
- Staging Area
- Stockpile Area
- Concrete Washout
- Limits of Disturbance
- Perimeter Silt Fence
- Inlet Protection
- Seed/Sod

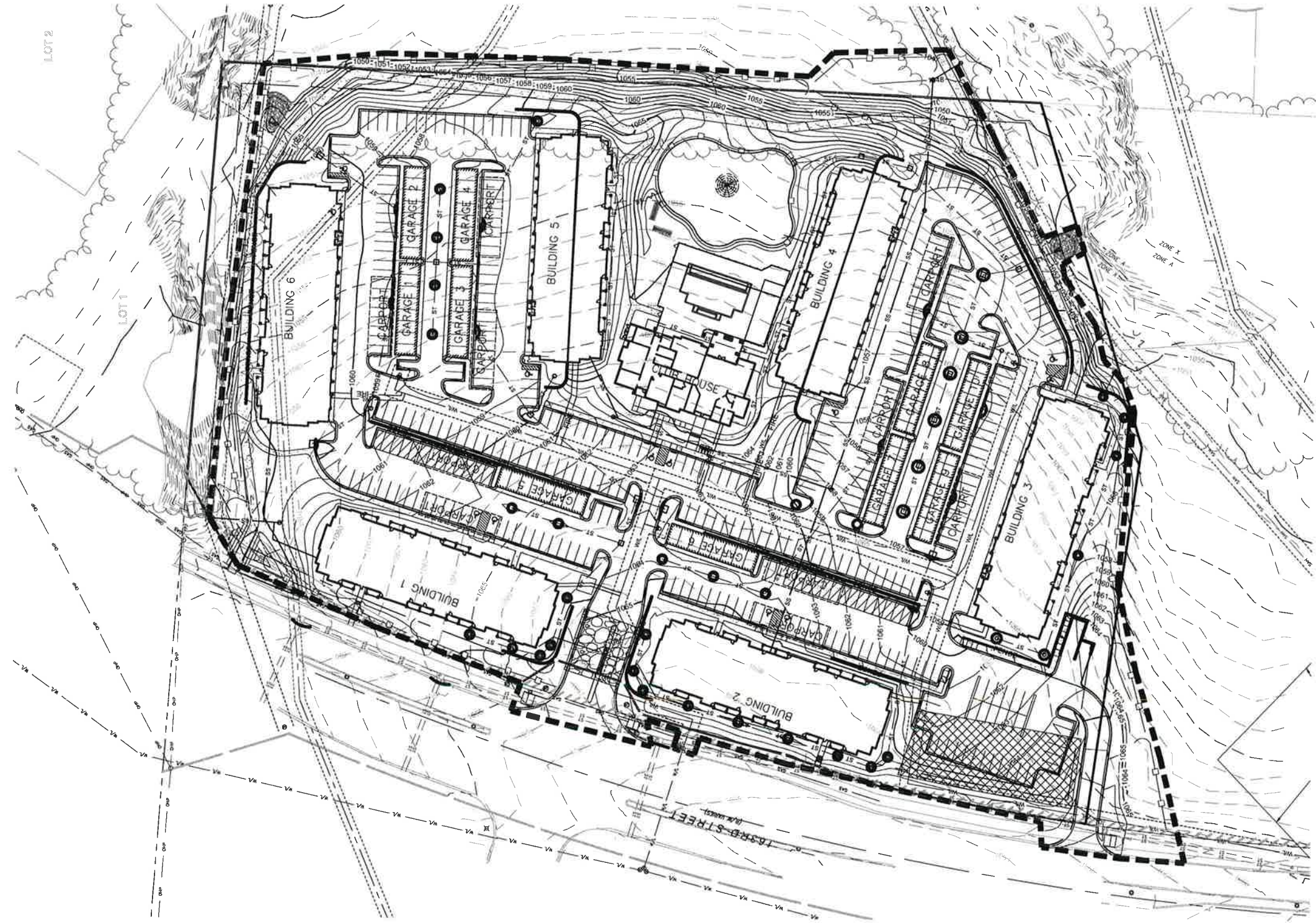
WRITTEN SEQUENCING

1. **Implement Pre-Construction Plan:**
All temporary structural BMP's shown on the BMP plan must be in place before any site disturbance. Clearing necessary to place temporary structural BMP's is the minimum required for installation. Coordinate clearing necessary to place temporary structural BMP's with local weather forecast so that clearing and placement may be completed within a forecast dry period. Stabilize all erosion control measures after installation. Temporary Barrier Fence shall be in place, around areas not to be disturbed, prior to any construction activities. This area includes Stream Corridor.
Clear and Stabilize Work Areas:
Grade contractor areas and place all-weather surface on contractor areas.
2. **Clearing and Grubbing:**
After Phase I BMP's are installed, contractor may clear, grub, and demo required areas as necessary.

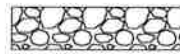







EROSION CONTROL NOTES

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4. The contractor shall be responsible for maintaining erosion control devices and removing sediment until a minimum of 70% of permanent vegetation has become stabilized and established. Erosion control devices shall remain in place until the 70% established vegetation is met, or the duration of the project, whichever is the later date.
5. The contractor shall temporarily seed and mulch all disturbed areas if there has been no construction activity on them for a period of fourteen (14) calendar days.
6. Install "J" Hooks on silt fence every 100 LF
7. Contractor to install all Phase I erosion control devices prior to construction.
8. Contractor shall replace disturbed area with seed or sod, as indicated on the plans, and shall be installed within 14 days after paving completion and final topsoil grading.
9. Topsoil replacement shall be 6" thick.
10. Silt fence to be installed in accordance with Belton, Missouri Standard Details.
11. Refer to APWA 2150 for good housekeeping and spill measures.
12. The Contractor shall inspect erosion control devices every 7 days and within 24 hours of a storm of 0.5 inches or more. The Contractor shall repair damage, clean out sediment, and add additional erosion control devices as needed, as soon as practicable, after inspection. The Contractor shall also inspect and assure that all sediment control devices are in working condition prior to any forecasted rainfall.

MO Certificate of Authority: E-2010030363



EROSION CONTROL LEGEND

-  Stabilized Construction Entrance
-  Staging Area
-  Stockpile Area
-  Concrete Washout
-  Limits of Disturbance
-  Perimeter Silt Fence
-  Inlet Protection
-  Seed/Sod

WRITTEN SEQUENCING

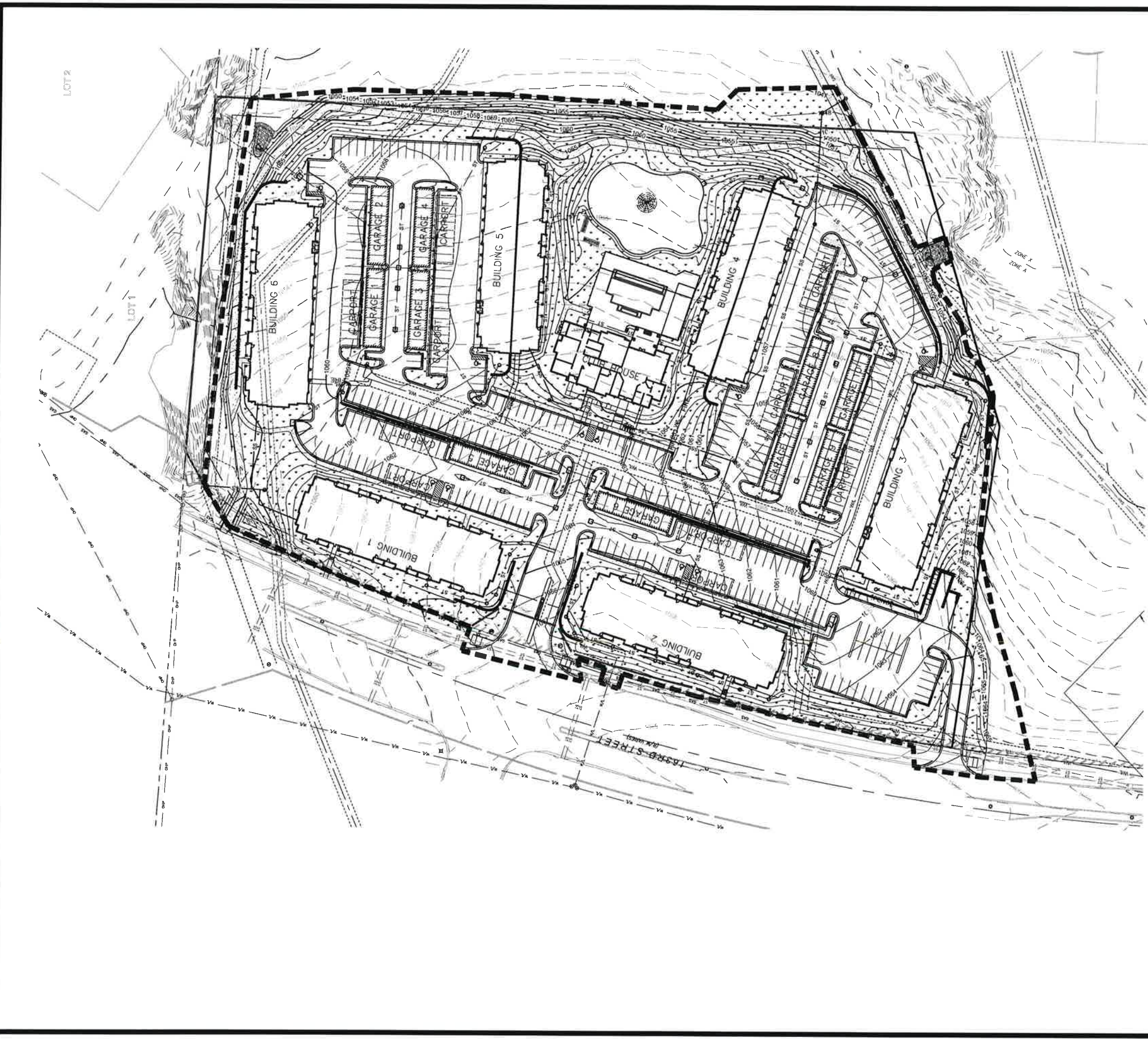
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EROSION CONTROL NOTES

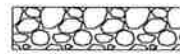







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| NO. | BY | DATE | PER CITY COMMENT | REVISION |
|-----|-----|--------------|------------------|---------------------|
| 1 | JAD | MES 10/22/20 | | ORIGINAL SUBMISSION |
| 2 | JAD | MES 11/24/20 | | REVISION |
| 3 | TCD | MES 12/15/20 | | |



EROSION CONTROL LEGEND

-  Stabilized Construction Entrance
-  Staging Area
-  Stockpile Area
-  Concrete Washout
-  Limits of Disturbance
-  Perimeter Silt Fence
-  Inlet Protection
-  Seed/Sod

WRITTEN SEQUENCING

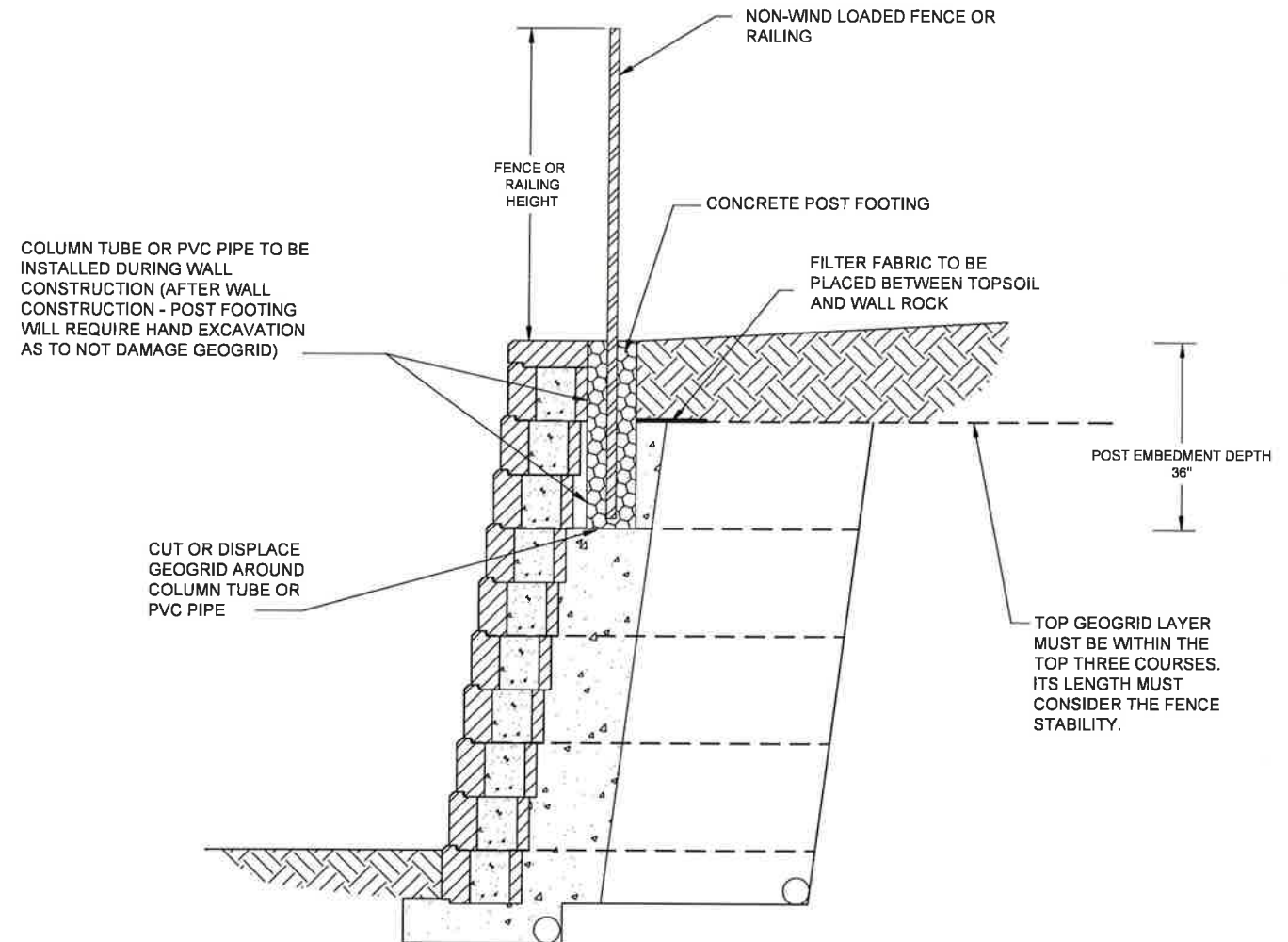
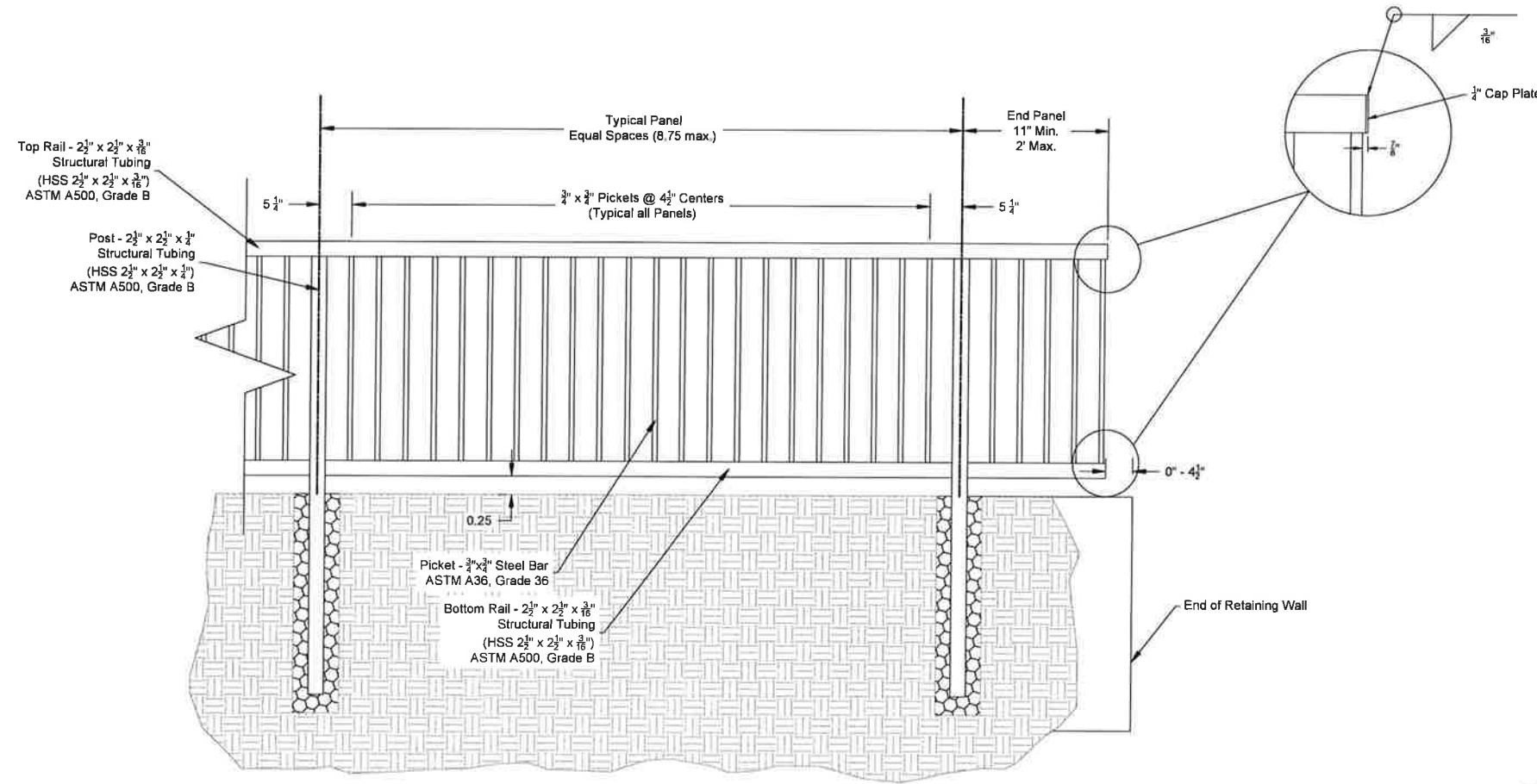
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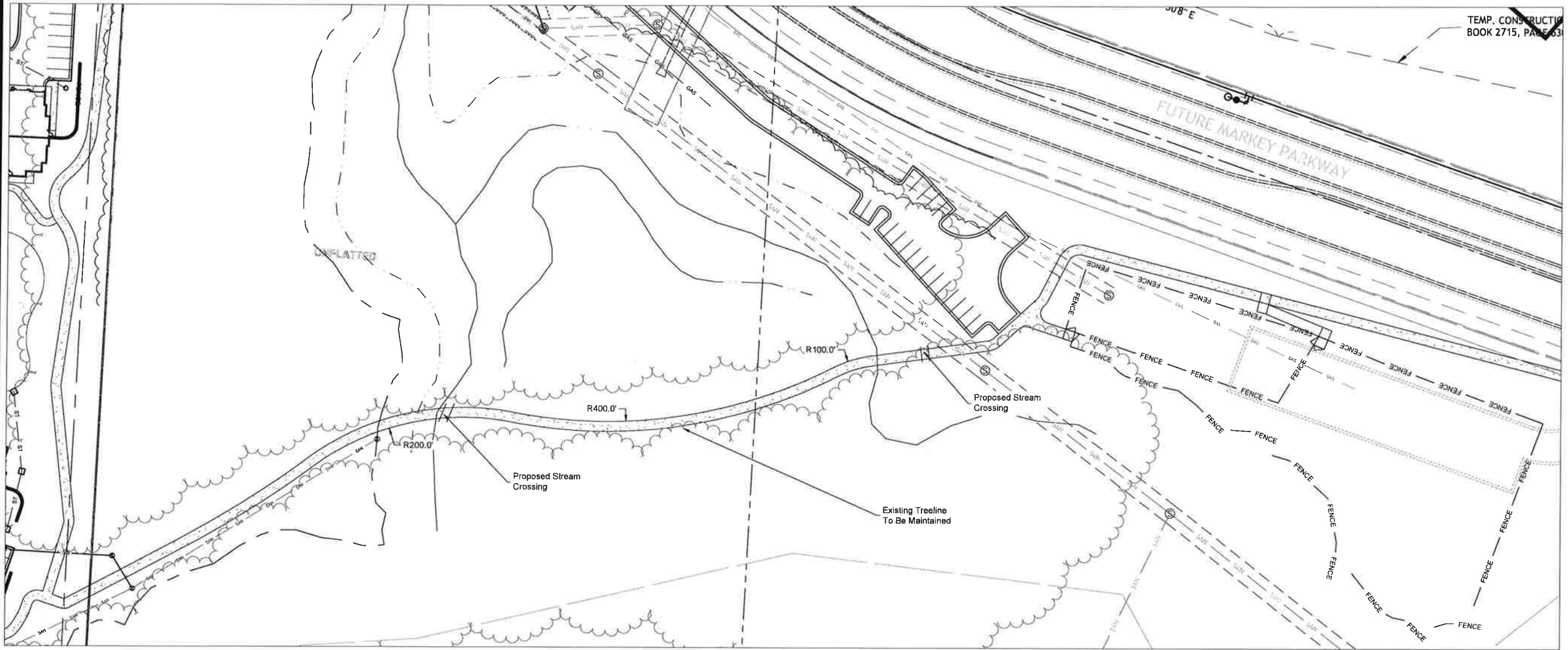


| NO. | REV. | DATE | DESCRIPTION |
|-----|------|--------------|---------------------|
| 1 | ICD | MES 12/15/20 | PER CITY COMMENT |
| 2 | JSD | MES 11/24/20 | PER CITY COMMENT |
| 1 | ICD | MES 10/22/20 | ORIGINAL SUBMISSION |
| 1 | ICD | 08/11/20 | REVISED |

