



**AGENDA**  
**CITY OF BELTON**  
**PLANNING COMMISSION MEETING**  
**MONDAY, AUGUST 16, 2021 - 6:00 P.M.**  
**CITY HALL ANNEX, 520 MAIN STREET**  
[www.belton.org/watch](http://www.belton.org/watch)

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**I. CALL MEETING TO ORDER**

**II. ROLL CALL**

**III. APPROVAL OF THE MINUTES OF THE JULY 19, 2021 PLANNING COMMISSION MEETING**

**IV. PUBLIC HEARINGS**

- A.** Consideration of a rezoning from the existing R-1 Single-Family Residential District to an R-2 Two-Family Residential District for the property located at 210 and 212 Mill Street.

**V. NON-PUBLIC HEARINGS**

- A.** Consideration of a Final Development Plan to permit the development of Dutch Bros Coffee on the property located at 1733 East North Avenue.

**VI. OTHER BUSINESS**

Initial discussion pertaining to upcoming Unified Development Code amendments. Public hearing to be scheduled for September.

**VII. ELECTION OF OFFICERS**

UDC Sec. 2-137: At its first August meeting, the commission must annually elect one of its citizen members to act as chair, another of its members to act as vice-chair. The terms are for one year with eligibility for re-election.

**VIII. DIRECTOR'S REPORT**

**IX. NEXT MEETING DATE: September 20, 2021**

**X. ADJOURNMENT**

**SECTION III.**  
**MEETING MINUTES**  
**JULY 19, 2021**

**Minutes of Meeting  
Belton Planning Commission  
City Hall Annex, 520 Main Street  
July 19, 2021**

<https://www.youtube.com/watch?v=pd9Exv46gCs>

**CALL TO ORDER**

Chairman MacPherson called the meeting to order at 6:00 p.m.

**ATTENDANCE**

*Commission:* Chairman MacPherson, Mayor Norman Larkey, Councilman Rob Powell, Commissioners Todd Christy, Tim McDonough, Marsha Vest, Kelly Monaghan-Bass and James Pryan

*Absent:* Commissioner Kara Anderson

*Staff:* Dave Clements, Planning and Building Director; Carolyn Yatsook, Economic Development Director; Sheila Erzen, Assistant City Manager; Nikia Freiburger, Assistant City Engineer; and John Mullane, Stand in City Attorney

*Guests:* Brittany Kirby, Applicant, Cozy Pet Hotel, LLC, 342 North Scott Avenue, Belton, MO 64012; Kenny Watowa, Owner, K Jett Services, 400 North Scott Avenue, Belton, MO 64012; Ron Gardella, Owner, Belton Transmission, 315 North Scott Avenue, Belton, MO 64012; Linda Stanley, NextGen Realty, 8015 E 171<sup>st</sup> Street, Belton, MO 64012; Bonnie Doss, Realtor, Keller Williams Realty, 1006 W Foxwood Drive, Raymore, MO 64083; and Nick Fore, Cross Development, 4336 Marsh Ridge Road, Carrollton, TX 75010;

**MINUTES**

Mayor Larkey moved to approve the June 21, 2021 Planning Commission meeting minutes.

Councilman Powell had a correction regarding the item NON-PUBLIC HEARING – Consideration of a Final Development Plan for Building #4 in Southview Commerce Center located at 5901 East 155th Street and 6107 East 155th Street in regard to his comment regarding the berm. Councilman Powell agreed to email his corrections to Dave Clements, Planning and Building Director.

Commissioner Christy seconded the motion. All other members present voted in favor, and the motion carried.

**PUBLIC HEARING** – Consideration of a Vacation of an existing sanitary easement located East of 163rd Street, North of Bradford Place Second Plat.

Mr. Clements gave a summary of the staff report. The staff report is attached as Exhibit A.

The public hearing was opened at 6:04 p.m. With no public input, the public hearing was closed at 6:07 p.m.

Mayor Larkey moved to approve the consideration of a Vacation of an existing sanitary easement located East of 163rd Street, North of Bradford Place Second Plat.

The motion was seconded by Commissioner Christy. When a vote was taken, the following was recorded:  
Ayes: 8 – Chairman MacPherson, Mayor Norman Larkey, Councilman Rob Powell, Commissioners Todd Christy, Tim McDonough, Marsha Vest, Kelly Monaghan-Bass and James Pryan

Noes: 0 – None

Absent: 1 – Commissioner Kara Anderson

The motion carried and will be forwarded to City Council.

**PUBLIC HEARING** – Consideration of a Special Use Permit for Cozy Pet Hotel, an Animal Services/Kennel, located at 342 North Scott Avenue.

Mr. Clements gave a summary of the staff report. The staff report is attached as Exhibit B.

The public hearing was opened at 6:09 p.m.

Brittany Kirby, Applicant, Cozy Pet Hotel, LLC, 342 North Scott Avenue, Belton, MO 64012 was present in favor the Cozy Pet Hotel and presented a presentation of the project.

Kenny Watowa, Owner, K Jett Services, 400 North Scott Avenue, Belton, MO 64012 was present to speak against the project. Mr. Watowa voiced concerns regarding the noise while his employees are working on the phone, additional flooding to his business, adequate parking for the Cozy Pet Hotel and their customers making on his lot, and pot holes on his property.

Ron Gardella, Owner, Belton Transmission, 315 North Scott Avenue, Belton, MO 64012 was present and was not in favor or against the project but was present to voice his concerns. Mr. Gardella stated concerns regarding dogs getting lose and potentially biting one of his customers.

Bonnie Doss, Realtor, Keller Williams Realty, 1006 W Foxwood Drive, Raymore, MO 64083 was present to speak in favor of the project. Ms. Doss reminded the Commission of the kennel across the street from City Hall. Ms. Doss questioned if the Special Use Permit was able to be transferred if the business was sold. Mr. Clements stated the Special Use Permit is tied to the property and can be transferred to a new owner.

Linda Stanley, NextGen Realty, 8015 E 171<sup>st</sup> Street, Belton, MO 64012 was present to speak in favor. Ms. Stanley represents the current building owner and believes in the past there was a division made on the parking area and will look into that matter.

Mayor Larkey recommend the applicant, Brittany Kirby, pull her Special Use Permit application and workout the issues with the project with adjacent business owners. Mr. Clements recommended all parties get together and come to an agreement by August 3, 2021 in order for the Special Use Permit be presented to the City Council meeting on August 10, 2021. If Mr. Clements does not receive the agreement by August 3, 2021 the item will come back to the Planning Commission on August 19, 2021.