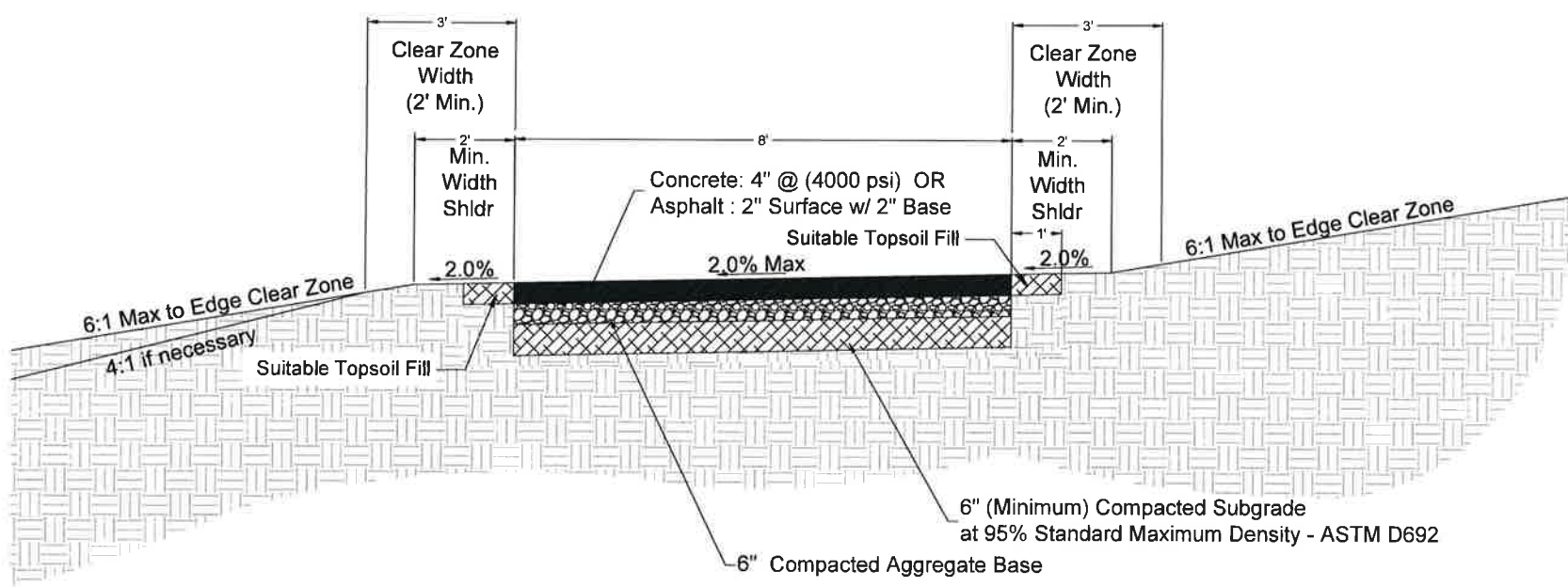


| NO. | REV. | DATE | BY | CHKD. | DESCRIPTION |
|-----|------|----------|----|-------|---------------------|
| 1 | JAD | 10/22/20 | | | ORIGINAL SUBMISSION |
| 2 | JAD | 11/24/20 | | | PER CITY COMMENT |
| 3 | TCD | 12/15/20 | | | PER CITY COMMENT |

Renaissance Infrastructure Consulting
 132 ABBE AVENUE
 KANSAS CITY, MISSOURI 64103
 816.317.9500
 WWW.RIC-CONSULT.COM
 MO Certificate of Authority E-2010039630



TEMP. CONSTRUCTION
BOOK 2715, PAGE 63



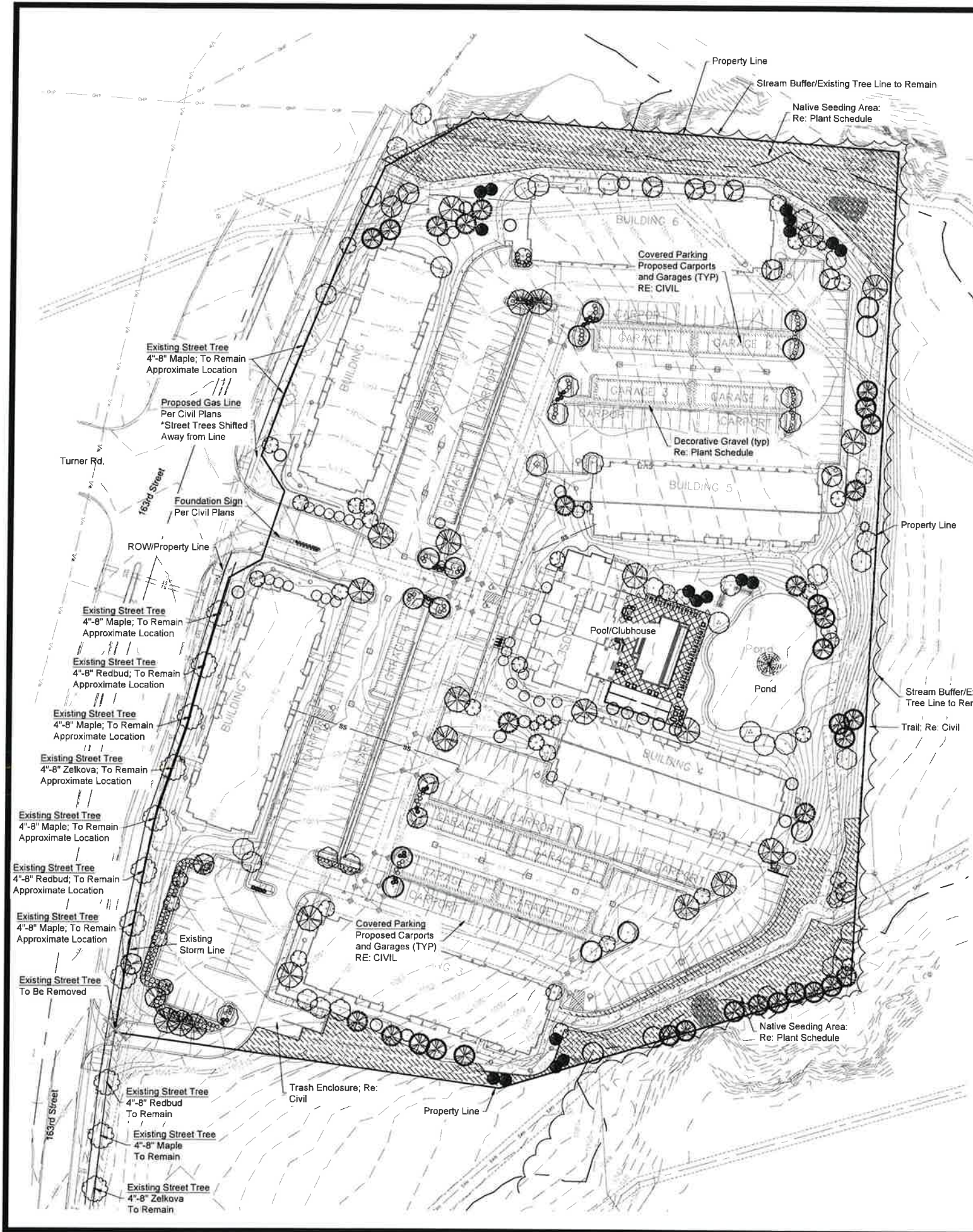
**Proposed Trail
Typical Section
(NTS)**

| NO. | DATE | BY | CHKD. | DESCRIPTION |
|-----|----------|-----|-------|---------------------|
| 3 | 12/15/20 | JES | JES | PER CITY COMMENT |
| 2 | 11/24/20 | JES | JES | PER CITY COMMENT |
| 1 | 10/22/20 | JES | JES | ORIGINAL SUBMISSION |

**Renaissance
Infrastructure
Consulting**

132 ABRAHAM AVENUE
KANSAS CITY, MISSOURI 64103
913.517.9500
WWW.RIC-CONSULT.COM

MO Certificate of Authority E-2010033630



PLANT SCHEDULE

| TREES | BOTANICAL / COMMON NAME | CONT | CAL | SIZE | QTY |
|-----------------|--|--------|---------|----------|-----|
| | Acer rubrum 'Red Sunset' / Red Sunset Maple | B&B | 2.5" | Cal. | 20 |
| | Betula nigra 'Heritage' / Heritage River Birch | B&B | 2.5" | Cal. | 3 |
| | Cercis canadensis 'Forest Pansy' TM / Forest Pansy Redbud | B&B | 1.5" | | 23 |
| | Cornus kousa / Kousa Dogwood | B&B | 2" | Cal. | 14 |
| | Gleditsia triacanthos 'Skyline' / Skyline Honey Locust | B&B | 2.5" | Cal. | 17 |
| | Malus x 'Spring Snow' / Spring Snow Crab Apple | B&B | 2" | Cal. | 23 |
| | Nyssa sylvatica 'Wiktire' / Black Gum | B&B | 2.5" | Cal. | 22 |
| | Quercus robur 'Regal Prince' / Regal Prince English Oak | B&B | 2.5" | Cal. | 26 |
| | Quercus shumardi / Shumard Red Oak | B&B | 2.5" | Cal. | 15 |
| | Zelkova serrata 'City Sprite' TM / City Sprite Zelkova | B&B | 2.5" | Cal. | 14 |
| EVERGREEN TREES | BOTANICAL / COMMON NAME | CONT | CAL | SIZE | QTY |
| | Juniperus virginiana 'Hilspire' / Hilspire Juniper | B&B | 5' - 8' | Hi. | 7 |
| | Picea pungens 'Fal Albert' / Colorado Spruce | B&B | 6' | Hi. Min. | 18 |
| | Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine | B&B | 6' | Hi. Min. | 20 |
| | Pinus strobus / White Pine | B&B | 6' | Hi. Min. | 13 |
| SHRUBS | BOTANICAL / COMMON NAME | CONT | QTY | | |
| | Berberis thunbergii 'Atropurpurea' / Red Leaf Japanese Barberry | 5 Gal. | 33 | | |
| | Cornus hessell 'Garden Glow' / Dogwood | 5 Gal. | 19 | | |
| | Ilex glabra 'Shamrock' / Shamrock Inkberry Holly | 3 Gal. | 10 | | |
| | Ilex virginica 'Henry's Garnet' / Henry's Garnet Sweetpire | 5 Gal. | 22 | | |
| | Juniperus chinensis 'Gold Lace' / Gold Lace Juniper | 5 Gal. | 54 | | |
| | Physocarpus opulifolius 'Summer Wine' / Summer Wine Ninebark | 5 Gal. | 10 | | |
| | Rosa x 'Radiko' / Double Knock Out Red Rose | 5 Gal. | 27 | | |
| | Taxus x media 'Deniformis' / Dense Yew | 5 Gal. | 34 | | |
| GRASSES | BOTANICAL / COMMON NAME | CONT | QTY | | |
| | Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass | 5 Gal. | 49 | | |
| | Micanthus sinensis 'Gracillimus' / Maiden Grass | 5 Gal. | 34 | | |
| GROUND COVERS | BOTANICAL / COMMON NAME | CONT | QTY | | |
| | Native Seed Mix / Seed Schizachyrium scoparium / Little Bluestem-30% Sporobolus heterolepis / Prairie Dropseed-20% Sorghastrum nutans / Side-oats Grass-30% Sporobolus compositus / Tall Dropseed-20% Seeding Rate: 15 lbs/PLS per Acre | | | | |
| | Turfgrass Sod Fescue Mix; RE: Notes / Fescue Sod | | | | |

General Notes:

- Refer to Sheet L02 for Notes & Details
- Foundation Plants are not required. Additional plantings around the foundation will be determined with permit plans

Landscape Calculations:

Total Lot Area: 507,374.4 sf / 11,648 Ac

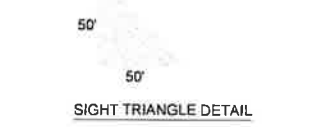
Landscape Area: 30% Lot Area
Required: 152,212 sf
Provided: 185,695 sf (37%)

Additional Trees Required: .75 Trees / Dwelling Unit (DU)
Total DU's: 322
Required: 322 x .75 = 241.5 = 242 Trees

Interior Parking Lot Landscaping: 1 Tree / 10 Spaces & 3 Shrubs / 10 Spaces
Total Parking Spaces: 455 (Surface/Carport/Detached Garage)
Total Trees: 455 / 10 = 45.5 = 46 Trees
Total Shrubs: 455 / 10 = 45.5 x 3 = 136.5 = 137 Shrubs
Provided: 46 Trees & 137 Shrubs

Perimeter Parking Lot adj to ROW: 1 Tree / 40 LF
Required: 108 LF / 40 = 2.7 = 3 Trees
Provided: 3 Trees (Shrubs are not required adj. to C-2 zoning)

Street Trees: 163rd Street
All Street Trees are existing, any trees removed for construction will be replaced at 1:1 ratio with similar species.
Additional Street Trees are provided at the NW corner, Spacing to Match Existing.



Sec. 22-6 - Screening Requirements

| Screening | Height | Material | Color | Texture |
|-----------|--------|----------|------------|---------|
| 1 | 5' | Concrete | Light Gray | Smooth |
| 2 | 5' | Concrete | Light Gray | Smooth |
| 3 | 5' | Concrete | Light Gray | Smooth |
| 4 | 5' | Concrete | Light Gray | Smooth |
| 5 | 5' | Concrete | Light Gray | Smooth |
| 6 | 5' | Concrete | Light Gray | Smooth |
| 7 | 5' | Concrete | Light Gray | Smooth |
| 8 | 5' | Concrete | Light Gray | Smooth |
| 9 | 5' | Concrete | Light Gray | Smooth |
| 10 | 5' | Concrete | Light Gray | Smooth |



Renaissance Infrastructure Consulting

815 MCCEE STREET, SUITE 200
KANSAS CITY, MISSOURI 64108
WWW.RIC-CONSULT.COM

PREP CITY COMMENT: 1/21/2020
ORIGINAL SUBMISSION: 1/22/20
DATE: 1/22/20

MO Certificate of Authority: E-2010030630

PRINTS ISSUED
12/16/2020
REVISIONS:



rosemann & ASSOCIATES P.C.
ARCHITECTURE
INTERIOR DESIGN
ENGINEERING
PLANNING
1526 Grand Boulevard
Kansas City, MO 64108-1404
p: 816.472.1448
w: www.rosemann.com
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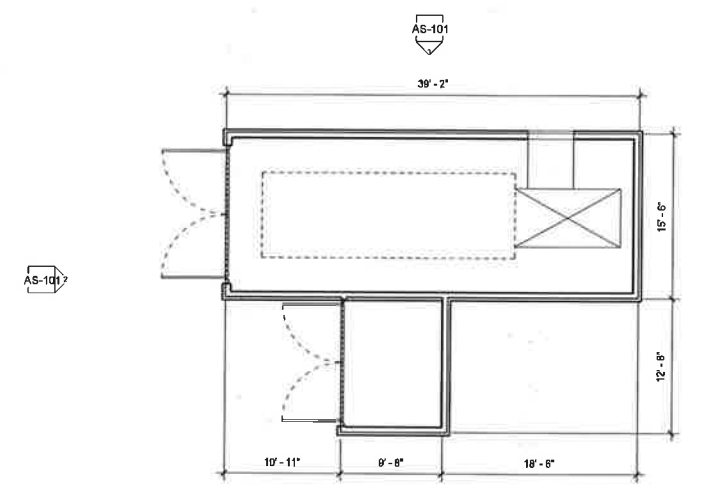
4 TRASH ENCLOSURE - SIDE B ELEVATION
1/8" = 1'-0"



3 TRASH ENCLOSURE - SIDE A ELEVATION
1/8" = 1'-0"



2 TRASH ENCLOSURE - FRONT ELEVATION
1/8" = 1'-0"



1 TRASH ENCLOSURE
1/8" = 1'-0"

THE ENCORE
163RD STREET & TURNER ROAD
BELTON, MISSOURI

SHEET TITLE
ARCHITECTURAL SITE AMENITIES
PROJECT NUMBER: 20021
SHEET NUMBER:

AS-101

DRAWN BY: Author CHECKED BY: Checker

151102021 - 10.16.21
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BUILDING TYPE "A"
4 STORY
(BLDG. # 1 AND 2 PER CIVIL)

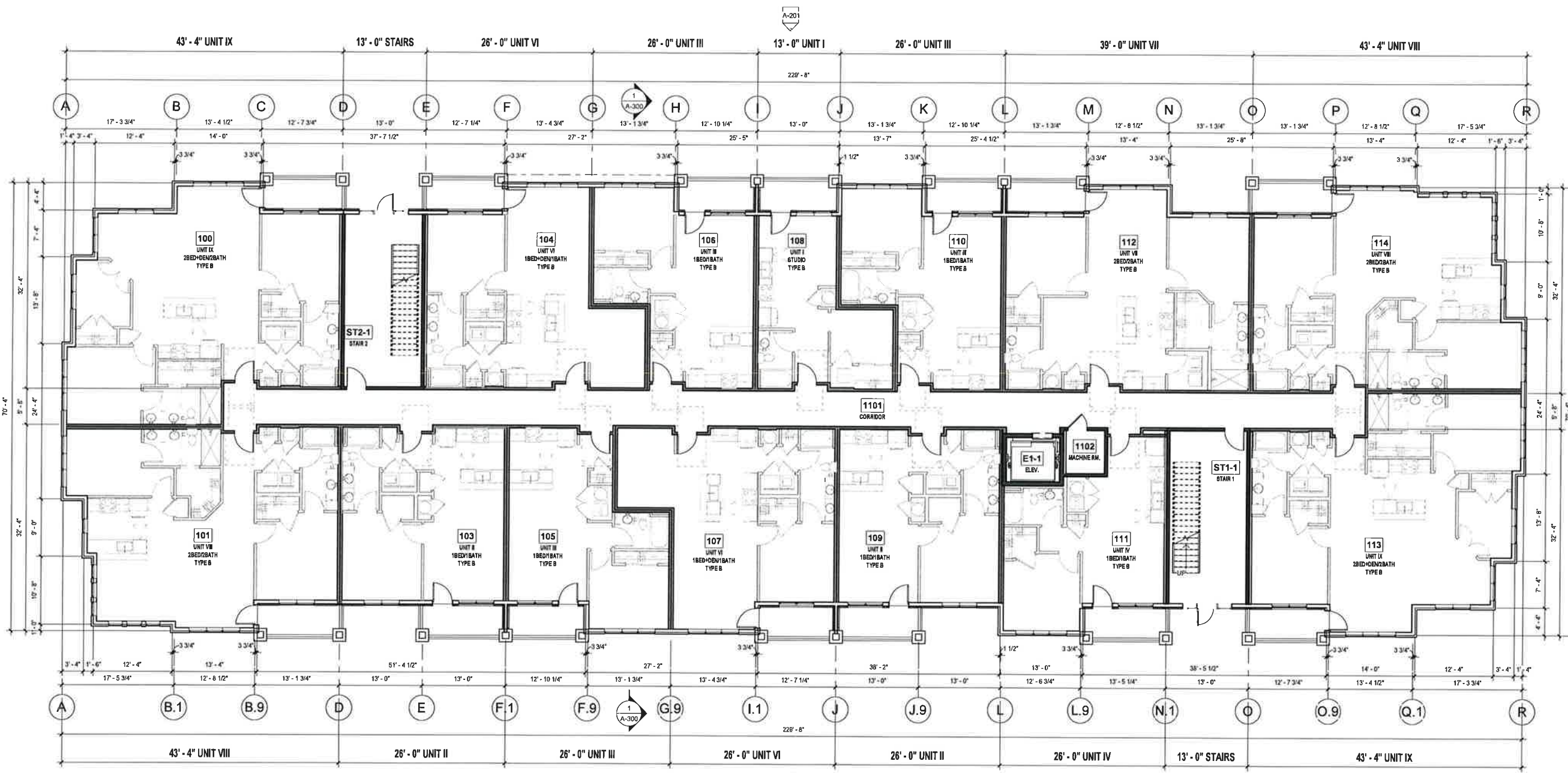
PRINTS ISSUED
 12/16/2020
 REVISIONS:

| PLAN LEGEND | |
|-------------|--|
| | PARTIAL HEIGHT PARTITION. |
| | PARTITION. |
| | SHAFT FOR RATED WALL. |
| | CONCRETE OR MASONRY WALL. |
| | EXISTING. |
| | WINDOW TYPE. REFERENCE WINDOW SCHEDULE ON SHEET A600. |
| | DOOR TYPE. REFERENCE DOOR SCHEDULE ON SHEET A600. |
| | PARTITION TYPE. RE. PARTITION SCHEDULE ON PLAN SHEETS. |

REFERENCE G-003 FOR GENERAL NOTES
 REFERENCE A-101 FOR PLAN LEGEND



rosemann & ASSOCIATES P.C.
 ARCHITECTURE
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 PLANNING
 1526 Grand Boulevard
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THE ENCORE
 163RD STREET & TURNER ROAD
 BELTON, MISSOURI

SHEET TITLE
 BLDG A - LEVEL 1
 PROJECT NUMBER: 20021
 SHEET NUMBER:

A-101

DRAWN BY: Author CHECKED BY: Checker

1 BLDG A - LEVEL 1
 1/8" = 1'-0"

20201216.13.14
 C:\Users\jgibson\OneDrive\Documents\2020\163rd\Arch\20201216.13.14\20201216.13.14.dwg

BUILDING TYPE "A"
4 STORY
(BLDG. # 1 AND 2 PER CIVIL)

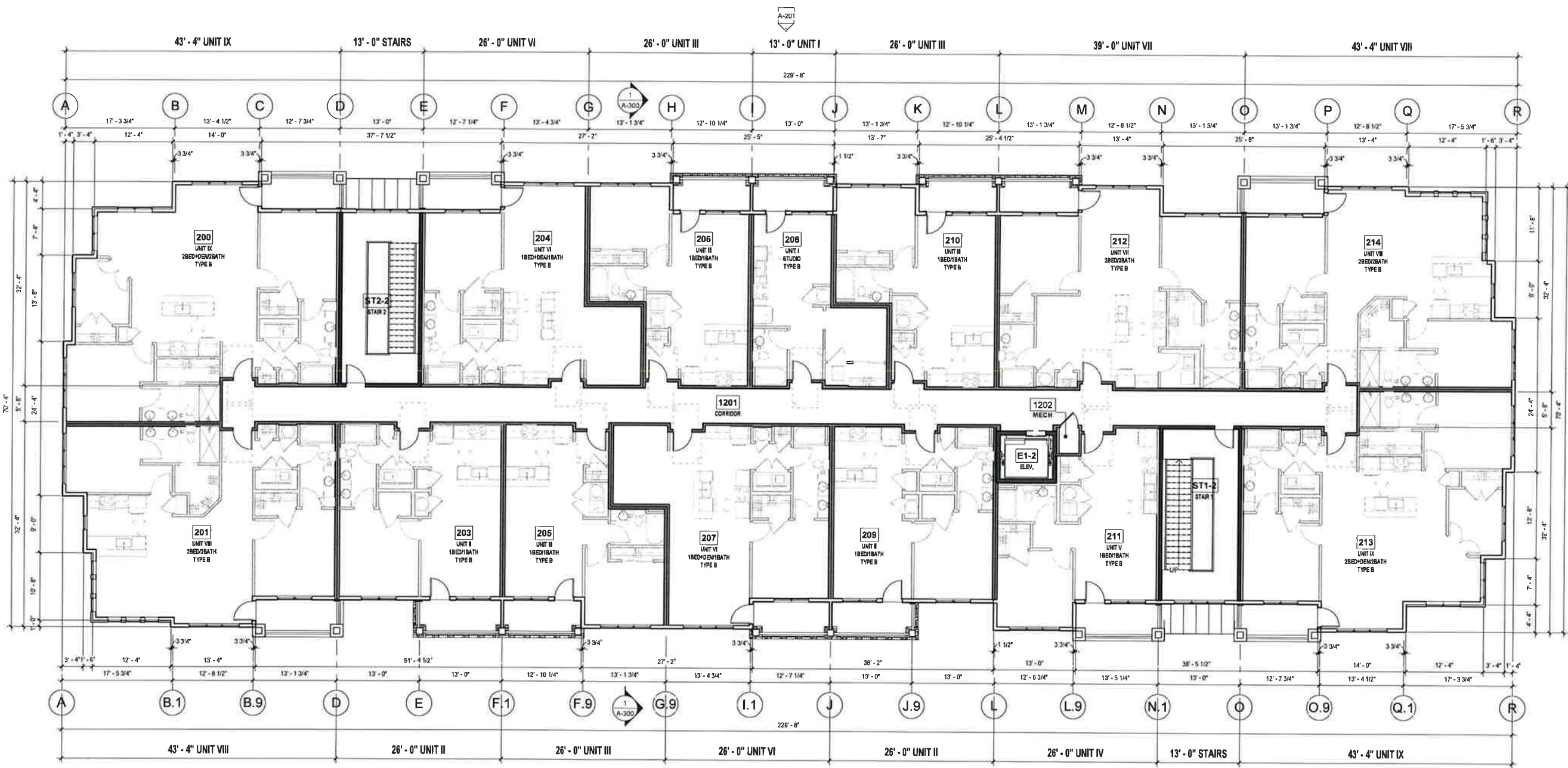
PRINTS ISSUED
 12/16/2020
 REVISIONS:

| PLAN LEGEND | |
|-------------|--|
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 15226 Grand Boulevard
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THE ENCORE
 163RD STREET & TURNER ROAD
 BELTON, MISSOURI

SHEET TITLE
 BLDG A - LEVEL 2
 PROJECT NUMBER: 20021
 SHEET NUMBER:

A-102

1 BLDG A - LEVEL 2
 1/8" = 1'-0"

DRAWN BY: Author CHECKED BY: Checker

BUILDING TYPE "A"
4 STORY
(BLDG. # 1 AND 2 PER CIVIL)

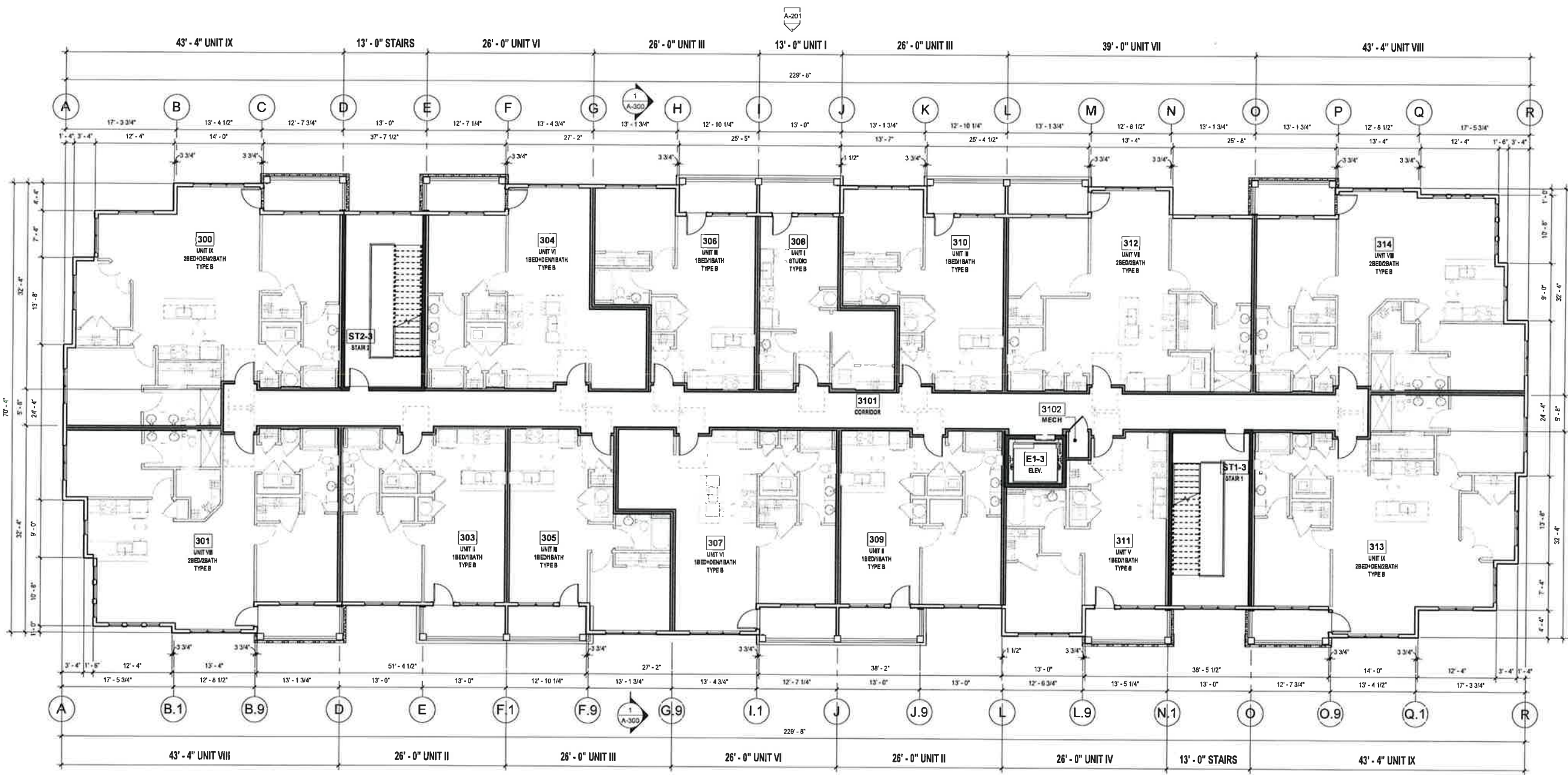
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 REVISIONS:

| PLAN LEGEND | |
|-------------|--|
| | PARTIAL HEIGHT PARTITION. |
| | PARTITION. |
| | SHAFT FOR RATED WALL. |
| | CONCRETE OR MASONRY WALL. |
| | EXISTING. |
| | WINDOW TYPE. REFERENCE WINDOW SCHEDULE ON SHEET A600. |
| | DOOR TYPE. REFERENCE DOOR SCHEDULE ON SHEET A600. |
| | PARTITION TYPE. RE. PARTITION SCHEDULE ON PLAN SHEETS. |

REFERENCE G-003 FOR GENERAL NOTES
 REFERENCE A-101 FOR PLAN LEGEND



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THE ENCORE
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SHEET TITLE
 BLDG A - LEVEL 3
 PROJECT NUMBER: 20021
 SHEET NUMBER:

A-103

1 BLDG A - LEVEL 3
 1/8" = 1'-0"

DRAWN BY: Author CHECKED BY: Checker

BUILDING TYPE "A"
4 STORY
(BLDG. # 1 AND 2 PER CIVIL)

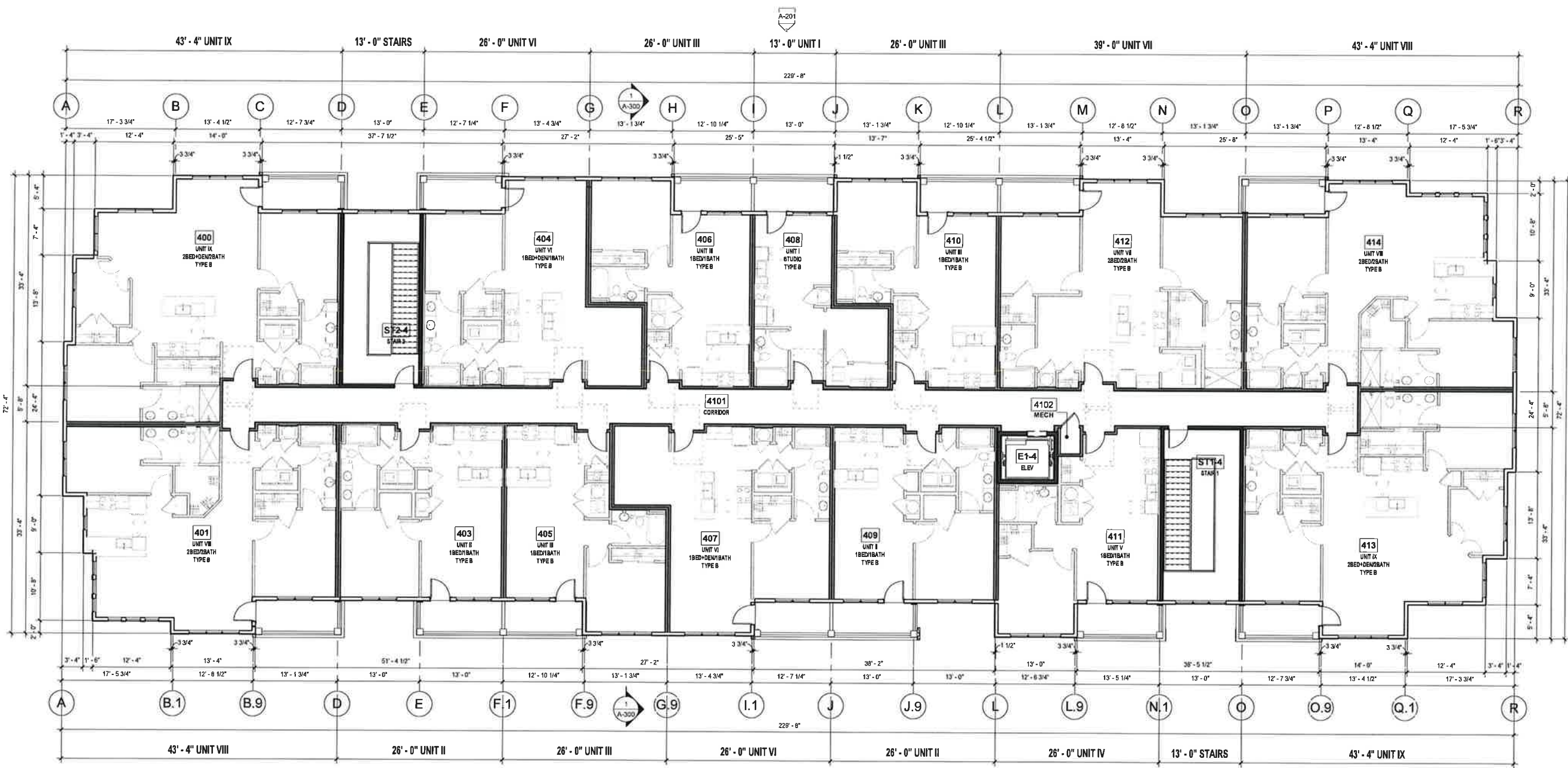
PRINTS ISSUED
 12/16/2020
 REVISIONS

| PLAN LEGEND | |
|-------------|--|
| | PARTIAL HEIGHT PARTITION. |
| | PARTITION. |
| | SHAFT FOR RATED WALL. |
| | CONCRETE OR MASONRY WALL. |
| | EXISTING. |
| | WINDOW TYPE. REFERENCE WINDOW SCHEDULE ON SHEET A600. |
| | DOOR TYPE. REFERENCE DOOR SCHEDULE ON SHEET A600. |
| | PARTITION TYPE. RE. PARTITION SCHEDULE ON PLAN SHEETS. |

REFERENCE G-003 FOR GENERAL NOTES
 REFERENCE A-101 FOR PLAN LEGEND



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SHEET TITLE
 BLDG A - LEVEL 4
 PROJECT NUMBER: 20021
 SHEET NUMBER:

A-104

1 BLDG A - LEVEL 4
 1/8" = 1'-0"

DRAWN BY: Author CHECKED BY: Checker

BUILDING TYPE "B" 4 STORY W/ GARAGES (BLDG. # 3 AND 6 PER CIVIL)

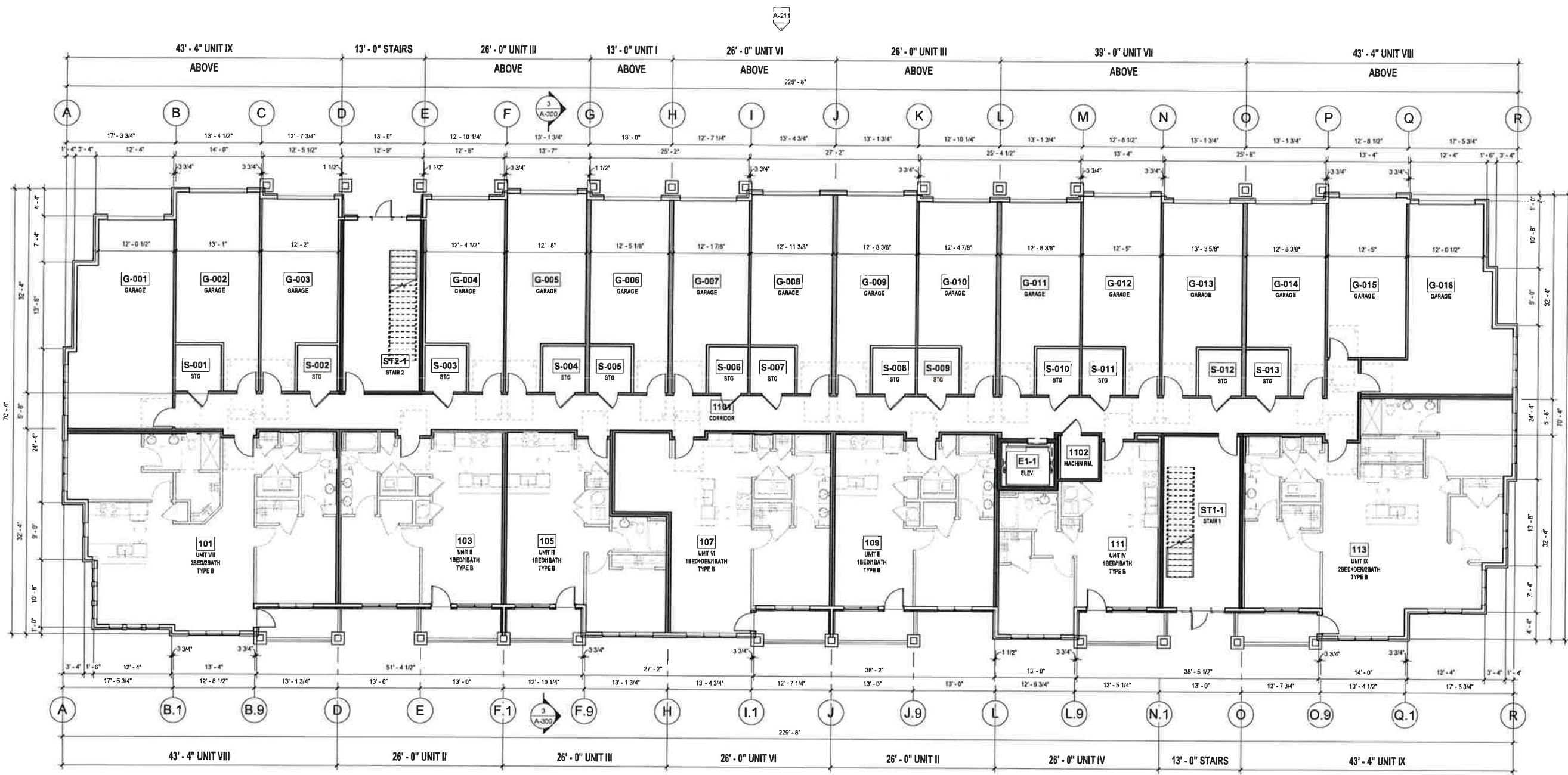
PRINTS ISSUED
12/16/2020
REVISIONS:

| PLAN LEGEND | |
|-------------|--|
| | PARTIAL HEIGHT PARTITION. |
| | PARTITION. |
| | SHAFT FOR RATED WALL. |
| | CONCRETE OR MASONRY WALL. |
| | EXISTING. |
| | WINDOW TYPE. REFERENCE WINDOW SCHEDULE ON SHEET A800. |
| | DOOR TYPE. REFERENCE DOOR SCHEDULE ON SHEET A800. |
| | PARTITION TYPE. RE. PARTITION SCHEDULE ON PLAN SHEETS. |

REFERENCE G-003 FOR GENERAL NOTES
REFERENCE A-101 FOR PLAN LEGEND



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SHEET TITLE
BLDG B - LEVEL 1
PROJECT NUMBER: 20021
SHEET NUMBER:

A-111

1 BLDG B - LEVEL 1
1/8" = 1'-0"

DRAWN BY: Author CHECKED BY: Checker

BUILDING TYPE "B" 4 STORY W/ GARAGES (BLDG. # 3 AND 6 PER CIVIL)