The public hearing was closed at 6:40 p.m.

Commissioner Monaghan-Bass moved to approve the consideration of a Special Use Permit for Cozy Pet Hotel, an Animal Services/Kennel, located at 342 North Scott Avenue.

The recommendation is subject to the following conditions:

1. The Special Use Permit shall be valid for a period of five years after approval of City Council. Renewal shall be by the filing of a new Special Use application.
2. The Special Use permit is subject to all the standards of Section 40-2 Special Use provisions, including conditions, transferability, and revocations.
3. The applicant shall obtain the appropriate State of Missouri Animal Care Facility license and shall comply with all provisions of state requirements in the operation of the kennel.
4. The applicant shall submit to the Department of Planning and Building, copies of periodic inspection reports by the Missouri Department of Agriculture.
5. All parties must meet and come to an agreement regarding the issues that were brought up at the July 19, 2021 Planning Commission meeting. The agreement must be submitted to City staff by August 3, 2021 in order for the Special Use Permit be presented to the City Council on August 10, 2021.

The motion was seconded by Mayor Larkey. When a vote was taken, the following was recorded:

Ayes: 8 – Chairman MacPherson, Mayor Norman Larkey, Councilman Rob Powell, Commissioners Todd Christy, Tim McDonough, Marsha Vest, Kelly Monaghan-Bass and James Pryan

Noes: 0 – None

Absent: 1 – Commissioner Kara Anderson

The motion carried and will be forwarded to City Council subject to the agreement being submitted to Mr. Clements by August 3, 2021.

**PUBLIC HEARING** – Consideration of a Special Use Permit for an electronic message center on an existing billboard sign located at the Southeast corner of South Outer Road and 162nd Street at 16241 South Outer Road. ***(The applicant has requested a continuance to the meeting of August 16, 2021.)***

Mayor Larkey moved to continue the public hearing to August 16, 2021. The motion was seconded by Commissioner Monaghan-Bass.

When a vote was taken, the following was recorded:

Ayes: 8 – Chairman MacPherson, Mayor Norman Larkey, Councilman Rob Powell, Commissioners Todd Christy, Tim McDonough, Marsha Vest, Kelly Monaghan-Bass and James Pryan

Noes: 0 – None

Absent: 1 – Commissioner Kara Anderson

The motion carried.

**NON-PUBLIC HEARING** – Consideration of a Final Development Plan for Caliber Collision located on the West side of Bradford Lane, approximately 400 feet North of East North Avenue at 160 Bradford Lane.

Mr. Clements gave a summary of the staff report. The staff report is attached as Exhibit C.

Nick Fore, Applicant, Cross Development, 4336 Marsh Ridge Road, Carrollton, TX 75010 presented a presentation of the project.

The Commission had questions regarding deliveries, the type of fencing on the property, the sprinkler system, when the service bay doors would be open, after-hours drop-off of vehicles, permits from other agencies and traffic.

- Mr. Fore stated the largest truck bringing deliveries would be a flatbed truck.
- The aluminum fencing will be open during business hours and closed after hours. Hours for the business are 8:00 a.m. – 6:00 p.m.
- The property will have an underground sprinkler system.
- The Unified Development Code-Section 40-4 (7)(a) states all motor vehicle repair operations that include body and fender repair must conduct the work within a completely enclosed building or room with stationary windows that may be opened only at intervals necessary for ingress and egress.
  - The service bays for the facility are located on the west side of the building near Price Chopper. North of the property are four single-family homes located on Mallory Drive.
  - The facility is air-conditioned.
- Vehicles dropped off before or after the hours of 8:00 a.m. – 6:00 p.m. can be parked in one of the thirteen customer parking spaces in front of the building.
- Councilman Powell had many questions concerning how they would obtain permits from other agencies in regard to noise, hazardous air pollutants, wastewater and solid wastes, and chemical storage.
- Caliber Collision will submit a traffic mitigation strategy plan stating how they will mitigate the traffic going into the Bradford Place subdivision to the north of Caliber Collision.

Mayor Larkey moved to approve the consideration of a Final Development Plan for Caliber Collision located on the West side of Bradford Lane, approximately 400 feet North of East North Avenue at 160 Bradford Lane. The recommendation is subject to the following conditions:

1. The Final Development Plan for Caliber Collision is hereby approved, as shown on Final Development Plan by Freeland and Kaufmann, Inc., dated 4/23/2021, subject to additional conditions.
2. The decorative stone sill on the north elevation shall be revised to proceed across the entire wall.
3. Submit an Agreement specifying details pertaining to utilization of the Markey Regional Detention.
4. Caliber Collision will submit a traffic mitigation strategy plan stating how they will mitigate the traffic going into the Bradford Place subdivision to the north of Caliber Collision. Traffic mitigation strategy plan must be submitted before a building permit will be issued.
5. Caliber Collision will provide information of permits obtained by other agencies regarding noise, hazardous air pollutants, wastewater and solid wastes, and chemical storage.

The motion was seconded by Commissioner Tim McDonough. When a vote was taken, the following was recorded:

Ayes: 7 – Chairman MacPherson, Mayor Norman Larkey, Commissioners Todd Christy, Tim McDonough, Marsha Vest, Kelly Monaghan-Bass and James Pryan

Noes: 1 –Councilman Rob Powell

Absent: 1 – Commissioner Kara Anderson

The motion carried.

**NON-PUBLIC HEARING** – Consideration of a Final Plat for Martinwood Addition Replat of Lot 3 located on the West side of Harris Avenue, just North of 162<sup>nd</sup> Street at 16110 Harris Avenue.

Mr. Clements gave a summary of the staff report. The staff report is attached as Exhibit D.

Mayor Larkey moved to approve the consideration of a Final Plat for Martinwood Addition Replat of Lot 3 located on the West side of Harris Avenue, just North of 162<sup>nd</sup> Street at 16110 Harris Avenue. The recommendation is subject to the following conditions:

1. The Final Plat for the Martinwood Addition Replat of Lot 3, by Bryan Hill is approved as submitted.
2. The final plat shall be recorded within one year of City Council approval or the approval of the plat shall be considered null and void.