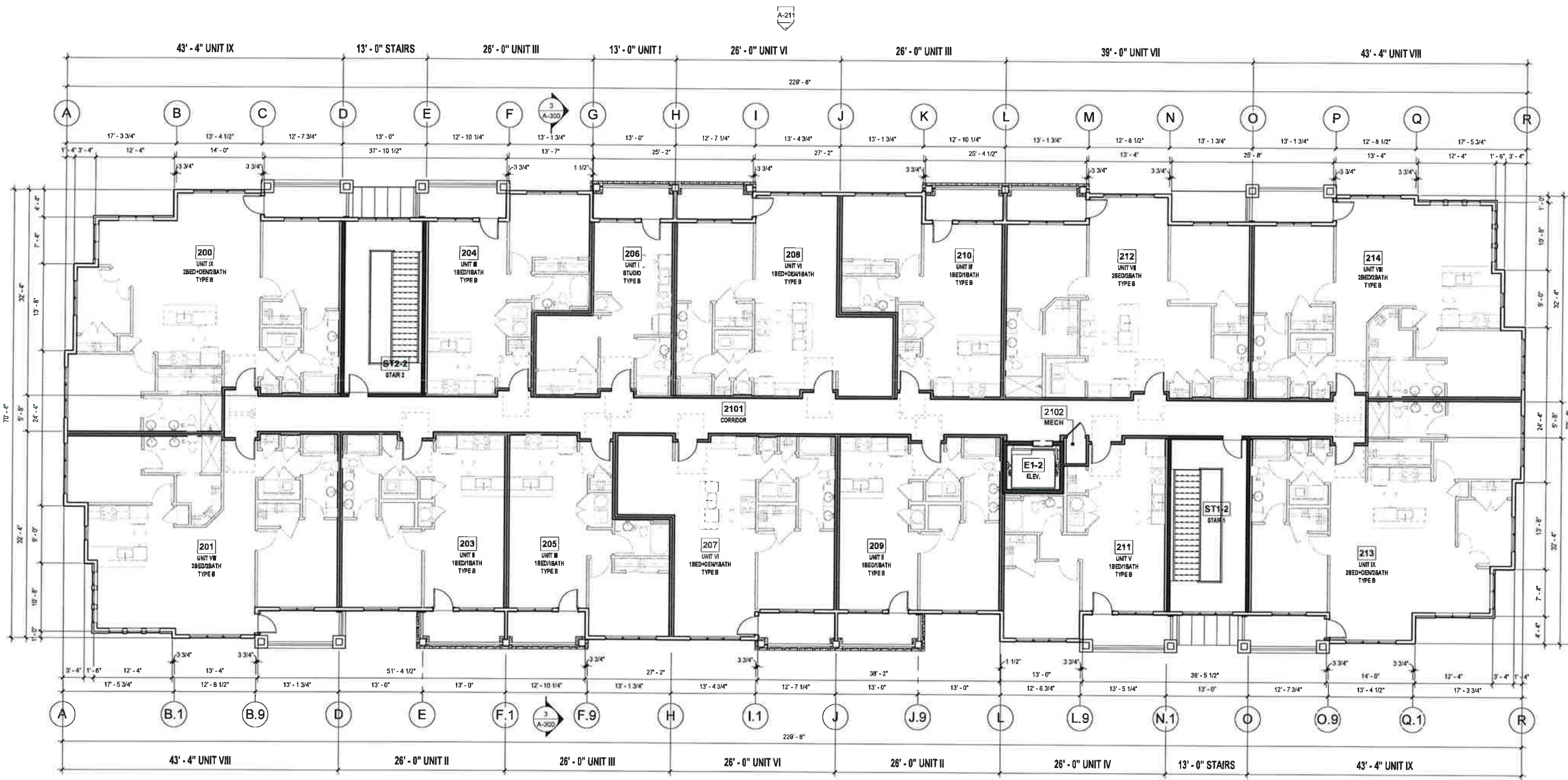
PRINTS ISSUED
12/16/2020
REVISIONS:

| PLAN LEGEND | | | |
|-------------|--------------------------|--|--|
| | PARTIAL HEIGHT PARTITION | | WINDOW TYPE. REFERENCE WINDOW SCHEDULE ON SHEET A600. |
| | PARTITION | | DOOR TYPE. REFERENCE DOOR SCHEDULE ON SHEET A600. |
| | SHAFT FOR RATED WALL | | PARTITION TYPE. RE. PARTITION SCHEDULE ON PLAN SHEETS. |
| | CONCRETE OR MASONRY WALL | | |
| | EXISTING | | |

REFERENCE G-003 FOR GENERAL NOTES
REFERENCE A-101 FOR PLAN LEGEND



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THE ENCORE 163RD STREET & TURNER ROAD BELTON, MISSOURI

SHEET TITLE
BLDG B - LEVEL 2
PROJECT NUMBER: 20021
SHEET NUMBER:

A-112

1 BLDG B - LEVEL 2
1/8" = 1'-0"

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BUILDING TYPE "B" 4 STORY W/ GARAGES (BLDG. # 3 AND 6 PER CIVIL)

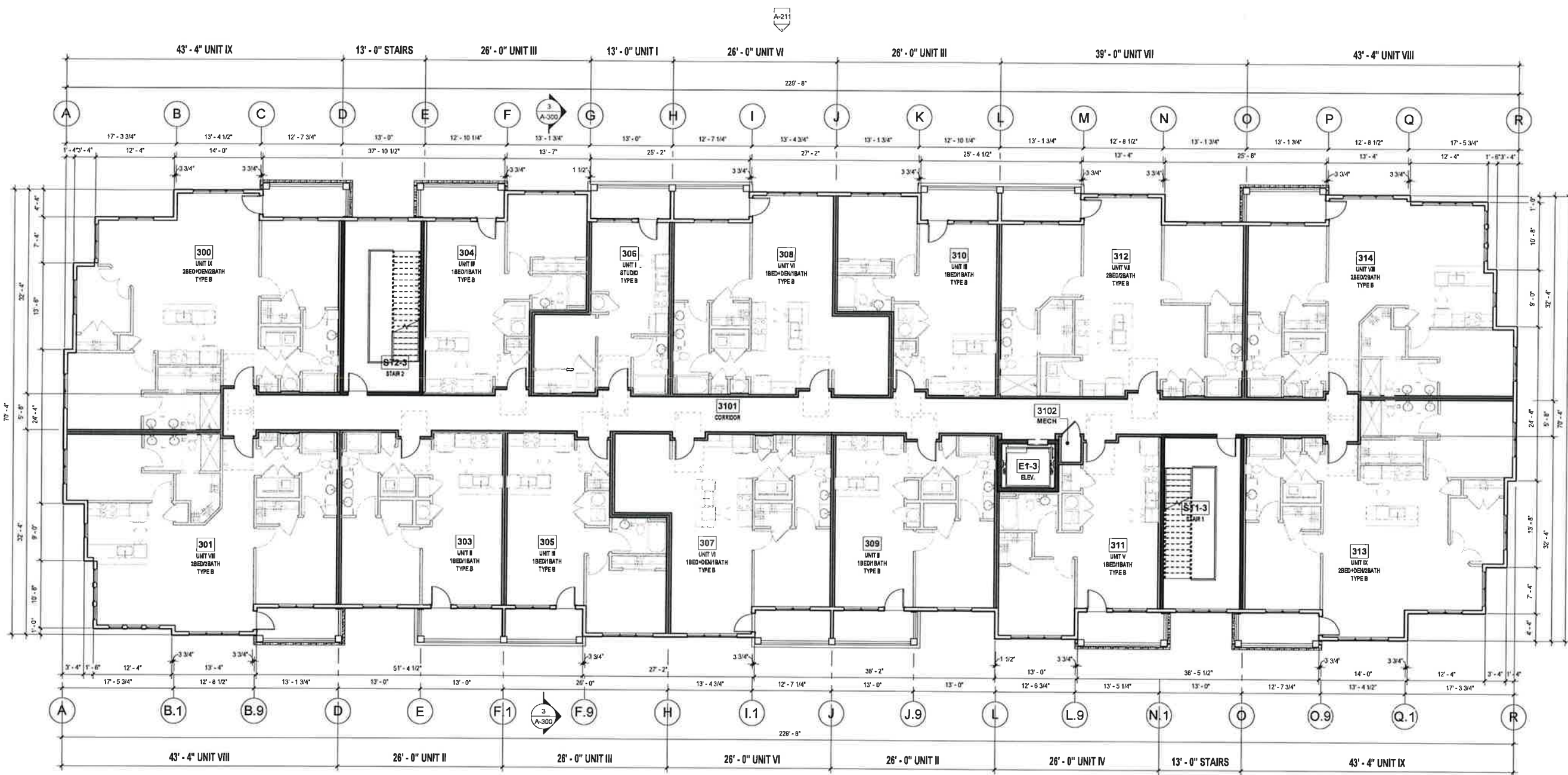
PRINTS ISSUED
12/16/2020
REVISIONS:

| PLAN LEGEND | | | |
|-------------|--------------------------|--|--|
| | PARTIAL HEIGHT PARTITION | | WINDOW TYPE. REFERENCE WINDOW SCHEDULE ON SHEET A600. |
| | PARTITION | | DOOR TYPE. REFERENCE DOOR SCHEDULE ON SHEET A600. |
| | SHAFT FOR RATED WALL | | PARTITION TYPE. RE: PARTITION SCHEDULE ON PLAN SHEETS. |
| | CONCRETE OR MASONRY WALL | | |
| | EXISTING | | |

REFERENCE G-003 FOR GENERAL NOTES
REFERENCE A-101 FOR PLAN LEGEND



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BELTON, MISSOURI

SHEET TITLE
BLDG B - LEVEL 3
PROJECT NUMBER: 20021
SHEET NUMBER:

A-113

1 BLDG B - LEVEL 3
1/8" = 1'-0"

DRAWN BY: Author CHECKED BY: Checker

BUILDING TYPE "B" 4 STORY W/ GARAGES (BLDG. # 3 AND 6 PER CIVIL)

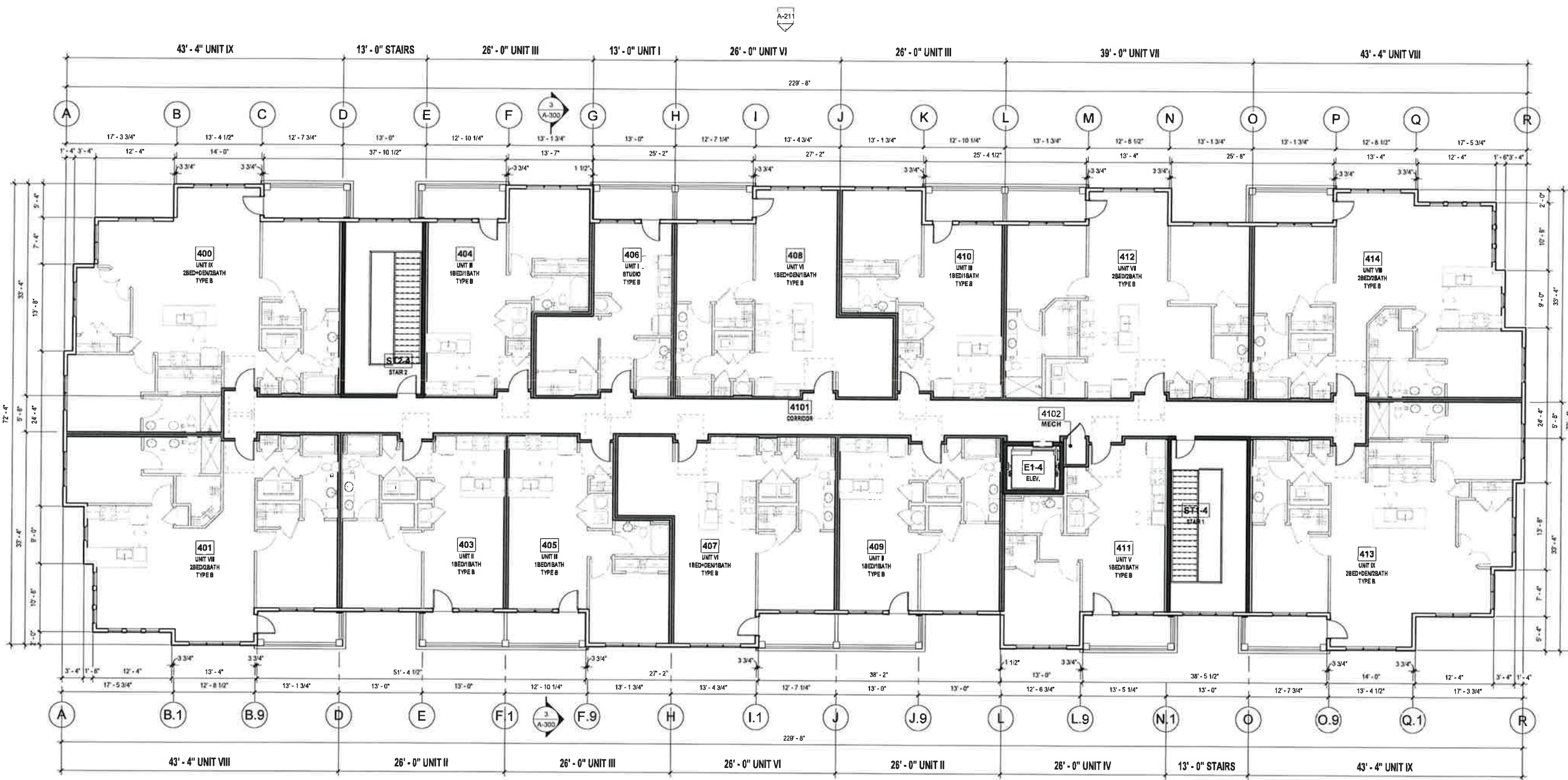
PRINTS ISSUED
12/16/2020
REVISIONS:

| PLAN LEGEND | |
|-------------|--|
| | PARTIAL HEIGHT PARTITION. |
| | PARTITION. |
| | SHAFT FOR RATED WALL. |
| | CONCRETE OR MASONRY WALL. |
| | EXISTING. |
| | WINDOW TYPE. REFERENCE WINDOW SCHEDULE ON SHEET A600. |
| | DOOR TYPE. REFERENCE DOOR SCHEDULE ON SHEET A600. |
| | PARTITION TYPE. RE. PARTITION SCHEDULE ON PLAN SHEETS. |

REFERENCE G-003 FOR GENERAL NOTES
REFERENCE A-101 FOR PLAN LEGEND



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SHEET TITLE
BLDG B - LEVEL 4
PROJECT NUMBER: 20021
SHEET NUMBER:

A-114

DRAWN BY: Author CHECKED BY: Checker

1 BLDG B - LEVEL 4
1/8" = 1'-0"

BUILDING TYPE "C" 4/5 SPLIT W/ GARAGES (BLDG. # 4 AND 5 PER CIVIL)

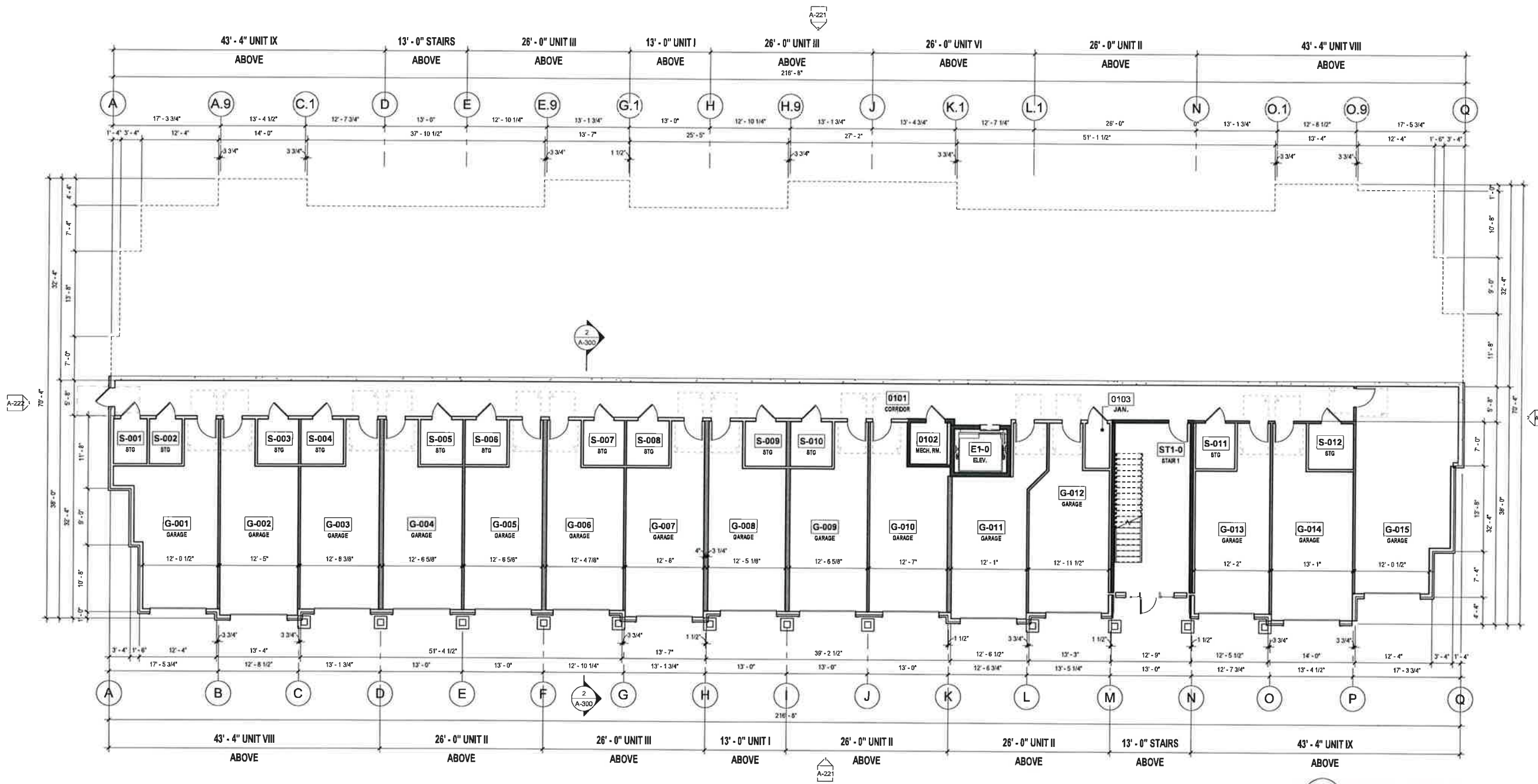
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REVISIONS:

| PLAN LEGEND | |
|-------------|--|
| | PARTIAL HEIGHT PARTITION. |
| | PARTITION. |
| | SHAFT FOR RATED WALL. |
| | CONCRETE OR MASONRY WALL. |
| | EXISTING. |
| | WINDOW TYPE. REFERENCE WINDOW SCHEDULE ON SHEET A600. |
| | DOOR TYPE. REFERENCE DOOR SCHEDULE ON SHEET A600. |
| | PARTITION TYPE. RE. PARTITION SCHEDULE ON PLAN SHEETS. |

REFERENCE G-003 FOR GENERAL NOTES
REFERENCE A-101 FOR PLAN LEGEND



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BELTON, MISSOURI

SHEET TITLE
BLDG C - LEVEL 0
PROJECT NUMBER: 2021
SHEET NUMBER:

A-120

1 BLDG C - LEVEL 0
1/8" = 1'-0"

DRAWN BY: Author CHECKED BY: Checker

BUILDING TYPE "C" 4/5 SPLIT W/ GARAGES (BLDG. # 4 AND 5 PER CIVIL)

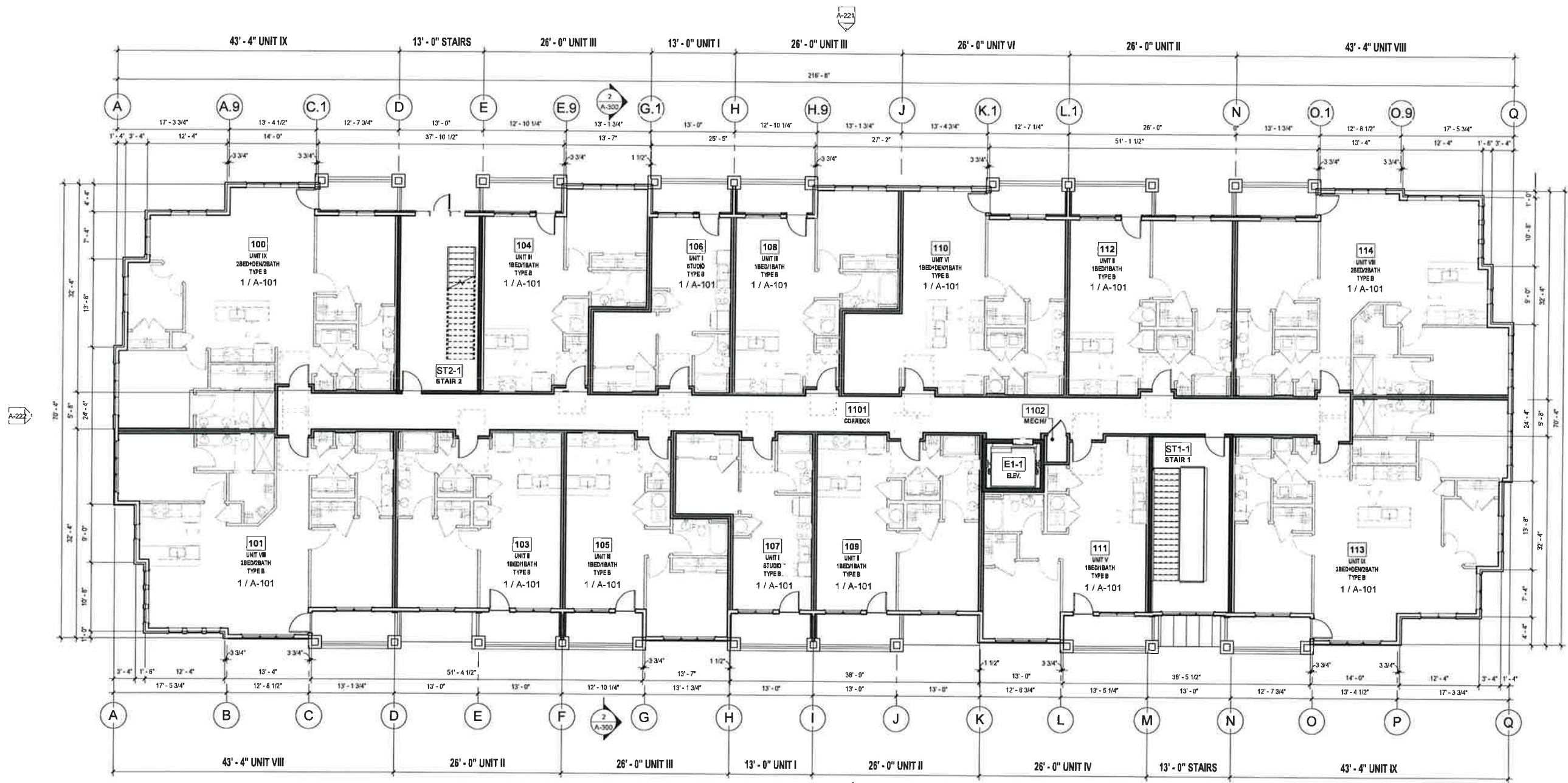
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12/16/2020
REVISIONS:

| PLAN LEGEND | |
|-------------|--|
| | PARTIAL HEIGHT PARTITION. |
| | PARTITION. |
| | SHAFT FOR RATED WALL. |
| | CONCRETE OR MASONRY WALL. |
| | EXISTING. |
| | WINDOW TYPE. REFERENCE WINDOW SCHEDULE ON SHEET A600. |
| | DOOR TYPE. REFERENCE DOOR SCHEDULE ON SHEET A600. |
| | PARTITION TYPE. RE. PARTITION SCHEDULE ON PLAN SHEETS. |

REFERENCE G-003 FOR GENERAL NOTES
REFERENCE A-101 FOR PLAN LEGEND



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SHEET TITLE
BLDG C - LEVEL 1
PROJECT NUMBER: 20021
SHEET NUMBER:

A-121

1 BLDG C - LEVEL 1
1/8" = 1'-0"

DRAWN BY: Author CHECKED BY: Checker

BUILDING TYPE "C" 4/5 SPLIT W/ GARAGES (BLDG. # 4 AND 5 PER CIVIL)

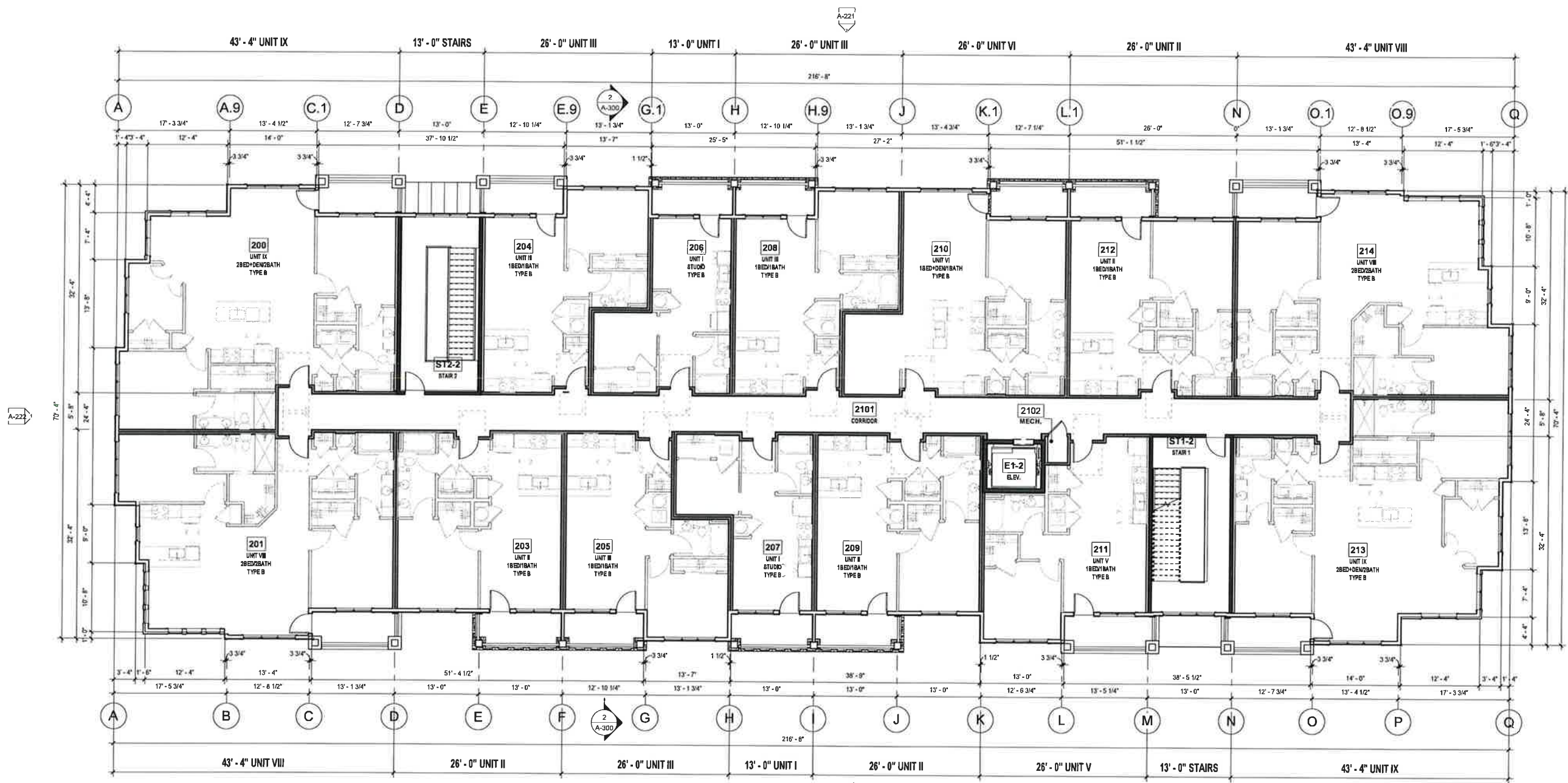
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REVISIONS

| PLAN LEGEND | | | |
|-------------|--------------------------|--|--|
| | PARTIAL HEIGHT PARTITION | | WINDOW TYPE. REFERENCE WINDOW SCHEDULE ON SHEET A600. |
| | PARTITION | | DOOR TYPE. REFERENCE DOOR SCHEDULE ON SHEET A600. |
| | SHAFT FOR RATED WALL | | PARTITION TYPE, RE: PARTITION SCHEDULE ON PLAN SHEETS. |
| | CONCRETE OR MASONRY WALL | | |
| | EXISTING | | |

REFERENCE G-003 FOR GENERAL NOTES
REFERENCE A-101 FOR PLAN LEGEND



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SHEET TITLE
BLDG C - LEVEL 2
PROJECT NUMBER: 20021
SHEET NUMBER:

A-122

1 BLDG C - LEVEL 2
1/8" = 1'-0"

DRAWN BY: Author CHECKED BY: Checker

BUILDING TYPE "C" 4/5 SPLIT W/ GARAGES (BLDG. # 4 AND 5 PER CIVIL)

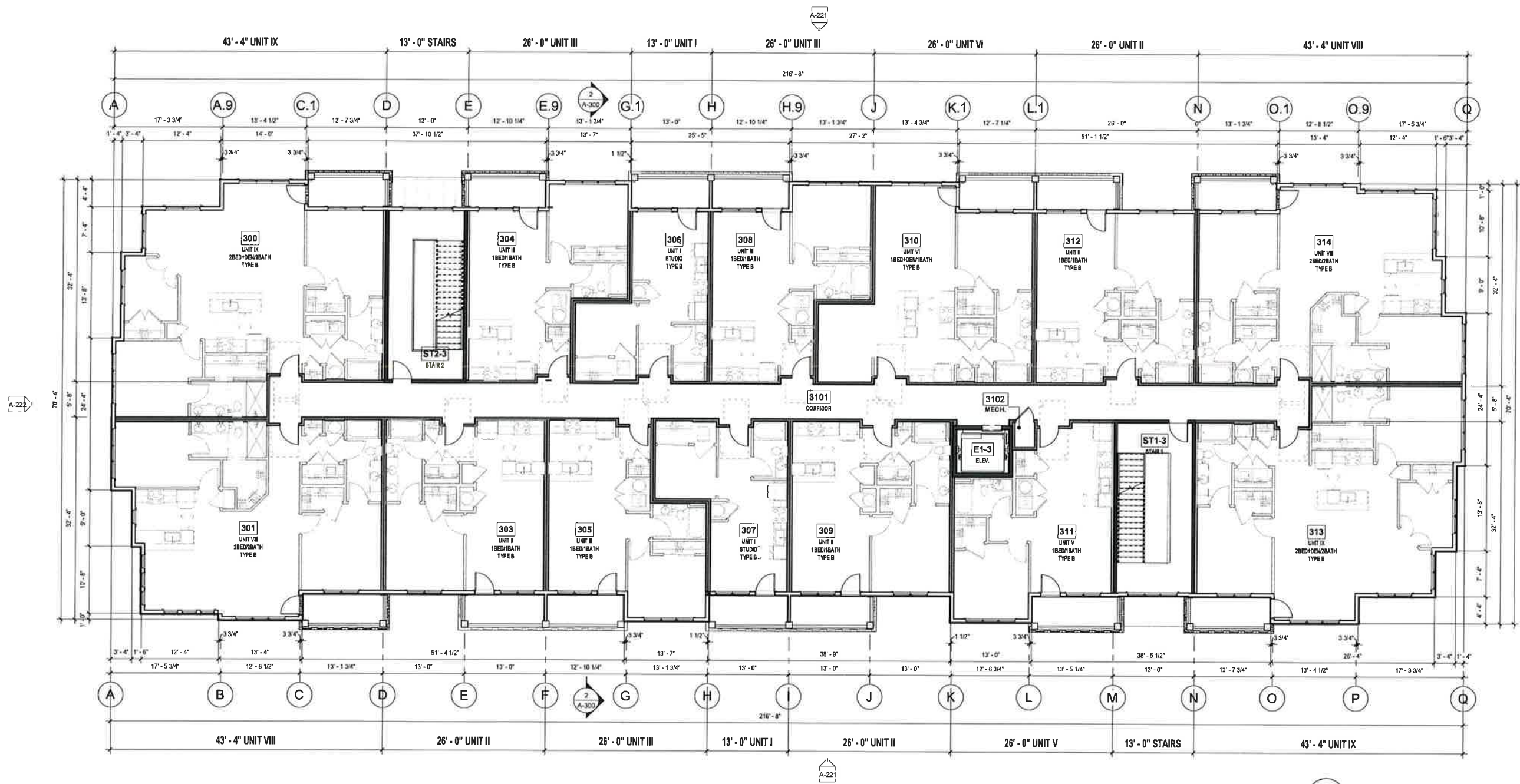
PRINTS ISSUED
12/16/2020
REVISIONS:

| PLAN LEGEND | |
|-------------|--|
| | PARTIAL HEIGHT PARTITION. |
| | PARTITION. |
| | SHAFT FOR RATED WALL. |
| | CONCRETE OR MASONRY WALL. |
| | EXISTING. |
| | WINDOW TYPE. REFERENCE WINDOW SCHEDULE ON SHEET A600. |
| | DOOR TYPE. REFERENCE DOOR SCHEDULE ON SHEET A600. |
| | PARTITION TYPE. RE. PARTITION SCHEDULE ON PLAN SHEETS. |

REFERENCE G-003 FOR GENERAL NOTES
REFERENCE A-101 FOR PLAN LEGEND



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SHEET TITLE
BLDG C - LEVEL 3
PROJECT NUMBER: 20021
SHEET NUMBER:

A-123

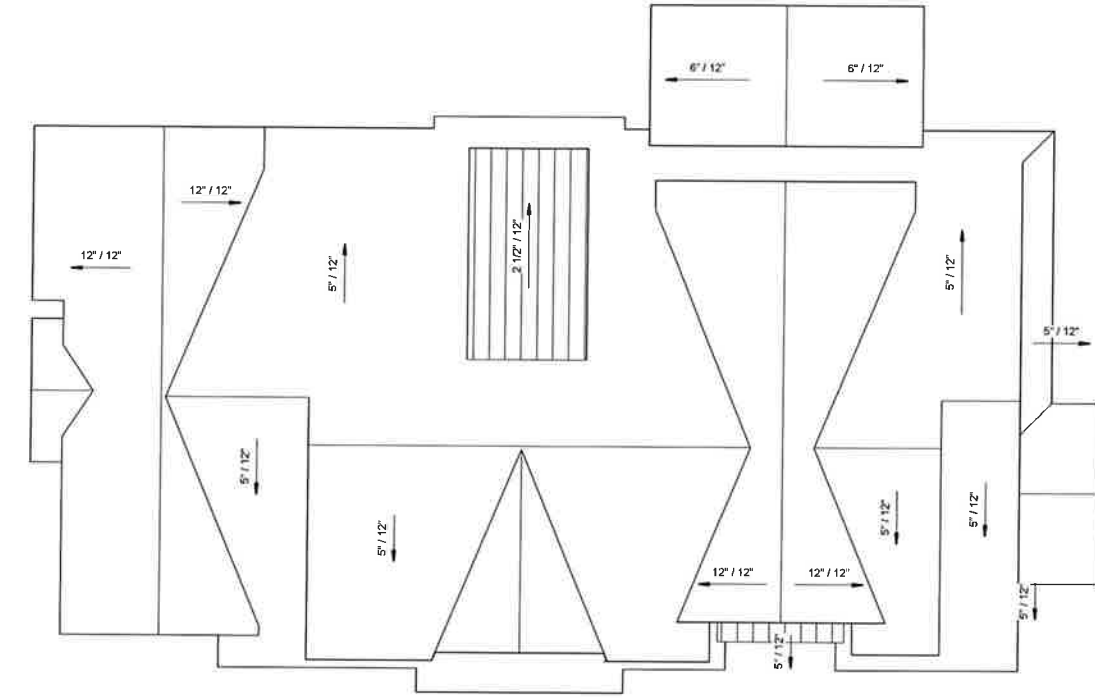
1 BLDG C - LEVEL 3
1/8" = 1'-0"

DRAWN BY: Author CHECKED BY: Checker

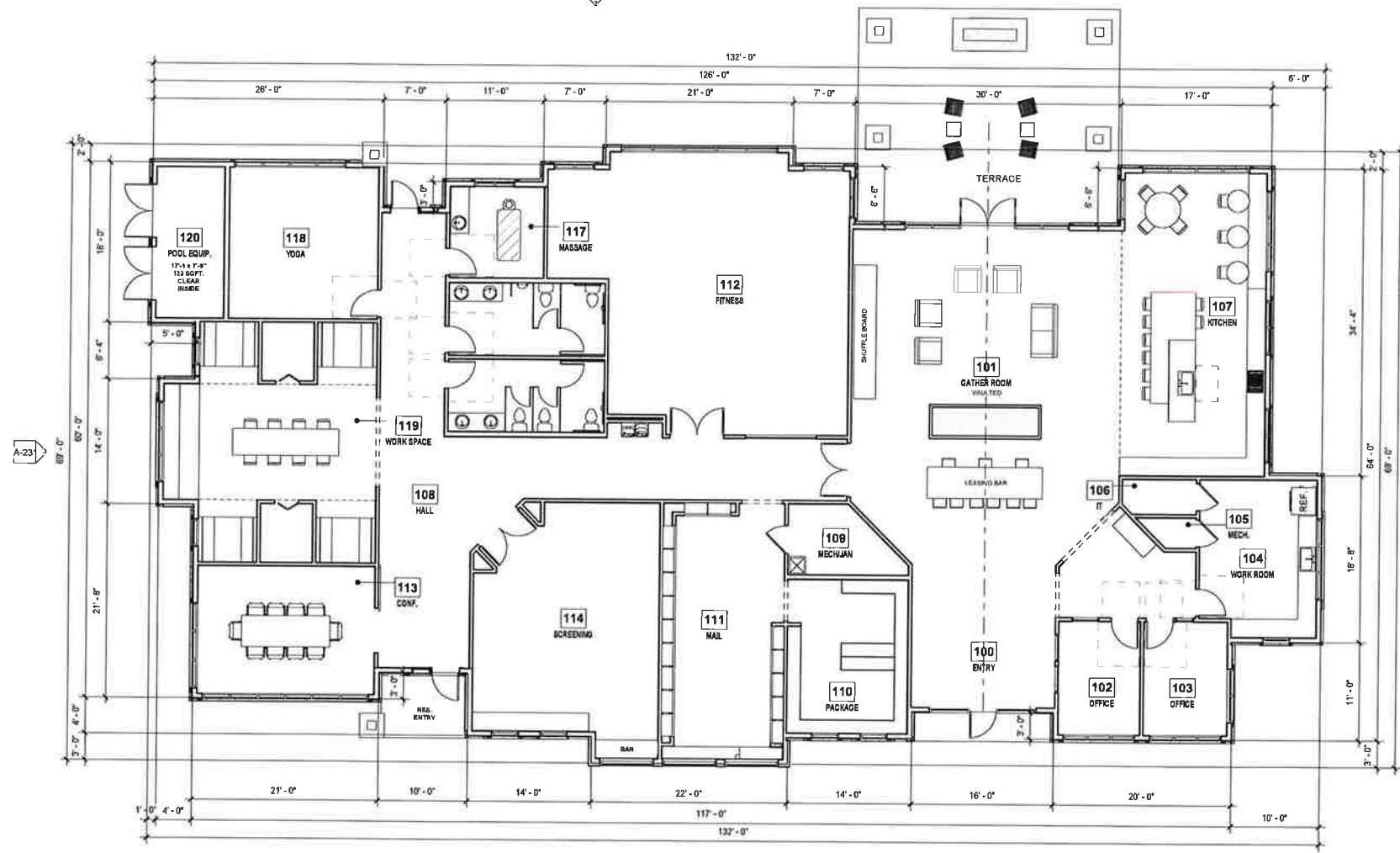
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2 CLUBHOUSE - ROOF PLAN
3/32" = 1'-0"



1 CLUBHOUSE - LEVEL 1
1/8" = 1'-0"

THE ENCORE
163RD STREET & TURNER ROAD
BELTON, MISSOURI

SHEET TITLE
CLUBHOUSE PLANS

PROJECT NUMBER: 2021

SHEET NUMBER:

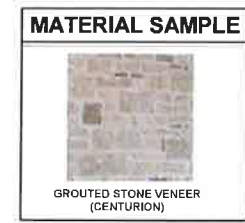
A-131

DRAWN BY: Author CHECKED BY: Checker

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 12/16/2020 10:45:11 AM

| Key No. | Keynote Description |
|---------|--|
| 1 | 6" EXPOSURE (LP SMART SIDING), COLOR 1. |
| 2 | 6" EXPOSURE (LP SMART SIDING), COLOR 2. |
| 3 | 10" EXPOSURE (LP SMART SIDING), COLOR 1. |
| 4 | 10" EXPOSURE (LP SMART SIDING), COLOR 2. |
| 5 | BOARD AND BATTEN SIDING, COLOR 1. |
| 6 | BOARD AND BATTEN SIDING, COLOR 2. |
| 7 | 6" WINDOW TRIM (LP SMART TRIM), COLOR 1. |
| 8 | 4" CORNER TRIM (LP SMART TRIM), TYP ALL CORNERS, COLOR TO MATCH FIELD COLOR, COLOR 1 OR 2. |
| 9 | 6" OR 12" BASE TRIM (LP SMART TRIM) AT ALL STONE LEDGES; COLOR TO MATCH FIELD COLOR, COLOR 1 OR 2. |
| 10 | 10" TRIM (LP SMART TRIM), COLOR 2. |

| Key No. | Keynote Description |
|---------|---|
| 11 | GROUTED STONE VENEER BY CENTURION STONE. RE: MATL. SAMPLE |
| 12 | 12" BANDBOARD (LP SMART TRIM), TYP. COLOR 1. |
| 13 | 12" BANDBOARD (LP SMART TRIM), TYP. COLOR 2. |
| 15 | 10" FASCIA, GOFFIT TO MATCH COLOR, COLOR 1. |
| 16 | 10" FASCIA, GOFFIT TO MATCH COLOR, COLOR 2. |
| 18 | DECORATIVE GABLE VENT, COLOR 1. |
| 19 | 30 YEAR ASPHALT SHINGLES. RE: ARCH FOR COLOR. |
| 20 | STANDING SEAM METAL ROOF, COLOR 3. |
| 21 | BALCONY & RAILING, TYP., COLOR 3. |
| 22 | GARAGE DOOR, COLOR 2. |



| Key No. | Keynote Description |
|---------|---------------------|
| C1 | (COLOR 1) WHITE |
| C2 | (COLOR 2) CHARCOAL |
| C3 | (COLOR 3) BLACK |

PRINTS ISSUED
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2 BUILDING A - REAR ELEVATION
1/8" = 1'-0"

- T.O. ROOF BRG 141' - 0 3/4"
- T.O. LEVEL 4 SUBFLOOR 131' - 11 5/8"
- T.O. LEVEL 4 BRG 130' - 4 7/8"
- T.O. LEVEL 3 SUBFLOOR 121' - 3 3/4"
- T.O. LEVEL 3 BRG 119' - 9"
- T.O. LEVEL 2 SUBFLOOR 110' - 7 7/8"
- T.O. LEVEL 2 BRG 109' - 1 1/8"
- T.O. LEVEL 1 SLAB ON GRADE 100' - 0"