The motion was seconded by Commissioner Kelly Monaghan-Bass. When a vote was taken, the following was recorded:

Ayes: 8 – Chairman MacPherson, Mayor Norman Larkey, Councilman Rob Powell, Commissioners Todd Christy, Tim McDonough, Marsha Vest, Kelly Monaghan-Bass and James Pryan

Noes: 0 – None

Absent: 1 – Commissioner Kara Anderson

The motion carried and will be forwarded to City Council.

#### **DIRECTOR'S REPORT**

- A public hearing will be held in September for code amendments.

**NEXT MEETING DATE:** August 16, 2021

#### **ADJOURNMENT**

Commissioner McDonough moved to adjourn the meeting. The motion was seconded by Mayor Larkey. All voted in favor, and the meeting adjourned at 7:34 p.m.

## **EXHIBIT A**

### **VACATION SANITARY EASEMENT-BRADFORD PLACE BELTON PLANNING COMMISSION MONDAY, JULY 19, 2021 – 6:00 P.M. CITY HALL ANNEX BUILDING – 520 MAIN STREET**

#### **APPLICATION**

*Applicant*-City of Belton/David Clements, Director of Planning and Building

*Engineer*-Renaissance Infrastructure Consulting

*Location*- The easement is located east of 163<sup>rd</sup> Street, north of Bradford Place Second Plat, and meanders in an east/west direction.

*Request*- The application was filed for approval of a **Vacation** of an existing sanitary easement.

#### **BACKGROUND**

This application pertains to a 10-foot-wide dedicated sanitary sewer easement. The easement was dedicated in September of 1963, and no sanitary line was ever constructed within the easement area. The location of the easement is shown on the attached Easement Exhibit.

Bradford Place Second Plat was approved and recorded in February of 1999. The sanitary sewer easement was not located or called out at the time of the approval of Bradford Place Second Plat. As a result, the sanitary sewer easement is located partially on Lots 42, 53, 54 and 55 of the subdivision plat. These lots are now improved with single-family homes.

In June of 2020, a preliminary development plan for Encore Apartments was submitted for approval. A preliminary development plan requires that adjacent utilities and easements be designated on the plan. At that time, it was found that the existing sanitary sewer easement is partially upon Lots 42, 53, 54, and 55.

As required by the Unified Development Code, utility agencies and property owners abutting the easement were advised of the public hearing and the proposed vacation. No protest or objection was received from these utility companies or property owners.

#### **PROPOSED VACATION**

The action to vacate the easement will eliminate/remove the easement from Lots 42, 53, 54 and 55.

There are no utilities in the easement, and there are no plans for sewer installations in this area as the homes in Bradford Place are all served by sewers from within the subdivision.

The easement should be vacated as it should not be located on the existing lots.

#### **STAFF RECOMMENDATION**

The staff recommends approval of the vacation of a sanitary sewer easement generally located north of Bradford Place Second Plat.

#### **PLANNING COMMISSION ALTERNATIVES**

1. Motion to **approve** a Vacation of an existing sanitary sewer easement.
2. Motion to **deny** a Vacation of an existing sanitary sewer easement.
3. Motion to continue the application pending additional information.

**EXHIBIT B**  
**SPECIAL USE PERMIT-KENNEL**  
**342 N. SCOTT AVENUE**  
**BELTON PLANNING COMMISSION**  
**MONDAY, JULY 19, 2021 – 6:00 P.M.**  
**CITY HALL ANNEX BUILDING – 520 MAIN STREET**

**APPLICATION:**

*Property Owner-Debra Kincaide*

*Applicant-Cozy Pet Hotel, LLC. /Brittany Kirby*

*Location-The property is an existing building at 342 North Scott Avenue.*

*Request-The application was filed for approval of a Special Use Permit for Animal Services/Kennel.*

**BACKGROUND:**

The applicant has requested a Special Use permit to allow a new business in the vacant, 2,900 square-foot building at 342 North Scott Avenue. The property is zoned a C-2 General Commercial District. The C-2 district is intended to accommodate retail and commercial businesses along commercial corridors.

Certain related service uses, such as animal services/kennel, are listed as allowed with a Special Use Permit in the C-2 district. A Special Use permit is considered on an individual use basis, using approval criteria of Section 40-2 of the Unified Development Code (UDC).

**SPECIAL USE DETAILS:**

Cozy Pet Motel will be open to the public Monday through Saturday, with hours of operation from 8:00am to 6:00pm. Staff will be at the facility on Sunday for pets that are kenneled for the weekend. The business will have five total employees, with two employees at all times during business hours.

The existing building will be remodeled for the proposed use. The new tenant finish will include a reception area with customer lobby, areas for dog grooming, kennels for dogs and cats, and indoor play areas.

Outdoor play areas will be added to the south and west side of the building. These outdoor areas will be fenced and artificial turf will be installed for play activities.

The applicant has been advised to have details on methods to clean-up and dispose of pet waste at the facility. This information will be included in the applicant's presentation.

The UDC requires parking spaces based on areas of office and non-office activities. The total parking requirement for the kennel is three spaces. There are seven parking spaces available on the site, sufficient for employee and customer parking and drop-off.

The Missouri Department of Agriculture provides rules for animal care facilities. The applicant is aware of state license and inspection requirements.

**REQUIRED SPECIAL USE STANDARDS FOR APPROVAL:**

The UDC requires certain findings be made concerning a Special Use Permit application.

Impact on the public welfare or convenience of the public: The kennel can offer a convenience for residents who may need services for grooming, daycare and overnight stays for pets. It is not likely that the public welfare will be negatively impacted by the kennel operation.

Impact on the value of other property in the neighborhood: The proposed kennel is in a commercial area, and not adjacent to any single-family homes, there should be no impact on quality of life in nearby residential areas. The outdoor play area behind the building abuts the Smoky Hill railroad right-of-way, and the single-family homes west along Hawthorne Court are 120 feet from use.

There are two similar businesses in Belton, and there is no record of complaints or issues with those businesses and their locations. It is not believed that such a business would have any impact on the value of other property in the neighborhood.

Nature and intensity of the operation with respect to the immediate neighborhood: A kennel is not an intense operation in a commercial area. The use would have more traffic in the mornings and evenings, and less traffic during the days. The property to the north is an office, and south is a used car dealer. The applicant should demonstrate to the Planning Commission that the outdoor play areas will not cause noise or activities that would be objectionable to these neighboring properties. Findings should also be made concerning thoroughness of cleaning the outdoor play areas.