1 BUILDING A - FRONT ELEVATION
1/8" = 1'-0"

- J.O. ROOF BRG 141' - 0 3/4"
- T.O. LEVEL 4 SUBFLOOR 131' - 11 5/8"
- T.O. LEVEL 4 BRG 130' - 4 7/8"
- T.O. LEVEL 3 SUBFLOOR 121' - 3 3/4"
- T.O. LEVEL 3 BRG 119' - 9"
- T.O. LEVEL 2 SUBFLOOR 110' - 7 7/8"
- T.O. LEVEL 2 BRG 109' - 1 1/8"
- T.O. LEVEL 1 SLAB ON GRADE 100' - 0"

THE ENCORE
163RD STREET & TURNER ROAD
BELTON, MISSOURI

SHEET TITLE
EXTERIOR ELEVATIONS - BLDG A
- FRONT & REAR
PROJECT NUMBER: 20021
SHEET NUMBER:

A-201

DRAWN BY: Author CHECKED BY: Checker

19 AUGUST 2020 10:41 AM
 C:\Users\jacob\OneDrive\Documents\Projects\Belton\Arch\Drawings\LD\A-201.dwg

| ELEVATION KEYNOTES | |
|--------------------|--|
| Key No. # | Keynote Description |
| 1 | 6" EXPOSURE (LP SMART SIDING), COLOR 1. |
| 2 | 6" EXPOSURE (LP SMART SIDING), COLOR 1. |
| 3 | 10" EXPOSURE (LP SMART SIDING), COLOR 2. |
| 4 | 10" EXPOSURE (LP SMART SIDING), COLOR 2. |
| 5 | BOARD AND BATTEN SIDING, COLOR 1. |
| 6 | BOARD AND BATTEN SIDING, COLOR 2. |
| 7 | 6" WINDOW TRIM (LP SMART TRIM), COLOR 1. |
| 8 | 4" CORNER TRIM (LP SMART TRIM), TYP ALL CORNERS. COLOR TO MATCH FIELD COLOR, COLOR 1 OR 2. |
| 9 | 6" OR 12" BASE TRIM (LP SMART TRIM) AT ALL STONE LEDGES. COLOR TO MATCH FIELD COLOR, COLOR 1 OR 2. |
| 10 | 10" TRIM (LP SMART TRIM), COLOR 2. |

| ELEVATION KEYNOTES | |
|--------------------|---|
| Key No. # | Keynote Description |
| 11 | GROUTED STONE VENEER BY CENTURION STONE. RE: MATL. SAMPLE |
| 12 | 12" BANDBOARD (LP SMART TRIM), TYP. COLOR 1. |
| 13 | 12" BANDBOARD (LP SMART TRIM), TYP. COLOR 2. |
| 15 | 10" FASCIA. SOFFIT TO MATCH COLOR, COLOR 1. |
| 16 | 10" FASCIA. SOFFIT TO MATCH COLOR, COLOR 2. |
| 18 | DECORATIVE GABLE VENT, COLOR 1. |
| 19 | 30-YEAR ASPHALT SHINGLES. RE: ARCH FOR COLOR. |
| 20 | STANDING SEAM METAL ROOF, COLOR 3. |
| 21 | BALCONY & RAILING, TYP. COLOR 3. |
| 22 | GARAGE DOOR, COLOR 2. |



| ELEV. COLOR LEGEND | |
|--------------------|---------------------|
| Key No. # | Keynote Description |
| C1 | (COLOR 1), WHITE |
| C2 | (COLOR 2), CHARCOAL |
| C3 | (COLOR 3), BLACK |

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2 BUILDING A - SIDE B ELEVATION
1/8" = 1'-0"



1 BUILDING A - SIDE A ELEVATION
1/8" = 1'-0"

THE ENCORE
163RD STREET & TURNER ROAD
BELTON, MISSOURI

SHEET TITLE
EXTERIOR ELEVATIONS - BLDG A -
SIDE ELEVATIONS

PROJECT NUMBER: 20021

SHEET NUMBER:

A-202

DRAWN BY: Author CHECKED BY: Checker

P:\Projects\2020\20021 - The Encore\Drawings\20021 - Bldg A\20021 - Bldg A - Side Elevations.dwg
 12/16/2020 10:00 AM
 Author

| Key No. | Material Description |
|---------|--|
| 1 | 6" EXPOSURE (LP SMART SIDING), COLOR 1. |
| 2 | 6" EXPOSURE (LP SMART SIDING), COLOR 2. |
| 3 | 10" EXPOSURE (LP SMART SIDING), COLOR 1. |
| 4 | 10" EXPOSURE (LP SMART SIDING), COLOR 2. |
| 5 | BOARD AND BATTEN SIDING, COLOR 1. |
| 6 | BOARD AND BATTEN SIDING, COLOR 2. |
| 7 | 5" WINDOW TRIM (LP SMART TRIM), COLOR 1. |
| 8 | 4" CORNER TRIM (LP SMART TRIM), TYP ALL CORNERS, COLOR TO MATCH FIELD COLOR, COLOR 1 OR 2. |
| 9 | 6" OR 12" BASE TRIM (LP SMART TRIM) AT ALL STONE LEDGES; COLOR TO MATCH FIELD COLOR, COLOR 1 OR 2. |
| 10 | 10" TRIM (LP SMART TRIM), COLOR 2. |

| Key No. | Material Description |
|---------|--|
| 11 | GRouted STONE VENEER, BY CENTURION STONE, RE. MATL. SAMPLE |
| 12 | 12" BANDBOARD (LP SMART TRIM), TYP, COLOR 1. |
| 13 | 12" BANDBOARD (LP SMART TRIM), TYP, COLOR 2. |
| 14 | 10" FASCIA, SOFFIT TO MATCH COLOR, COLOR 1. |
| 15 | 10" FASCIA, SOFFIT TO MATCH COLOR, COLOR 2. |
| 16 | 10" FASCIA, SOFFIT TO MATCH COLOR, COLOR 2. |
| 17 | DECORATIVE GABLE VENT, COLOR 1. |
| 18 | 30 YEAR ASPHALT SHINGLES, RE. ARCH FOR COLOR. |
| 19 | STANDING SEAM METAL ROOF, COLOR 3. |
| 20 | BALCONY & RAILING, TYP, COLOR 3. |
| 21 | BALCONY & RAILING, TYP, COLOR 3. |
| 22 | GARAGE DOOR, COLOR 2. |



| Key No. | Material Description |
|---------|----------------------|
| C1 | (COLOR 1) WHITE |
| C2 | (COLOR 2) CHARCOAL |
| C3 | (COLOR 3) BLACK |

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12/16/2020

REVISIONS:



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2 BUILDING B - REAR ELEVATION
1/8" = 1'-0"



1 BUILDING B - FRONT ELEVATION
1/8" = 1'-0"

THE ENCORE
163RD STREET & TURNER ROAD
BELTON, MISSOURI

SHEET TITLE
EXTERIOR ELEVATIONS - BLDG B
- FRONT & REAR

PROJECT NUMBER 20021

SHEET NUMBER:

A-211

DRAWN BY: Author CHECKED BY: Checker

ENCORE 12/16/2020
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| Key No. # | Keynote Description |
|-----------|--|
| 1 | 6" EXPOSURE (LP SMART SIDING), COLOR 1. |
| 2 | 6" EXPOSURE (LP SMART SIDING), COLOR 2. |
| 3 | 10" EXPOSURE (LP SMART SIDING), COLOR 1. |
| 4 | 10" EXPOSURE (LP SMART SIDING), COLOR 2. |
| 5 | BOARD AND BATTEN SIDING, COLOR 1. |
| 6 | BOARD AND BATTEN SIDING, COLOR 2. |
| 7 | 6" WINDOW TRIM (LP SMART TRIM), COLOR 1. |
| 8 | 4" CORNER TRIM (LP SMART TRIM), TYP ALL CORNERS. COLOR TO MATCH FIELD COLOR, COLOR 1 OR 2. |
| 9 | 6" OR 12" BASE TRIM (LP SMART TRIM) AT ALL STONE LEDGES; COLOR TO MATCH FIELD COLOR, COLOR 1 OR 2. |
| 10 | 10" TRIM (LP SMART TRIM), COLOR 2. |

| Key No. # | Keynote Description |
|-----------|--|
| 11 | GROUTED STONE VENEER, BY CENTURION STONE, RE. MATL. SAMPLE |
| 12 | 12" BANDBOARD (LP SMART TRIM), TYP. COLOR 1. |
| 13 | 12" BANDBOARD (LP SMART TRIM), TYP. COLOR 2. |
| 14 | 10" FASCIA, SOFFIT TO MATCH COLOR, COLOR 1. |
| 15 | 10" FASCIA, SOFFIT TO MATCH COLOR, COLOR 2. |
| 16 | 10" FASCIA, SOFFIT TO MATCH COLOR, COLOR 2. |
| 17 | DECORATIVE GABLE VENT, COLOR 1. |
| 18 | 30 YEAR ASPHALT SHINGLES, RE. ARCH FOR COLOR. |
| 19 | STANDING SEAM METAL ROOF, COLOR 3. |
| 20 | BALCONY & RAILING, TYP. COLOR 3. |
| 21 | BALCONY & RAILING, TYP. COLOR 3. |
| 22 | GARAGE DOOR, COLOR 2. |



| Key No. # | Keynote Description |
|-----------|---------------------|
| C1 | (COLOR 1), WHITE |
| C2 | (COLOR 2), CHARCOAL |
| C3 | (COLOR 3), BLACK |

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2 BUILDING B - SIDE B ELEVATION
1/8" = 1'-0"



1 BUILDING B - SIDE A ELEVATION
1/8" = 1'-0"

THE ENCORE
163RD STREET & TURNER ROAD
BELTON, MISSOURI

SHEET TITLE
EXTERIOR ELEVATIONS - BLDG B
- SIDE ELEVATIONS
PROJECT NUMBER: 20021
SHEET NUMBER:

A-212

DRAWN BY: Author CHECKED BY: Checker

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| Key No. | Material Description |
|---------|--|
| 1 | 6" EXPOSURE (LP SMART SIDING), COLOR 1. |
| 2 | 6" EXPOSURE (LP SMART SIDING), COLOR 2. |
| 3 | 10" EXPOSURE (LP SMART SIDING), COLOR 1. |
| 4 | 10" EXPOSURE (LP SMART SIDING), COLOR 2. |
| 5 | BOARD AND BATTEN SIDING, COLOR 1. |
| 6 | BOARD AND BATTEN SIDING, COLOR 2. |
| 7 | 6" WINDOW TRIM (LP SMART TRIM), COLOR 1. |
| 8 | 4" CORNER TRIM (LP SMART TRIM), TYP ALL CORNERS, COLOR TO MATCH FIELD COLOR, COLOR 1 OR 2. |
| 9 | 6" OR 12" BASE TRIM (LP SMART TRIM) AT ALL STONE LEDGES, COLOR TO MATCH FIELD COLOR, COLOR 1 OR 2. |
| 10 | 10" TRIM (LP SMART TRIM), COLOR 2. |

| Key No. | Material Description |
|---------|--|
| 11 | GROUTED STONE VENEER, BY CENTURION STONE, RE: MATL. SAMPLE |
| 12 | 12" BANDBOARD (LP SMART TRIM), TYP. COLOR 1. |
| 13 | 12" BANDBOARD (LP SMART TRIM), TYP. COLOR 2. |
| 15 | 10" FASCIA, SOFFIT TO MATCH COLOR, COLOR 1. |
| 16 | 10" FASCIA, SOFFIT TO MATCH COLOR, COLOR 2. |
| 18 | DECORATIVE GABLE VENT, COLOR 1. |
| 19 | 30 YEAR ASPHALT SHINGLES, RE: ARCH FOR COLOR. |
| 20 | STANDING SEAM METAL, ROOF, COLOR 3. |
| 21 | BALCONY & RAILING, TYP., COLOR 3. |
| 22 | GARAGE DOOR, COLOR 2. |



| Key No. | Material Description |
|---------|----------------------|
| C1 | (COLOR 1), WHITE |
| C2 | (COLOR 2), CHARCOAL |
| C3 | (COLOR 3), BLACK |

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2 BUILDING C - REAR ELEVATION
1/8" = 1'-0"



1 BUILDING C - FRONT ELEVATION
1/8" = 1'-0"

THE ENCORE
163RD STREET & TURNER ROAD
BELTON, MISSOURI

SHEET TITLE
EXTERIOR ELEVATIONS - BLDG C
- FRONT & REAR

PROJECT NUMBER: 2021

SHEET NUMBER:

A-221

DRAWN BY: Author CHECKED BY: Checker

| Key No. | Key Description |
|---------|--|
| 1 | 6" EXPOSURE (LP SMART SIDING), COLOR 1. |
| 2 | 6" EXPOSURE (LP SMART SIDING), COLOR 2. |
| 3 | 10" EXPOSURE (LP SMART SIDING), COLOR 1. |
| 4 | 10" EXPOSURE (LP SMART SIDING), COLOR 2. |
| 5 | BOARD AND BATTEN SIDING, COLOR 1. |
| 6 | BOARD AND BATTEN SIDING, COLOR 2. |
| 7 | 5" WINDOW TRIM (LP SMART TRIM), COLOR 1. |
| 8 | 4" CORNER TRIM (LP SMART TRIM), TYP ALL CORNERS, COLOR TO MATCH FIELD COLOR, COLOR 1 OR 2. |
| 9 | 6" OR 12" BASE TRIM (LP SMART TRIM) AT ALL STONE LEDGES, COLOR TO MATCH FIELD COLOR, COLOR 1 OR 2. |
| 10 | 10" TRIM (LP SMART TRIM), COLOR 2. |

| Key No. | Key Description |
|---------|--|
| 11 | GROUTED STONE VENEER, BY CENTURION STONE, RE. MATL. SAMPLE |
| 12 | 12" BANDBOARD (LP SMART TRIM), TYP. COLOR 1. |
| 13 | 12" BANDBOARD (LP SMART TRIM), TYP. COLOR 2. |
| 15 | 10" FASCIA, SOFFIT TO MATCH COLOR, COLOR 1. |
| 16 | 10" FASCIA, SOFFIT TO MATCH COLOR, COLOR 2. |
| 18 | DECORATIVE GABLE VENT, COLOR 1. |
| 19 | 30 YEAR ASPHALT SHINGLES, RE. ARCH FOR COLOR. |
| 20 | STANDING SEAM METAL ROOF, COLOR 3. |
| 21 | BALCONY & RAILING, TYP., COLOR 3. |
| 22 | GARAGE DOOR, COLOR 2. |



| Key No. | Key Description |
|---------|--------------------|
| C1 | (COLOR 1) WHITE |
| C2 | (COLOR 2) CHARCOAL |
| C3 | (COLOR 3) BLACK |

ELEV. COLOR LEGEND

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THE ENCORE
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BELTON, MISSOURI

SHEET TITLE
EXTERIOR ELEVATIONS - BLDG C
- SIDE ELEVATIONS

PROJECT NUMBER: 20021

SHEET NUMBER:

A-222

DRAWN BY: Author CHECKED BY: Checker

| Key No. # | Keynote Description |
|-----------|--|
| 1 | 6" EXPOSURE (LP SMART SIDING), COLOR 1. |
| 2 | 6" EXPOSURE (LP SMART SIDING), COLOR 2. |
| 3 | 10" EXPOSURE (LP SMART SIDING), COLOR 1. |
| 4 | 10" EXPOSURE (LP SMART SIDING), COLOR 2. |
| 5 | BOARD AND BATTEN SIDING, COLOR 1. |
| 6 | BOARD AND BATTEN SIDING, COLOR 2. |
| 7 | 6" WINDOW TRIM (LP SMART TRIM), COLOR 1. |
| 8 | 4" CORNER TRIM (LP SMART TRIM), TYP ALL CORNERS, COLOR TO MATCH FIELD COLOR, COLOR 1 OR 2. |
| 9 | 8" OR 12" BASE TRIM (LP SMART TRIM) AT ALL STONE LEDGES, COLOR TO MATCH FIELD COLOR, COLOR 1 OR 2. |
| 10 | 10" TRIM (LP SMART TRIM), COLOR 2. |

| Key No. # | Keynote Description |
|-----------|--|
| 11 | GROUTED STONE VENEER, BY CENTURION STONE, RE. MATL. SAMPLE |
| 12 | 12" BANDBOARD (LP SMART TRIM), TYP. COLOR 1. |
| 13 | 12" BANDBOARD (LP SMART TRIM), TYP. COLOR 2. |
| 14 | 10" FASCIA, SOFFIT TO MATCH COLOR, COLOR 1. |
| 15 | 10" FASCIA, SOFFIT TO MATCH COLOR, COLOR 2. |
| 16 | 10" FASCIA, SOFFIT TO MATCH COLOR, COLOR 2. |
| 17 | DECORATIVE GABLE VENT, COLOR 1. |
| 18 | 30 YEAR ASPHALT SHINGLES, RE. ARCH FOR COLOR. |
| 19 | STANDING SEAM METAL ROOF, COLOR 3. |
| 20 | BALCONY & RAILING, TYP. COLOR 3. |
| 21 | BALCONY & RAILING, TYP. COLOR 3. |
| 22 | GARAGE DOOR, COLOR 2. |

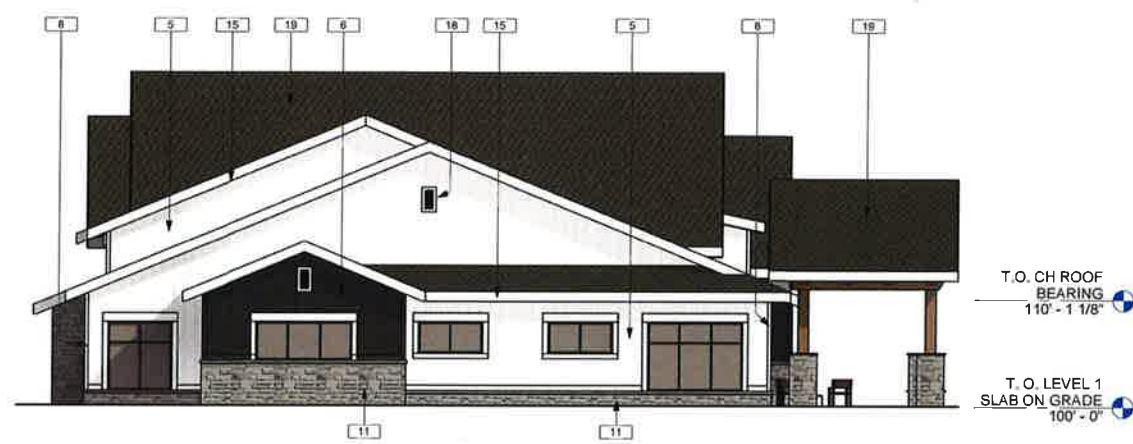


| Key No. # | Keynote Description |
|-----------|---------------------|
| C1 | (COLOR 1), WHITE |
| C2 | (COLOR 2), CHARCOAL |
| C3 | (COLOR 3), BLACK |

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4 CLUBHOUSE - SIDE B ELEVATION
1/8" = 1'-0"



3 CLUBHOUSE - SIDE A ELEVATION
1/8" = 1'-0"



2 CLUBHOUSE - REAR ELEVATION
1/8" = 1'-0"



1 CLUBHOUSE - FRONT ELEVATION
1/8" = 1'-0"

THE ENCORE
163RD STREET & TURNER ROAD
BELTON, MISSOURI

SHEET TITLE
CLUBHOUSE EXTERIOR ELEVATIONS
PROJECT NUMBER: 20021
SHEET NUMBER:

A-231

DRAWN BY: Author CHECKED BY: Checker

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4 EXTERIOR PERSPECTIVE -
BUILDING B - BACK ELEVATION



3 EXTERIOR PERSPECTIVE -
BUILDING B - SIDE A ELEVATION



2 EXTERIOR PERSPECTIVE -
BUILDING B - SIDE B ELEVATION



1 EXTERIOR PERSPECTIVE - BUILDING B -
FRONT PERSPECTIVE

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THE ENCORE
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BELTON, MISSOURI

SHEET TITLE
EXTERIOR PERSPECTIVES - BLDG
B
PROJECT NUMBER: 20021
SHEET NUMBER:

A-242

DRAWN BY: Author CHECKED BY: Checker

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12/16/2020

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1 EXTERIOR PERSPECTIVE - BUILDING C - FRONT ELEVATION



3 EXTERIOR PERSPECTIVE - BUILDING C - SIDE ELEVATION



2 EXTERIOR PERSPECTIVE - BUILDING C - GARAGE ELEVATION

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BELTON, MISSOURI

SHEET TITLE
EXTERIOR PERSPECTIVES - BLDG
C

PROJECT NUMBER: 20021

SHEET NUMBER:

A-243

DRAWN BY: Author CHECKED BY: Checker



4 EXTERIOR PERSPECTIVE - CLUBHOUSE - BACK



3 EXTERIOR PERSPECTIVE - CLUBHOUSE - SIDE B



2 EXTERIOR PERSPECTIVE - CLUBHOUSE - SIDE A



1 EXTERIOR PERSPECTIVE - CLUBHOUSE - FRONT ELEVATION

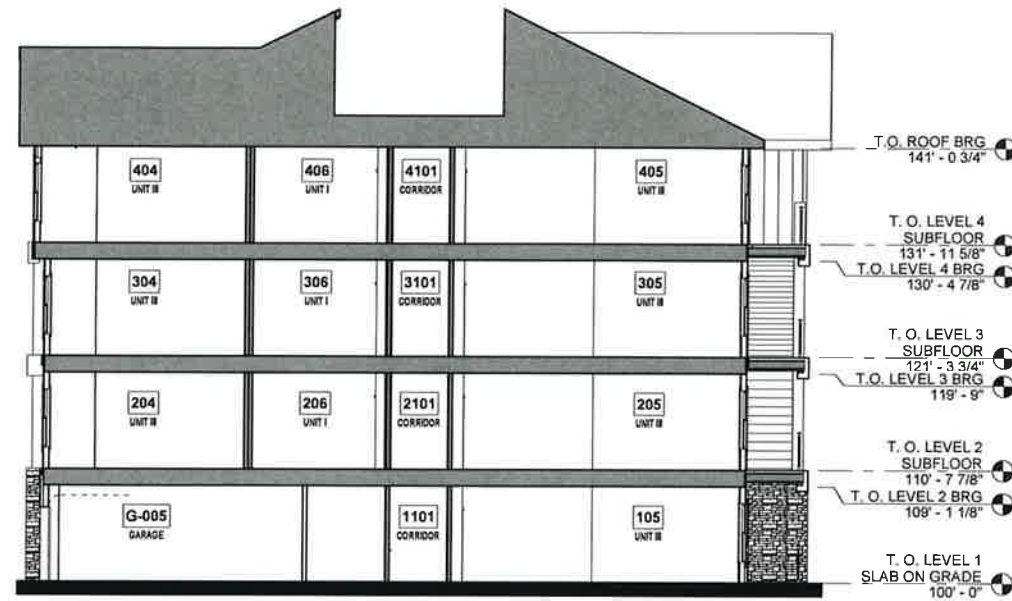
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163RD STREET & TURNER ROAD
BELTON, MISSOURI

SHEET TITLE
EXTERIOR PERSPECTIVES - CLUBHOUSE
PROJECT NUMBER: 20021
SHEET NUMBER:

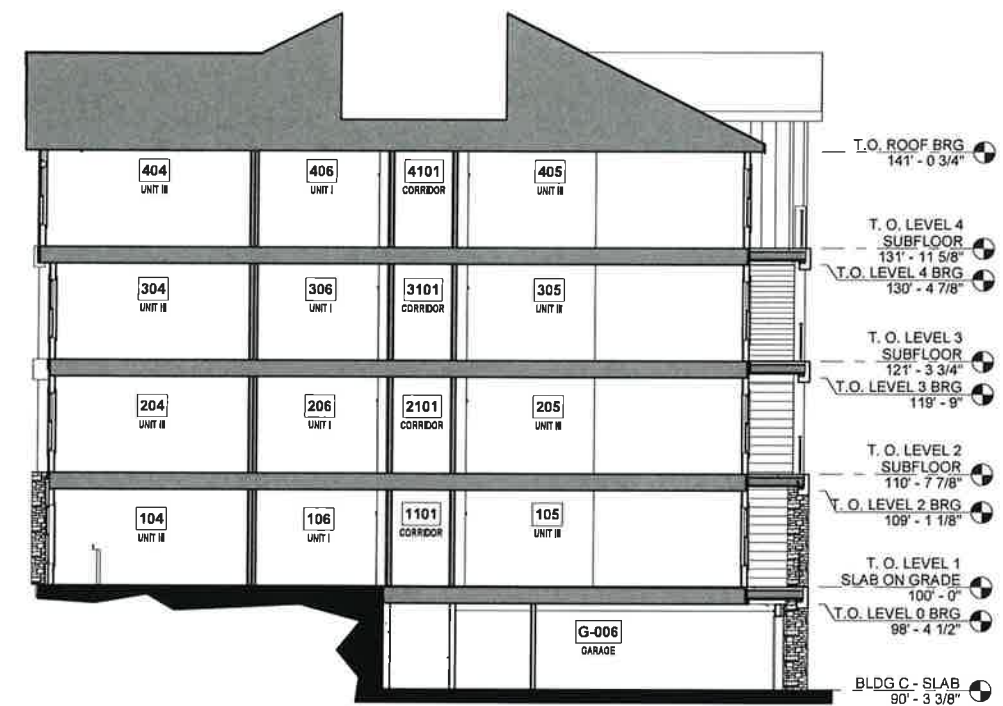
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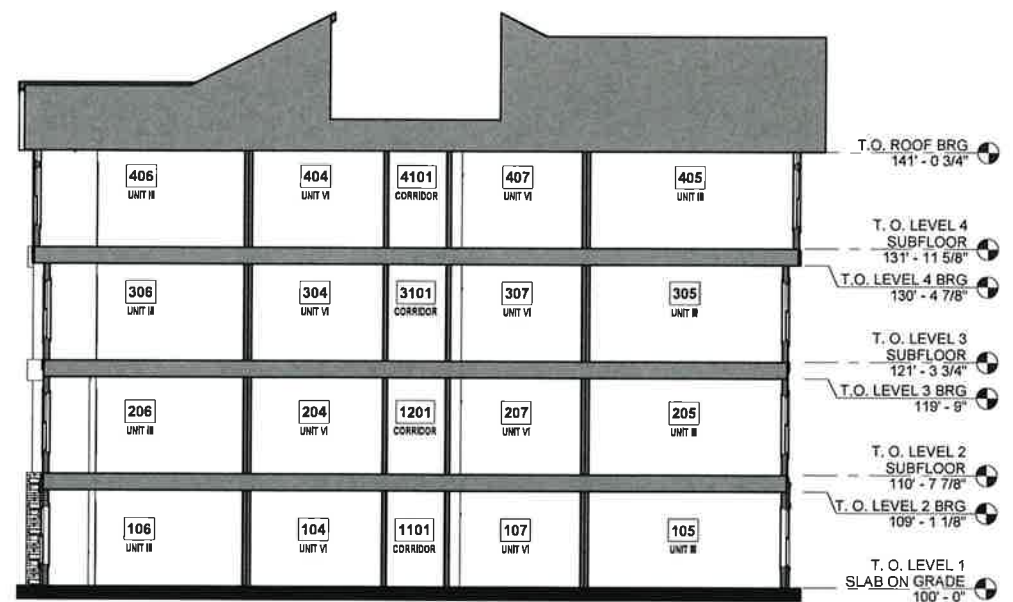
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3 BUILDING SECTION - B
1/8" = 1'-0"



2 BUILDING SECTION - C
1/8" = 1'-0"



1 BUILDING SECTION - A
1/8" = 1'-0"

THE ENCORE
163RD STREET & TURNER ROAD
BELTON, MISSOURI

SHEET TITLE
BUILDING SECTIONS

PROJECT NUMBER: 20021

SHEET NUMBER:

A-300

DRAWN BY: Author CHECKED BY: Checker

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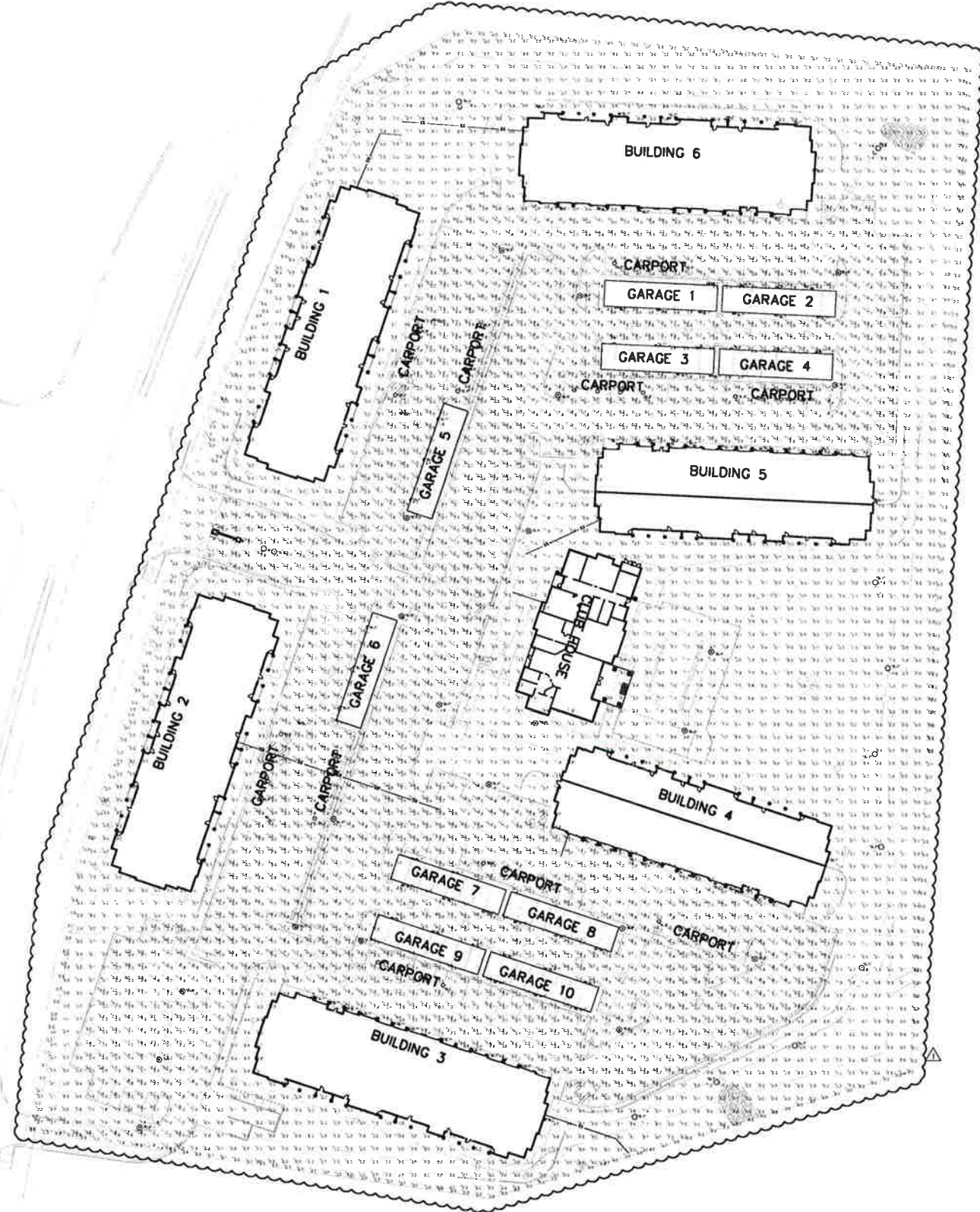


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 Overland Park, Kansas 66210
 Telephone: (785) 233-3232
 Email: lsas@lsas.com
 LSA PROJECT NO. 2004034



12-16-20

THE ENCORE
 163RD STREET & TURNER ROAD
 BELTON, MISSOURI



1 PHOTOMETRIC SITE PLAN
 1"=50'-0"
 NORTH

| EXTERIOR LIGHT FIXTURE SCHEDULE | | | | | | | |
|---------------------------------|--------|-------------------------------------|----------|--------|---------|-------------------|-------|
| MARK | MANUF. | MODEL | MOUNTING | FINISH | SOURCE | | NOTES |
| | | | | | TYPE | LUM | |
| "SL1" | GLOBAL | PWP42GUDOMBL | WALL | BLACK | 42W CFL | - | 1 |
| "SL3" | GLOBAL | OBH-RI-26GU-BL | SURFACE | BLACK | 26W CFL | - | 3 |
| "SL4" | DECO | D821-LED-1-80-40-LINV-TS-PT3-DB | POLE | BRONZE | LED | 10,300LUM/ROW | 2 |
| "SL5" | DECO | D821-LED-1-40-40-LINV-T3-PT3-DB | POLE | BRONZE | LED | 5,450LUM/ROW | 4 |
| "SL6" | DECO | (2) D821-LED-1-80-40-LINV-T3-PT3-DB | POLE | BRONZE | LED | (2) 10,300LUM/ROW | 2 |
| "SL7" | DECO | TRON-L43 20 40 UNV BZ | BOLLARD | BRONZE | LED | 1,539LUM/20W | |

- NOTES:
 1 MOUNT AT 7' AFG.
 2 MOUNT ON 18' POLE
 3 MOUNT IN CARPORT.
 4 MOUNT ON 12' POLE

| STATISTICS | | | | | |
|-------------|--------|--------|--------|-----------|-----------|
| Description | Avg | Max | Min | Max/Min | Avg/Min |
| Parking Lot | 1.1 fc | 8.9 fc | 0.1 fc | 89.0:1 fc | 11.0:1 fc |

SHEET TITLE
 MEP SITE PLAN - PHOTOMETRIC

PROJECT NUMBER: 20021

SHEET NUMBER:

E001

DRAWN BY: CAD CHECKED BY: RRB

ENTRA12



Affordable, high performance, low maintenance LED roadway light. Suitable for mounting heights up to 10'. The recessed TUV-90 polycarbonate lens is 100,000 hour LED lifespan, 5 year, 72 composite warranty.

Color: Bronze Weight: 3.2 lbs

RAB

Project: _____ Type: SL1

Prepared By: _____ Date: _____

| Driver Info | | LED Info | |
|-------------|------------------|-----------------|---------------|
| Type | Constant Current | Watts | 32W |
| LEDV | 0.3A | Color Temp | 5000K (Cool) |
| THPV | 0.3A | Color Accuracy | 70 CRI |
| THPV | 0.3A | Life Expectancy | 100,000 Hours |
| THPV | 0.3A | Lumens | 1,284 |
| Input Width | 34.8W | Efficiency | 80.2 lm/w |

Technical Specifications

Listings
UL Listed:
Suitable for wet locations as down to 5' height for mounting within 2' to 4' of the ground.

ADA Compliant:
ENTRA™ is ADA Compliant.

IESNA LM-79 & LM-80 Testing:
RAB LED Luminaire and LED components have been tested by an independent laboratory in accordance with IESNA LM 79 and LM 80.

Construction
IP Rating:
Ingress Protection rating of IP66 for rust and water.

Cold Weather Starting:
Minimum starting temperature is 40°C (-40°F).

Maximum Ambient Temperature:
Suitable for use in up to 43°C (107°F).

Back Housing:
Die-cast aluminum.

Lens/Housing Cover:
Visible clear polycarbonate recessed housing cover and lens.

Mounting:
Heavy die cast aluminum with 1/2" base knockout and mounting base for mounting to 4" box.

Recommended Mounting Height:
Varies by fixture.

Reflectors (2):
White aluminum reflector topped with vacuum-wettable polycarbonate LED reflector.

Gaskets:
High temperature silicone.

Finish:
Formulated for high durability and long-lasting color.

Green Technology:
Mercury and lead free. RoHS compliant components.

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| | | | |
|---------------------------------------|-------|----------|--------------------------|
| WALL OR CEILING MOUNT EUCLEUSE SERIES | Cat # | SLJ | HUBBELL Outdoor Lighting |
| | Job | Approval | |

Intended Use

Several colors and accessories, including paints and shields, are available for both interior and exterior applications, such as entry, perimeter, walls, stairwells, corridors, etc.

Construction

• Beveled glass lens sealed to housing by silicone gasket and stainless steel Phillips head screws. Ribbed lens uniformly spreads light for a symmetrical soft distribution.

• Die cast aluminum housing and face plate.

• Two point top or hickey mount to recessed junction box.

• Dark bronze, black and white finishes are offered.

Electrical

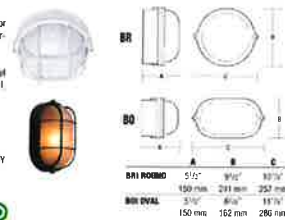
• Available in 50w HPS, 20w fluorescent and 100w max. compact fluorescent 120V only.

• BRLL LED has 6 LED in 15w, 120-277V, 830 lumens, 5000K, 700mA.

• Lamp included on 50w HPS, 20w fluorescent and 15w LED.

Listings

• Listed to UL1598 for use in wet locations.



ORDERING INFORMATION ORDERING EXAMPLE: BRLL 01

| Color | Mount | Base | Finish | Weight | BL |
|---------|-------|-------|------------|--------|---------|
| BRLL-01 | Round | White | White | 15 mm | 6.0 2.7 |
| BRLL-04 | Round | White | White | 15 mm | 6.0 2.7 |
| BRLL-01 | Round | White | BRILLIANT™ | 150 mm | 4.0 1.8 |
| BRLL-02 | Round | White | Black | 150 mm | 4.0 1.8 |
| BRLL-04 | Round | White | White | 150 mm | 4.0 1.8 |
| BRLL-01 | Round | White | Black | 150 mm | 3.5 1.6 |
| BRLL-02 | Round | White | Black | 150 mm | 3.5 1.6 |
| BRLL-04 | Round | White | White | 150 mm | 3.5 1.6 |
| BRLL-01 | Round | White | White | 50 | 7.5 3.4 |
| BRLL-02 | Round | White | Black | 50 | 7.5 3.4 |
| BRLL-04 | Round | White | White | 50 | 7.5 3.4 |
| BRLL-01 | Round | White | Black | 50 | 7.0 3.2 |
| BRLL-02 | Round | White | Black | 50 | 7.0 3.2 |
| BRLL-04 | Round | White | White | 50 | 7.0 3.2 |
| BRLL-01 | Round | White | White | 28 | 6.0 2.7 |
| BRLL-02 | Round | White | Black | 28 | 6.0 2.7 |
| BRLL-04 | Round | White | White | 28 | 6.0 2.7 |
| BRLL-01 | Round | White | Black | 28 | 5.5 2.5 |
| BRLL-02 | Round | White | Black | 28 | 5.5 2.5 |
| BRLL-04 | Round | White | White | 28 | 5.5 2.5 |

| Color | Mount | Base | Finish | Weight | BL |
|---------|-------|-------|--------|--------|---------|
| BRLL-01 | Round | White | White | 150 mm | 4.0 1.8 |
| BRLL-02 | Round | White | Black | 150 mm | 4.0 1.8 |
| BRLL-04 | Round | White | White | 150 mm | 4.0 1.8 |
| BRLL-01 | Round | White | Black | 150 mm | 3.5 1.6 |
| BRLL-02 | Round | White | Black | 150 mm | 3.5 1.6 |
| BRLL-04 | Round | White | White | 150 mm | 3.5 1.6 |

Hubbell Outdoor Lighting • 211 Millstream Boulevard • Greenville, SC 29602 • Phone: 803-679-1000
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DECO LIGHTING

D821-LED
Architectural Diamond LED Luminaire

Client: _____ Order #: _____
 Project Name: _____ Type: SL4, SL5, SL6 _____ City: _____

Performance Data
 CRI: 80+
 CCT: 3000K, 3500K, 4000K, 5000K

Projected Lifetime
 223,000 Hours (L80)
 102,000 Hours (L90)

Dimming
 0-10V dimming standard
 100% down to 10%

Operating Temperature
 -40°C to +50°C Ambient

ETL Listed
 Suitable for dry, damp, wet locations

Description
 The D821 series features a heavy cast aluminum housing designed with modern aesthetics in mind. The architectural luminaire provides brilliant illumination to walkways and other outdoor spaces, imparting the stability, safety, and overall look of any outdoor area. Powered by DECO's energy-saving LED technology, this high-powered outdoor luminaire is built to last. The complete luminaire is offered in 3000K, and paired with a wide array of optics to match light intensity, glare and light pollution for neighborhood-friendly outdoor lighting.

Features
 • Delivers up to 130 lumens per watt
 • DLC Listed (Premium for select markets) for utility rebates
 • Effective Projected Area (EPA): 1.00 ft²
 • Housing of heavy cast aluminum with heavy wall cast aluminum supports & heavy gauge spun aluminum cover
 • Incorporates precision-designed optical lenses to avoid light trespass
 • Cast aluminum mounting bracket is designed to fit a 2-3/8" x 3" x 1/2" hole plate; other sizes available
 • Clear impact resistant acrylic lens

D821-L

Ordering Information

| Order # | Color | Mount | Base | Finish | Weight | BL |
|---------|-------|-------|-------|--------|--------|---------|
| BRLL-01 | Round | White | White | White | 150 mm | 4.0 1.8 |
| BRLL-02 | Round | White | Black | Black | 150 mm | 4.0 1.8 |
| BRLL-04 | Round | White | White | White | 150 mm | 4.0 1.8 |
| BRLL-01 | Round | White | Black | Black | 150 mm | 3.5 1.6 |
| BRLL-02 | Round | White | Black | Black | 150 mm | 3.5 1.6 |
| BRLL-04 | Round | White | White | White | 150 mm | 3.5 1.6 |

DECO LIGHTING

TRON-LED
Tron Architectural Bollard

Client: _____ Order #: _____
 Project Name: _____ Type: _____ City: _____

Performance Data
 CRI: 80+
 CCT: 4000K

Projected Lifetime
 187,000 Hours (L70)

Dimming
 0-10V Dimming Standard,
 10% to 100%

Operating Temperature
 -40°C to +40°C Ambient

Safety Listed
 CSA, Suitable for dry, damp, wet locations

Description
 Deco's bold Tron architectural bollard provides crisp, uniform light and eliminates shadows and straggling in all pathway applications. For use in entryways, parks, schools, apartment complexes, municipal buildings, hospitals, shopping malls and all interior, commercial and residential buildings.