Adequacy of the street system to carry traffic generated by the use: The street system is adequate to carry and manage the traffic related to the proposed use.

#### **STAFF RECOMMENDATION:**

The staff recommends approval of a Special Use Permit for Animal Services/kennel at 342 N. Scott Avenue. The recommendation is subject to the following conditions:

1. The Special Use Permit shall be valid for a period of five years after approval of City Council. Renewal shall be by the filing of a new Special Use application.
2. The Special Use permit is subject to all the standards of Section 40-2 Special Use provisions, including conditions, transferability and revocations.
3. The applicant shall obtain the appropriate State of Missouri Animal Care Facility license, and shall comply with all provisions of state requirements in the operation of the kennel.
4. The applicant shall submit to the Department of Planning and Building, copies of periodic inspection reports by the Missouri Department of Agriculture.

#### **PLANNING COMMISSION ALTERNATIVES**

1. Motion to **approve** a Special Use Permit at 342 N. Scott Avenue.
2. Motion to **deny** a Special Use Permit at 342 N. Scott Avenue.
3. Motion to continue the application for further information.

**EXHIBIT C**  
**FINAL DEVELOPMENT PLAN**  
**CALIBER COLLISION**  
**BELTON PLANNING COMMISSION**  
**MONDAY, JULY 19, 2021 – 6:00 P.M.**  
**CITY HALL ANNEX BUILDING – 520 MAIN STREET**

**APPLICATION**

*Applicant-Cross Development/Nick Fore*

*Property Owner-Cass County Library District*

*Engineer-Freeland and Kauffman, Inc./Todd Burnett*

*Location-The property is located at 160 Bradford Lane, the west side of Bradford Lane, approximately 400 feet north of East North Avenue.*

***Request-The application was filed for approval of a Final Development Plan to permit the development of a Caliber Collision***

***A Final Development Plan is primarily to be reviewed for compliance with Performance Standards of Chapter 28 of the Unified Development Code (UDC), building design, building materials, building form, and Chapter 22 Landscaping and Screening.***

**BACKGROUND**

This application was filed for a Final Development Plan for Caliber Collision. This is an automotive collision repair facility that provides repair from accidents, hail damage, windshield and glass replacement and interior repairs. Caliber Collision has over 1000 locations in 37 states. The location would employ a staff of 15 to 20, with Monday-Friday hours of operation from 8:00am to 6:00pm.

The company has Missouri locations in the St. Louis area and Columbia. The proposed Belton site is the first location in the Kansas City area.

The applicant prepared the attached project narrative providing additional details, and the further information can be found at the company website, <https://calibercollision.com>.

The property is zoned a C-2 General Commercial District. A motor vehicle repair facility is a **permitted use** in this zoning district, with the following conditions:

*Commercial—Motor vehicle repair- Unified Development Code-Section 40-4 (7)*

*a. All motor vehicle repair operations that include body and fender repair must conduct the work within a completely enclosed building or room with stationary windows that may be opened only at intervals necessary for ingress and egress;*

*b. No spray painting may be done except in a building or room specially designed for that purpose;*

*c. Motor vehicle repair shops cannot store vehicles on the site for longer than 30 working days; and*

*d. Every motor vehicle repair business shall submit with each occupational license a submitted parking plan that exhibits vehicles to be repaired, and parking for vehicles that are ready for pickup as well as customer drop-off and pickup. This parking plan will be reviewed by the community development department as part of the occupational license review process.*

The subject property is a 2.91-acre site at 160 Bradford Lane. The Final Development Plan provides for the 11,582-square foot, one-story building for the proposed body shop. Access to the site is from a single driveway on Bradford Lane.

#### **FINAL DEVELOPMENT PLAN**

The subject property is a 2.91-acre site located on the west side of Bradford Lane, north of East North Avenue. West of the site is Price Chopper, south of the site is Auto Zone, east is a one-story office building, and north of the property are four single-family homes located on Mallory Drive

#### *Compliance with C-2 Standards of the Unified Development Code (UDC):*

The plan generally meets all requirements of the C-2 General Commercial District. The C-2 district is intended to provide mid-size retail and commercial businesses along commercial corridors. Caliber Collision meets all the C-2 conditional requirements outlined above.

Parking/vehicle stacking: For a body shop, the UDC requires one parking space per bay with a minimum of six parking spaces. There are twelve interior service bays for the facility. The site plan provides thirteen customer spaces in front of the building and 58 spaces for employee parking and automobile storage spaces on the south side of the building for a total of 71 parking spaces.

All parking spaces meet all dimensional requirements for length, width, and maneuvering.

#### Required Yards/Setbacks:

1. Front yard- 30-foot required setback/77-foot setback proposed.
2. Rear yard- 20-foot required setback/38-foot setback proposed.
3. Side yard-10-foot setback required. It is 190-feet to the property line of the single-family homes to the north. The south side-yard is 180-feet from AutoZone.

Maximum Building Height-35-foot maximum. The height to the parapet is 26-feet.

Maximum Building Coverage-25% maximum. 9% proposed building coverage.

Required Open Space-20% of total land area of open space required. 64% open space provided.

*Building Design:* The UDC requires all new commercial buildings to include 50 percent masonry on the front and side elevations, with articulation and offsets to add architectural detail on all four sides. The primary materials on the building are stacked stone, applied stucco and split face block that meet the 50 percent requirement. The elevations also include a stucco effect architectural metal panel, an entry canopy and accent panels of EIFS and concrete caps.

This design and building materials meet the requirements of the Unified Development Code.

The trash enclosure will be constructed of masonry materials to match the building, with the required secure gate. Rooftop mechanical equipment is fully screened, and not visible from the single-family homes to the north.

***Landscaping:*** A landscape plan was submitted with the Final Development Plan. The landscape plan meets the requirements of the UDC. The plan provides 67 percent open space, exceeding the required 20 percent total landscape area, and provides the required shade trees, parking lot landscaping, and street trees. A significant element of the landscape plan is the open area north of the building, abutting the four existing single-family homes. This is a 1.4-acre area that includes 28 Norway Spruce and White Pines, 6 to 8 feet in height, along the property line to serve as a year-round landscape screen. The 1.4-acre area also includes plantings of Sugar Maple, Red Buds, additional street trees and grade/topographic changes to provide a larger scale visual landscape amenity separating the commercial building from the adjoining residential uses.

***Streets/access:*** As noted, access is provided to the site from one driveway entrance on Bradford Lane. This is a low-volume traffic generator, there is sufficient capacity on Bradford Lane for the proposed use.