Features
 • Provides 300% of low level lighting, Type V5 distribution.
 • Extruded aluminum housing with flush mounting base.
 • Vandal resistant covers.
 • Clear polycarbonate lenses.
 • Standard color is bronze, also available in black.
 • ETL for wet locations.
 • System Voltage: 20-277V
 • Includes Mounting Kit with IP Amber Bulb

TRON-L 43 20 40 UNV

Ordering Information

| Order # | Color | Mount | Base | Finish | Weight | BL |
|-----------|-------|-------|-------|--------|--------|---------|
| TRON-L 43 | Round | White | White | White | 122 mm | 4.0 1.8 |
| TRON-L 20 | Round | White | Black | Black | 122 mm | 4.0 1.8 |
| TRON-L 40 | Round | White | White | White | 122 mm | 4.0 1.8 |
| TRON-L 43 | Round | White | Black | Black | 122 mm | 3.5 1.6 |
| TRON-L 20 | Round | White | Black | Black | 122 mm | 3.5 1.6 |
| TRON-L 40 | Round | White | White | White | 122 mm | 3.5 1.6 |

PRINTS ISSUED
 10/21/20 - PERMIT SET

REVISIONS:
 12/16/20 - CITY COMMENT



LS&A
 Latimer Sommers & Associates, P.A.
 CONSULTING ENGINEERS
 3839 SW Summerfield Drive, Suite A
 Topeka, Kansas 66614-3974
 8625 College Boulevard, Suite 102
 Overland Park, Kansas 66210
 Telephone: (785) 233-3232
 Email: lsapa@lsape.com
 LSA PROJECT NO. 2004034



THE ENCORE
 163RD STREET & TURNER ROAD
 BELTON, MISSOURI

SHEET TITLE
 SITE PHOTOMETRIC DETAILS AND SCHEDULES

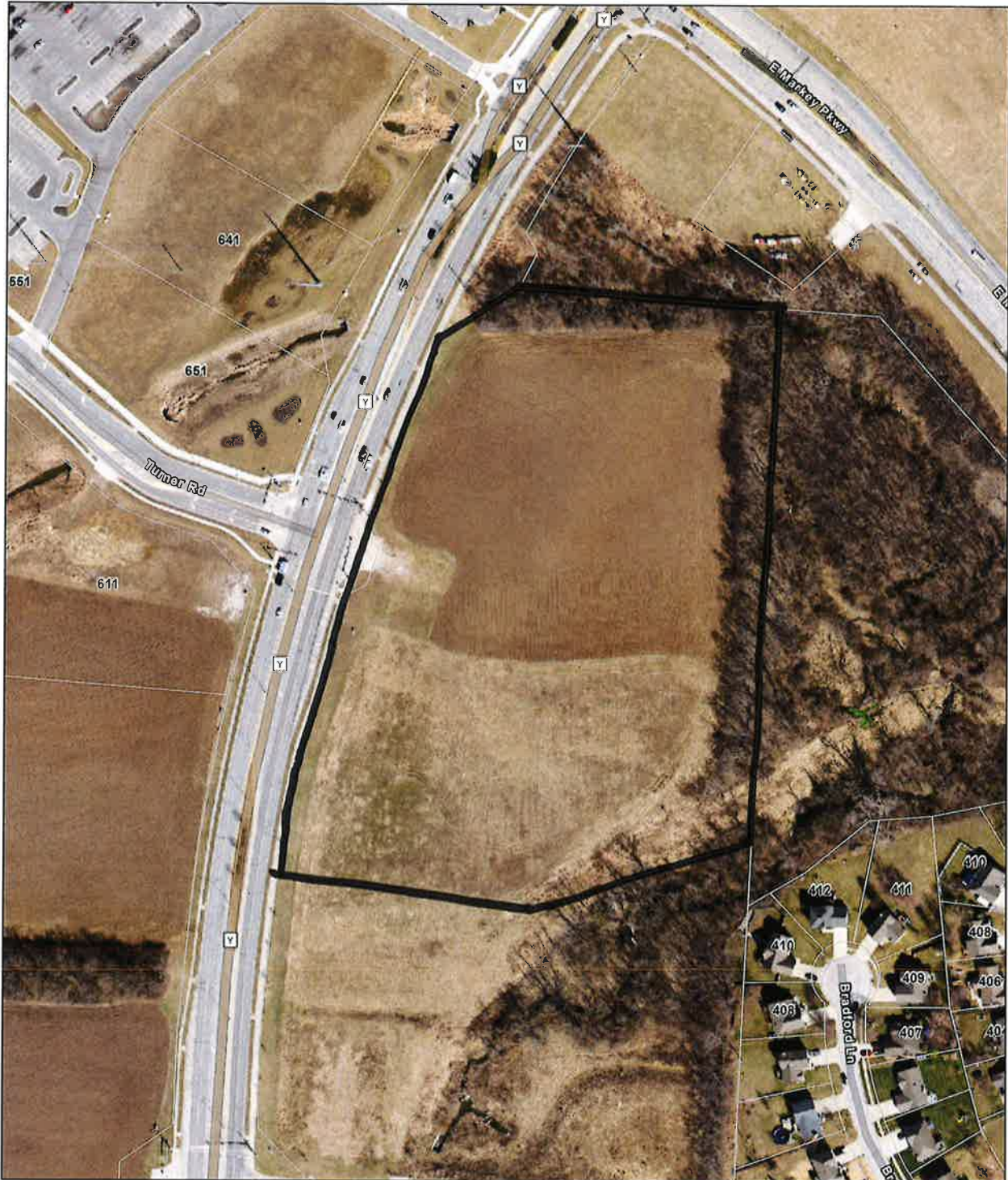
PROJECT NUMBER: 20021

SHEET NUMBER:

E002

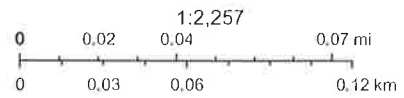
DRAWN BY: CAD CHECKED BY: RRB

ArcGIS Web Map



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Aerial_MARC_2020_6in.tif

- Red: Band_1
- Green: Band_2
- Blue: Band_3
- Streets
- Belton_Parcels



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SECTION V.
FINAL PLAT – ENCORE APARTMENTS

**FINAL PLAT
ENCORE APARTMENTS
BELTON PLANNING COMMISSION
ELECTRONIC MEETING
MONDAY, JANUARY 4, 2021 – 6:00 P.M.
CITY HALL ANNEX BUILDING – 520 MAIN STREET**

APPLICANTS

Property Owner-NorthPoint Development, LLC./Brad Haymond

Engineer-Renaissance Infrastructure Consulting, Inc./Mick Slutter

Location-The property is located at on the east side of 163rd Street at Turner Road.

Request-The application was filed for approval of a Final Plat for Encore Apartments.

BACKGROUND

The preliminary development plan and preliminary plat for Encore Apartments was reviewed and recommended for approval by the Planning Commission on June 8, 2020. The plan provided for development of 322 apartments in six buildings. This application is the Final Plat for the proposed development.

PROPOSED FINAL PLAT

The Final Plat is consistent with the preliminary plan and the Planned Unit Development, approved by the City Council:

Lot sizes- The plat provides for one lot, a 11.648 acre parcel (507,374 square feet).

*Streets-*The property is adjacent to 163rd Street. No additional right-of-way is dedicated with the plat.

*Easements-*The final plat includes appropriate language for utility easements.

Detention- The property is in the Markey Regional Detention Watershed. Payment of a fee in lieu of providing on-site detention is provided in the UDC. The site plan also provides areas of stormwater best management practices (BMP) to lessen run-off and filter storm drainage.

STAFF RECOMMENDATION

The staff recommends approval of the application for a Final Plat for Encore Apartments, as the final plat is consistent with the preliminary plat submitted with the rezoning application. The plat meets all final plat requirements of Section 36.35 of Unified Development Code.

The recommendation is subject to the following conditions:

1. The Final Plat for Encore Apartments as submitted by Renaissance Infrastructure Consulting, dated December 15, 2020, is hereby approved.

Final Plat-Encore Apartments

2. The Access Easement for the shared drive on the south side of the project shall be recorded along with the Final Plat.
3. The final plat shall be recorded within one year of City Council approval or the approval of the plat shall be considered null and void.

PLANNING COMMISSION ALTERNATIVES

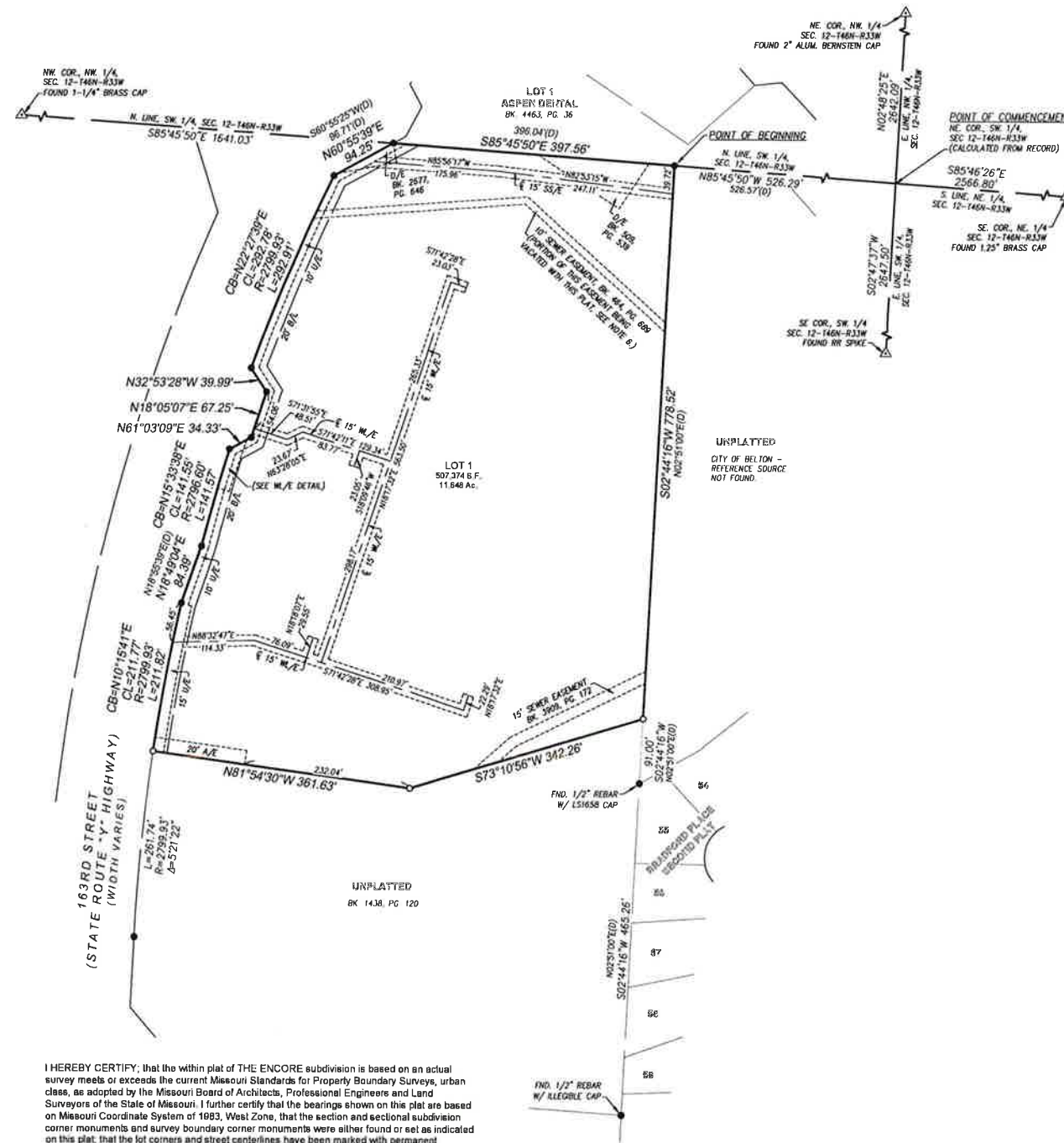
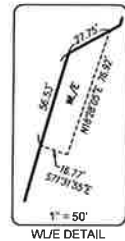
1. Motion to **approve** a Final Plat for Encore Apartments.
2. Motion to **deny** a Final Plat for Encore Apartments.
3. Motion to continue the application pending additional information.

ATTACHMENTS

1. Final Plat-Encore Apartments
2. Area Map

FINAL PLAT THE ENCORE

A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 46 NORTH,
RANGE 33 WEST, IN THE CITY OF BELTON, CASS COUNTY, MISSOURI



- NOTES:**
1. Basis of Bearings: Missouri State Plane, NAD 83, West Zone.
 2. All bearings and distances shown on this plat are measured and described unless otherwise noted.
 3. Flood Plain Note: According to the F.E.M.A. Flood Insurance Rate Map Number 29037C0009F, revised January 2, 2013, this tract graphically lies in OTHER AREAS, ZONE X, defined as areas determined to be outside the 0.2% annual chance floodplain.
 4. Abutting property information was obtained via the Cass County Assessor website.
 5. The record source of the subject premises is recorded in Book 1483, Page 120 of the Cass County records.
 6. Any portion of the Sanitary Sewer Easement, recorded in Book 464, Page 688, that exists within the property being platted herein, is hereby vacated with the recording of this plat.

- LEGEND:**
- ▲ FOUND SECTION CORNER AS NOTED
 - FOUND 1/2" REBAR WITH RIC MOCL82011003572 KSCLS234 CAP UNLESS OTHERWISE NOTED
 - SET 1/2" X 24" REBAR WITH RIC MOCL82011003572 KSCLS234 CAP
 - (D) DEEDED
 - B/A BUILDING SETBACK LINE
 - D/E DRAINAGE EASEMENT
 - SS/SZ SANITARY SEWER EASEMENT
 - U/E UTILITY EASEMENT
 - W/E WATERLINE EASEMENT



I HEREBY CERTIFY, that the within plat of THE ENCORE subdivision is based on an actual survey meets or exceeds the current Missouri Standards for Property Boundary Surveys, urban class, as adopted by the Missouri Board of Architects, Professional Engineers and Land Surveyors of the State of Missouri. I further certify that the bearings shown on this plat are based on Missouri Coordinate System of 1983, West Zone, that the section and sectional subdivision corner monuments and survey boundary corner monuments were either found or set as indicated on this plat, that the lot corners and street centerlines have been marked with permanent monumentation as indicated on this plat, that I have complied with all State and Belton statutes, ordinances and regulations governing the practice of surveying and the platting of subdivision to the best of my professional knowledge and belief.

Jed A.M. Baughman, Missouri PLS-2014020708
RIC MO CLS-2011003572
jbaughman@ric-consult.com

DESCRIPTION

All that part of the Southwest Quarter of Section 12, Township 46 North, Range 33 West, in the City of Belton, Cass County, Missouri more particularly described as follows:

COMMENCING at the Northeast Corner of the Southwest Quarter of said Section 12, thence North 85°45'50" West, along the North Line of said Southwest Quarter, a distance of 526.26 feet to the true POINT OF BEGINNING of land being described; thence South 02°44'16" West, a distance of 778.52 feet; thence South 73°10'56" West, a distance of 342.26 feet; thence North 81°54'30" West, a distance of 361.63 feet to a point on the Easterly Right-of-Way Line of Missouri State Route "Y", as it now exists; thence Northerly and Northeasterly along said Right-of-Way Line and being along a curve to the right, said curve having a radius of 2799.93 feet, a chord which bears North 10°15'41" East, a chord distance of 211.77 feet, and an arc length of 211.82 feet to the Southerly Most Corner of that certain parcel of land conveyed by such RIGHT OF WAY DEDICATION - GENERAL WARRANTY DEED to the City of Belton as filed March 15, 2011 and recorded in Cass County Missouri Recorder's Office in Book 03439 at Page 0585; thence along the Easterly Line of said RIGHT OF WAY DEDICATION - GENERAL WARRANTY DEED for the following five (5) courses; thence North 18°49'04" East, a distance of 84.39 feet; thence northeasterly along a curve to the right, said curve having a radius of 2796.60 feet, a chord which bears North 15°33'38" East, a chord distance of 141.55 feet, and an arc length of 141.57 feet; thence North 61°03'09" East, a distance of 34.33 feet; thence North 18°05'07" East, a distance of 67.25 feet; thence North 32°53'28" West, a distance of 39.99 feet to a point on said Easterly Right-of-Way Line of Missouri State Route "Y", as it now exists; thence northeasterly along said Easterly Right-of-Way Line and being along a non-tangent curve to the right, said curve having a radius of 2799.93 feet, a chord which bears North 22°27'39" East, a chord distance of 292.78 feet, and an arc length of 292.81 feet; thence North 60°55'39" East, along said Easterly Right-of-Way Line, a distance of 94.25 feet to a point on said North Line of said Southwest Quarter of said Section 12, said point also being the Southwest Corner of Lot 1, ASPEN DENTAL BELTON, a subdivision of land in said City of Belton; thence South 85°45'50" East, along said North Line and the South Line of said Lot 1, ASPEN DENTAL BELTON, a distance of 387.56 feet to the Point of Beginning, containing 507.374 square feet, or 11.648 acres, more or less

DEDICATION

The undersigned proprietor of the Real Estate described herein has caused the same to be subdivided in the manner shown on this plat, which subdivision and plat shall hereafter be known as: "THE ENCORE"

EASEMENT DEDICATION: An easement is hereby granted to the City of Belton, Missouri, for the purpose of locating, constructing, operating, and maintaining facilities for water, gas, electricity, sewerage, telephone, cable tv and surface drainage, and grading, including, but not limited to, underground pipes and conduits, pad mounted transformers, service pedestals, any or all of them upon, over, under and along the strips of land designated Utility Easements (U/E), Sanitary Sewer Easements (SS/E), Waterline Easements (W/E), provided that the easement granted herein is subject to any and all existing easements. Any utilities located within the designated utility easements, by virtue of their existence, do hereby covenant, consent, and agree that they shall be subordinate to said public right of way in the event that additional public right of way is dedicated over the location of the utility easement. Where other easements are designated for a particular purpose, the use thereof shall be limited to that purpose only. All of the above easements shall be kept free from any and all obstructions which would interfere with the construction or reconstruction and proper, safe and continuous maintenance of the aforesaid uses and specifically there shall not be built thereon or thereover any structure (except driveways, paved areas, gas, shrubs and fences) nor shall there be any obstruction to interfere with the agents and employees of the City of Belton, and its franchised utilities from going upon said easement and as much of the adjoining lands as may be reasonably necessary in exercising the rights granted by the easement.

UTILITY EASEMENTS MAINTENANCE: All utility easements shall be functional and maintained in perpetuity by the property owner(s) and shall not be the responsibility of the city.

BUILDING LINES: Building lines or setback lines are hereby Established, as shown on the accompanying plat, no building or portion thereof shall be built between this line and the lot line nearest thereto.

PRIVATE ACCESS EASEMENT: An easement for the right of ingress/egress over, upon and across that portion of Lot 1, designated as "Access Easement" or "A/E", is hereby granted to the owners, guest and invitees of the property immediately to the South of the subject property.

IN TESTIMONY WHEREOF: The undersigned owner(s) have subscribed their names:
On this _____ day of _____, 2021.

NP Belton Residential, LLC
By NP Belton Residential Venture, LLC

Nathaniel Hagedorn, Manager

NOTARY CERTIFICATE

STATE OF _____
COUNTY OF _____ SS

BE IT REMEMBERED, that on this _____ day of _____, 2021, before me a Notary Public in and for said County and State, came Nathaniel Hagedorn, Manager of NP Belton Residential Venture, LLC, who is personally known to me to be the same person who executed the foregoing instrument of writing on behalf of said corporation, and he duly acknowledged the execution of the same to be the act and deed of said corporation.

IN WITNESS WHEREOF, I have hereunto set my hand and seal on the day and year last written above.

Notary Public _____ My Appointment Expires: _____

PLANNING COMMISSION

This Plat of "THE ENCORE" has been submitted to and approved by the Planning Commission of Belton, Missouri on this _____ day of _____, 2021.

Chairman: Tom MacPherson Secretary: _____

CITY COUNCIL

This is to certify that the within plat was duly submitted to and approved by the City Council of Belton, Missouri, by Ordinance No. _____ duly authenticated as passed the _____ day of _____, 2021.

Mayor: J. W. Davis City Clerk: Andrea Cunningham

Entered on transfer record this _____ day of _____, 2021.

County Recorder _____

THE ENCORE

Prepared For:
NorthPoint Development, LLC
Nathaniel Hagedorn
4825 NW 41st, Suite 500,
Riverside, MO 64150
(816) 888-7380

Date of Preparation: October 10, 2020
Revised: December 15, 2020



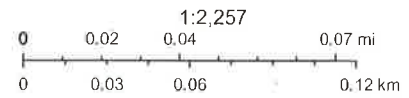
132 Abbie Avenue
Kansas City, Kansas 66103
913.317.8500
www.ri-consult.com

ArcGIS Web Map



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