***Utilities:*** The plan includes a utility plan for water and sanitary sewer to serve the site. Staff has reviewed the utility plan and determined that the plan provides adequate public facilities.

***Site/Building Lighting-***A photometric site lighting plan was submitted with the application. The plan indicates zero-foot candles at the property line meeting the parking lot and building lighting standards of the Unified Development Code.

***Noise:*** The applicant indicates that all automobile repair services are inside the building, and that no sound would be recognizable at adjoining property lines. The single-family homes to the north are a distance of 180 feet from the building.

***Detention:*** The property is in the Markey Regional Detention Watershed. Payment of a fee in lieu of providing on-site detention is provided in the UDC, based on impervious surface.

#### **STAFF RECOMMENDATION**

The staff recommends approval of the request for a Final Development Plan for Caliber Collision, as noted in the staff report and shown on the Final Development Plan. The recommendation is subject to the following conditions:

1. The Final Development Plan for Caliber Collision is hereby approved, as shown on Final Development Plan by Freeland and Kaufmann, Inc., dated 4/23/2021, subject to additional conditions.
2. The decorative stone sill on the north elevation shall be revised to proceed across the entire wall.
3. Submit an Agreement specifying details pertaining to utilization of the Markey Regional Detention.

#### **PLANNING COMMISSION ALTERNATIVES**

1. Motion to **approve** a Final Development Plan for Caliber Collision.
2. Motion to **deny** a Final Development Plan for Caliber Collision
3. Motion to continue the application for further information.

## **EXHIBIT D**

### **FINAL PLAT**

#### **MARTINWOOD ADDITION REPLAT**

#### **BELTON PLANNING COMMISSION**

**MONDAY, JULY 19, 2021 – 6:00 P.M.**

**CITY HALL ANNEX BUILDING – 520 MAIN STREET**

### **APPLICANT**

Property Owner-Danny McConnauhay

Surveyor-Bryan Hill

Location- The property is located on the west side of Harris Avenue, just north of 162<sup>nd</sup> Street, at 16110 Harris Avenue.

Request-The application was filed for approval of a **Final Plat** for the Martinwood Addition Replat of Lot 3.

### **BACKGROUND**

This application was filed for a replat of Lot 3 in Martinwood Addition. Lot 3 is an existing vacant lot with dimensions of 150' x 152' for a total lot area of 22,800 square feet. The replat application was filed to create two new lots, and results in the following lot sizes:

Lot 1A- 75' x 152'=11,400 square feet

Lot 1B- 75' x 152'=11,400 square feet

The existing R-1 Single-Family Residence District requires a 70' x 120', 8400 square foot minimum lot size. The proposed lots exceed the 8,400 square foot minimum lot size of the R-1 District.

### **PROPOSED FINAL PLAT**

The Final Plat meets all requirements of the Unified Development Code (UDC).

*Access/Streets*-No new right-of-way is dedicated with the final plat. The two proposed lots will have access from existing Harris Avenue. Right-of-way permits for driveways will be reviewed with building permit applications.

*Easements*-The final plat includes appropriate language for public utility easements.

*General Plat Information*-The plat includes all required general information including the legal description, lot numbers and dimensions, right-of-way designation, signature certificates, and surveyor credentials.

### **STAFF RECOMMENDATION**

The staff recommends approval of the application for the Martinwood Addition Replat of Lot 3. The plat meets all final plat requirements of Section 36.35 of Unified Development Code.

The recommendation is subject to the following conditions:

1. The Final Plat for the Martinwood Addition Replat of Lot 3, by Bryan Hill is approved as submitted.
2. The final plat shall be recorded within one year of City Council approval or the approval of the plat shall be considered null and void.

### **PLANNING COMMISSION ALTERNATIVES**

1. Motion to **approve** a Final Plat for Martinwood Addition Replat of Lot 3.
2. Motion to **deny** a Final Plat for the Martinwood Addition Replat of Lot 3.
3. Motion to continue the application pending additional information.

**SECTION IV.**  
**REZONING – 210 & 212 MILL STREET**

**REZONING  
210-212 MILL STREET  
BELTON PLANNING COMMISSION  
MONDAY, AUGUST 16, 2021 – 6:00 P.M.  
CITY HALL ANNEX BUILDING – 520 MAIN STREET**

**APPLICATION**

*Applicant/Owner-Andrea Pautz/Lucky 1 LLC.*

*Location-The property is located at 210 and 212 Mill Street.*

***Request-The application was filed for approval of a Rezoning from the existing R-1 Single-Family Residence District to a R-2 Two-Family Residential District.***

**BACKGROUND**

This application was filed for a rezoning from the existing R-1 Single-Family Residence District to a R-2 Two-Family Residential District.

The subject property is developed with an existing two-family duplex building. This structure is considered legal non-conforming in the existing R-1 zoning district. With this non-conforming designation, the property can be used and maintained as a duplex residence. However, Section 20-31 of the Unified Development Code (UDC) states that:

***If a nonconforming building or structure is damaged or destroyed by fire, explosion, flood, or other means that is not within control of the property owner or tenant to an extent of more than 60 percent of the assessed value of the building or structure, it may not be reestablished except in conformance with the provisions of this Code, and any associated use must also comply with this Code.***

It should be pointed out that this is standard non-conforming wording used in zoning administration.

The applicant recently attempted to refinance a mortgage for the property. The refinance application was denied as the lender would not commit financing considering this non-conforming provision on rebuilding the structure in the event of damage more than 60 percent.

**REZONING CRITERIA/FINDINGS OF FACT**

The Unified Development Code, Section 20-3, provides certain approval criteria that must be addressed with a rezoning application. These criteria are summarized below, with analysis for consideration of the Planning Commission:

***(1) The character of the surrounding neighborhood, including the existing uses and zoning classification of properties near the subject property.*** The properties along Mill Street are primarily single-family homes. There is a two-family duplex immediately west of the site. A church is south of the property. There is R-2 zoning 170 feet to the north, and R-3 zoning east of the site.

Rezoning-210/212 Mill Street

(2) Consistency with the goals and objectives of the Comprehensive Plan. The Future Land Use Map of the Comprehensive Plan designates this area as single-family residential.

(3) Suitability of the subject property for the uses permitted under the existing zoning district. The duplex use of the property is not permitted in the existing single-family classification. While the non-conforming provisions of the UDC allow the duplex to continue to be used, it cannot be rebuilt if damaged more than 60 percent of assessed valuation.

(4) The trend of development near the subject property, including changes that have taken place in the area since the subject property was placed in its current zoning district. There is no recent trend of development in this area. The immediate neighborhood includes single-family zoning areas, and there is R-2 zoning 170 feet north of the subject property. Also, there is an area of R-3 zoning 400 feet east of the site. This helps indicate that there are a variety of zoning classifications nearby and that the proposed R-2 zoning is not inappropriate for the area.

(5) The extent to which the zoning amendment may detrimentally affect nearby property. The proposed rezoning would only serve to make the existing duplex conforming. The rezoning would not provide for any new development or change in the neighborhood that would adversely affect nearby property.

#### **STAFF RECOMMENDATION**

The staff recommends approval of the request for a rezoning of the property at 210-212 Mill Street.

#### **PLANNING COMMISSION ALTERNATIVES**

1. Motion to **approve** a rezoning of 210-212 Mill Street.
2. Motion to **deny** a rezoning of 210-212 Mill Street.
3. Motion to continue the application for further information.

#### **ATTACHMENTS**

1. Location Map/existing zoning.

# Location Map



8/13/2021, 11:49:49 AM  
Aerial\_MARC\_2020\_6in.tif

Zoning: R-2: Two-Family R-3: Multiple Family  
Streets Belton\_Parcels

1:1,128  
0 0.01 0.02 0.03 0.04 mi  
0 0.01 0.02 0.03 0.06 km

Maxar, Microsoft, Esri Community Maps Contributors, Kansas City, MO, Missouri Dept. of Conservation, Missouri DNR, BuildingFootprintUSA, Esri, HERE, Garmin, SafeGraph, INCREMENT P, METNUSA, USGS, EPA, NPS, US Census  
Maxar, Microsoft, Esri Community Maps Contributors, Kansas City, MO, Missouri Dept. of Conservation, Missouri DNR, BuildingFootprintUSA, Esri, HERE, Garmin, SafeGraph, INCREMENT P, METNUSA, USGS, EPA, NPS, US Census  
ArcGIS Web AppBuilder

**SECTION V.**  
**FINAL DEVELOPMENT PLAN – DUTCH BROS**  
**COFFEE**

**FINAL DEVELOPMENT PLAN  
DUTCH BROS COFFEE  
BELTON PLANNING COMMISSION  
MONDAY, AUGUST 16, 2021 – 6:00 P.M.  
CITY HALL ANNEX BUILDING – 520 MAIN STREET**

**APPLICATION**

*Applicant:* Coralic Architecture/Edin Coralic

*Property Owner-* North Cass Development, LLC. /John Evans

*Architect-* Coralic Architecture/Edin Coralic

*Location-* The property is located at 1733 East North Avenue, at the entrance of North Cass Shopping Center.

*Request-* **The application was filed for approval of a Final Development Plan to permit the development of Dutch Bros Coffee.**

**BACKGROUND**

This application was filed for a Final Development Plan for a Dutch Bros Coffee. Dutch Bros is the country's largest privately held, drive-thru coffee company, with over 450 locations and 10,000 employees in eleven states. The store is primarily a drive-thru facility, with a related walk-up window. Hours of operation are from 5:00am to 11:00pm, seven days a week. The company "is a fun-loving, mind-blowing company that makes a massive difference one cup at a time."

For additional information about the company, please see the website link below:

<https://www.dutchbros.com>

The property is zoned as C-2 General Commercial District. A drive through facility is a permitted use in this zoning district, with certain conditions pertaining to drive-through lanes and vehicle stacking.

**FINAL DEVELOPMENT PLAN**

The subject property is a .5-acre parcel on East North Avenue. The property is the former location of Sheridan's Custard. The existing building will be demolished to make way for construction of the proposed 950-square foot Dutch Bros.

Access to the site would be from existing private entrance driveways to the shopping center, no new access is proposed to East North Avenue.

*Compliance with C-2 Standards of the Unified Development Code (UDC):*

The plan generally meets all requirements of the C-2 General Commercial District, with requests for three code exceptions. The C-2 district is intended to provide mid-size retail and commercial businesses along commercial corridors.

Required Yards/Setbacks:

Front yard- 30-foot required setback. 76-foot setback proposed.

Rear yard- 20-foot setback required. 35-foot setback proposed.

Side yard- 10-foot setback required. The east and west side yards exceed requirements.

Maximum Building Height- 35-foot maximum. 10 feet to top of canopy, 24 feet to top of parapet.

Maximum Building Coverage- 25% maximum. 5% proposed building coverage.

Required Open Space- 20% of total land area required. 11.7% open space provided. The applicant is requesting an exception to this open space requirement.

Parking/Drive-Through requirements: The UDC requires that parking for a restaurant be calculated based on seating capacity and indoor customer service area. This drive-through coffee shop has no seating or customer service area. It should be noted that the final development plan includes 23 existing parking spaces east of the drive-through lanes. These parking spaces are part of the final development plan and are sufficient for the parking needs of walk-up customers.

Additionally, the UDC seeks to reduce conflicts between vehicle stacking lanes and pedestrian crosswalks. The site plan provides for a pedestrian crosswalk across the two stacking lanes, to provide walk-up access from the parking area to the east. To utilize these existing parking spaces for walk-up traffic, the conflict with the crosswalk cannot be avoided.

The applicant is requesting an exception for this vehicle stacking/crosswalk conflict.

Other site data can be found on Sheet C1.0.

*Building Design:* The UDC requires all new commercial buildings to include 50 percent masonry on the front and side elevations, with articulation and offsets to add architectural detail on all four sides. The primary materials on the building are brick veneer and cement board panel siding.

Building wall plane offsets, canopies, and variable the roof height provides the required building design features of the UDC.

This design and building materials meet the requirements of the Unified Development Code.

There is a trash enclosure on the plan. The enclosure will be constructed of masonry materials to match the building, with and appropriate screening/landscaping. All rooftop mechanical equipment is screened by the parapet walls.

Final Development Plan-Dutch Bros Coffee

*Landscaping:* A landscape plan was submitted with the Final Development Plan. The plan provides 11.7 percent open space, and this does not meet the required 20 percent total landscape area. The applicant explains that the property owner would not permit additional site modifications to increase open space on the parcel.

The landscape plan provides the required shade trees, parking lot landscaping, and street trees.

*Streets/access:* As noted, access is provided to the site from existing private driveways. There is no new access proposed for East North Avenue.

*Utilities:* Staff has reviewed the utility plan and determined that the plan provides adequate public facilities.

*Lighting/Photometric Plan:* A revised photometric plan was submitted after review of the initial plan. This plan provides zero footcandles at the property line, meeting the lighting standards of the UDC. However, the applicant would like to consider a revised lighting plan that provides increased light levels at the rear trash enclosure. This can be done with the building permit submittal.

#### **STAFF RECOMMENDATION**

The staff recommends approval of the request for a Final Development Plan for Dutch Bros Coffee, as noted in the staff report and shown on the development plan. The recommendation is subject to the following conditions:

1. The Final Development Plan for Dutch Bros. Coffee is hereby approved, as shown on FDP drawings by Cole Engineering and Edin Coralic, Architect, dated 7/29/2021, subject to additional conditions.
2. Exceptions to code requirements for open space, pedestrian crosswalks and light levels at the trash enclosure are approved as shown on the Final Development Plan.
3. The parking area east of the building shall be seal-coated and striped as part of the development plan.

#### **PLANNING COMMISSION ALTERNATIVES**

1. Motion to **approve** a Final Development Plan for Dutch Bros Coffee.
2. Motion to **deny** a Final Development Plan for Dutch Bros Coffee
3. Motion to continue the application for further information.

#### **ATTACHMENTS**

1. Final Development Plan (11 pages)
2. Colored Perspective Drawing
3. Applicant's Narrative
4. Area Map

**FINAL DEVELOPMENT PLAN  
1733 EAST NORTH AVE.  
BELTON, MO**

EXISTING

LIGHT DUTY CONCRETE

HEAVY DUTY CONCRETE

LIGHT DUTY ASPHALT

HEAVY DUTY ASPHALT

## LANDSCAPING

HERRINGBONE CONCRETE  
CROSSWALK

PARKING COUNT

SPOT GRADE

SWALE/SLOPE INDICATOR

## STORM STRUCTURE

### LIGHT STRUCTURE

TRANSFORMER

BM#1- "L" CUT AT THE NORTHWEST CORNER OF CONCRETE PAD FOR TRAFFIC CONTROL BOX LOCATED ALONG THE SOUTH RIGHT OF WAY LINE OF E. NORTH AVENUE LOCATED 52 FEET WEST OF THE CENTERLINE OF SHOPPING CENTER ENTRANCE, IN FRONT OF 1733 E. NORTH AVENUE. ELEVATION = 1083.66

BM#2- SQUARE CUT ON BASE OF LIGHT STANDARD LOCATED 38 FEET EAST OF THE REAR COMMON CORNER OF 1731 AND 1733 E. NORTH AVENUE, ELEVATION = 1083.79

## REVISIONS

		1	2	3	4	5	6	7	8	9
C1.0	COVER SHEET									
C2.0	SITE PLAN									
C3.0	GRADING PLAN									
C4.0	UTILITY PLAN									
L1.0	LANDSCAPE PLAN									
L2.0	LANDSCAPE DETAILS									

A TRACT OF LAND BEING PART OF LOT 1, BLOCK 4 CORRECTED REPLAT NO. 1 - KANSAS CITY - BELTON COMMERCIAL - INDUSTRIAL PARK

A REPLAT OF A PART OF KANSAS CITY - BELTON LOTS 13, 14, 15, & 16  
SITUATED IN SECTION 18, TOWNSHIP 46 NORTH, RANGE 32 WEST IN THE CITY OF BELTON,  
CASS COUNTY, MISSOURI

**LOCATION MAP**  
(NOT TO SCALE)

OWNER	=	DUTCH BROS COFFEE
SITE ADDRESS	=	1733 EAST NORTH AVE., BELTON, MO
SITE ACREAGE	=	0.62±
DISTURBED LAND	=	0.30±
EXISTING ZONING	=	"C-2"
PARCEL ID	=	04-04-18-000-000-033.001

SEWER SERVICE	=	CITY OF BELTON CITY HALL ANNEX 520 MAIN STREET BELTON, MO 64012 PHONE: 816-331-4331	GAS SERVICE	=	SPIRE ENERGY 700 MARKET ST. ST. LOUIS, MO 63101 PHONE: 314-342-0500
WATER SERVICE	=	CITY OF BELTON CITY HALL ANNEX 520 MAIN STREET BELTON, MO 64012	ELECTRIC SERVICE	=	EVERGY 1200 MAIN STREET PO BOX 418679 KANSAS CITY, MO 64141-9679
			STORM SERVICE	=	CITY OF BELTON CITY HALL ANNEX 520 MAIN STREET BELTON, MO 64012

OWNER DUTCH BROS COFFEE  
P.O. BOX 1929  
GRANTS PASS, OR 97528  
(541) 955-4700  
CONTACT: JEFFERY BENNETT

DEVELOPER DUTCH BROS COFFEE  
P.O. BOX 1929  
GRANTS PASS, OR 97528  
(541) 955-4700  
CONTACT: JEFFERY BENNETT

CIVIL ENGINEER

COLE & ASSOCIATES, INC.  
2701 E CAMELBACK ROAD, SUITE 175  
PHOENIX, AZ 85016  
(602) 795-4111  
CONTACT: JOHN MCGHEE

ARCHITECT CORALIC, LLC  
2643 CAROUSEL DRIVE  
ST. LOUIS, MO 63125  
(314) 578-4953  
CONTACT: EDIN CORALIC

SURVEYOR COLE & ASSOCIATES, INC.  
401 SOUTH 18TH STREET, SUITE 200  
ST. LOUIS, MO 63103  
(314) 984-9887  
CONTACT: TOM REYNOLDS

LANDSCAPE ARCHITECT

COLE & ASSOCIATES, INC.  
401 SOUTH 18TH STREET, SUITE 200  
ST. LOUIS, MO 63103  
(314) 984-9887  
CONTACT: JEREMY ROACH

**PHOENIX**  
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21-0027

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C1.0

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## KEYED NOTES

1. ALL IMPROVEMENTS ARE PARALLEL AND PERPENDICULAR TO THE WEST PROPERTY LINE UNLESS DIMENSIONED OTHERWISE.

### NEW STRUCTURES

10. NEW DUTCH BROS BUILDING.
11. NEW DUMPSTER ENCLOSURE.
12. NEW DUTCH BROS AWNING.
13. NEW DUTCH BROS PILLARS.

### NEW CURBS

20. NEW CONCRETE CURB AND GUTTER.
21. NEW VERTICAL CONCRETE CURB.

### NEW PAVEMENTS

30. NEW ASPHALT PAVEMENT (LIGHT DUTY).
31. NEW ASPHALT PAVEMENT (HEAVY DUTY).
32. NEW CONCRETE PAVEMENT (LIGHT DUTY).
33. NEW STAMPED HERRINGBONE PATTERN CONCRETE, RED IN COLOR, REFER TO ARCHITECT PLANS FOR DETAILS.

### NEW SIDEWALKS

41. NEW CONCRETE SIDEWALK.
42. NEW MODIFIED SINGLE WING CURB RAMP (TYPE A) PER C.O.B. DETAIL.
43. NEW MODIFIED DOUBLE WING CURB RAMP (TYPE A) PER C.O.B. DETAIL.

### NEW SIGNS

50. NEW 6" BOLLARD(S).
51. NEW ACCESSIBLE PARKING SIGN.
52. NEW DRIVE-THRU CLEARANCE BAR.
53. NEW SINGLE MENU BOARD.
54. NEW DOUBLE MENU BOARD.
55. NEW STOP SIGN.
56. NEW PEDESTRIAN CROSSING SIGN.
57. NEW EXIT ONLY SIGN.
58. NEW DRIVE-THRU ENTRANCE SIGN.
59. NEW DUTCH BROS MONUMENT SIGN.

### NEW PAVEMENT MARKINGS

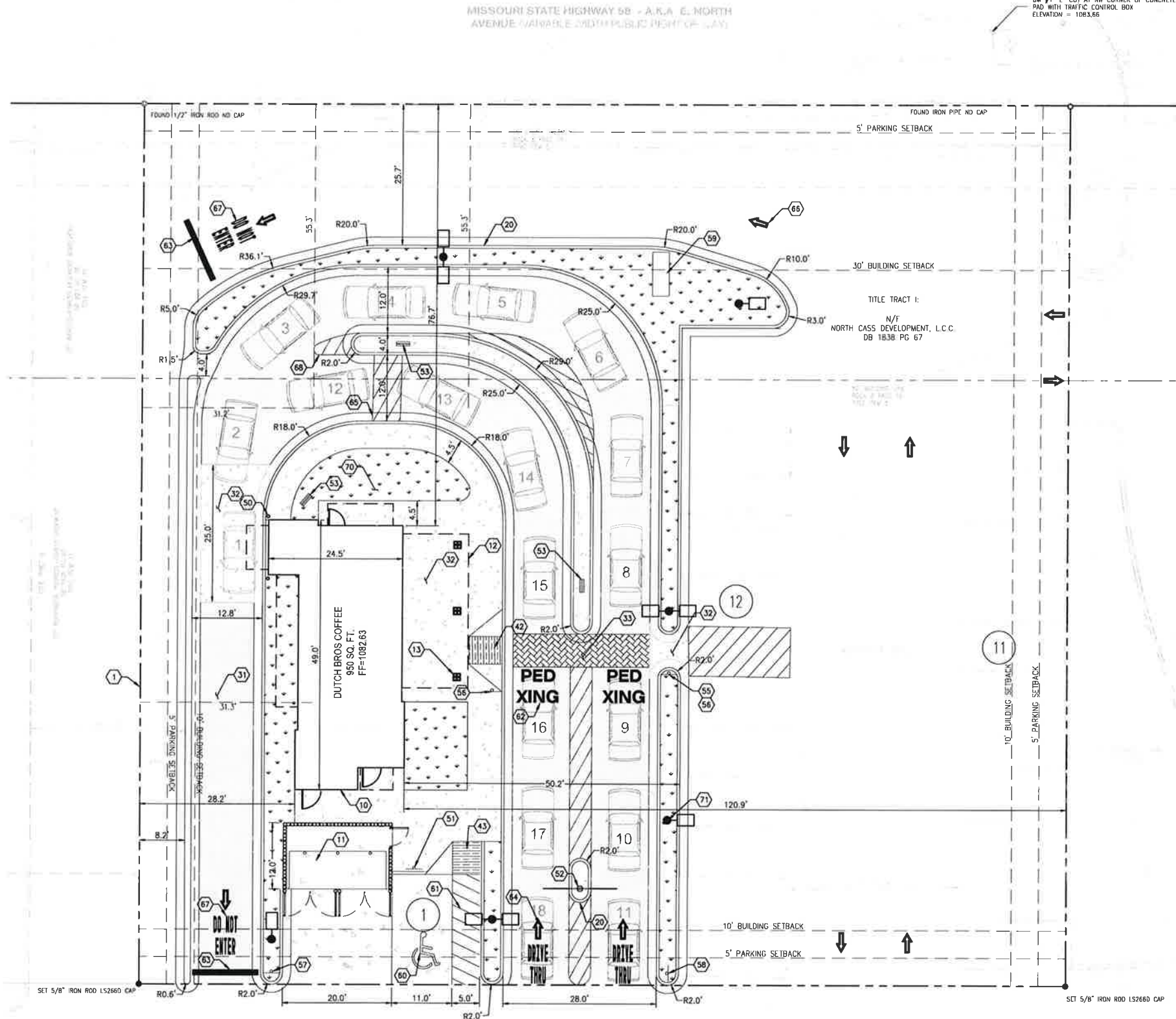
60. NEW PAINTED ACCESSIBLE PARKING SYMBOL.
61. NEW PAINTED AISLE (BLUE).
62. NEW "PEDESTRIAN CROSSING" STRIPING.
63. NEW STOP BAR STRIPING.
64. NEW "DRIVE-THRU" STRIPING.
65. NEW CROSSWALK STRIPING (WHITE).
66. NEW TRAFFIC FLOW ARROW.
67. NEW "DO NOT ENTER" STRIPING.
68. NEW PAVEMENT STRIPING.

### NEW MISCELLANEOUS ITEMS

70. NEW LANDSCAPE AREA. REFER TO LANDSCAPE PLANS.
71. NEW LIGHT STRUCTURE (TYP.). REFER TO ELECTRICAL SITE & PHOTOMETRIC PLAN FOR DETAILS.

## LEGEND

LIGHT DUTY CONCRETE	
HEAVY DUTY CONCRETE	
LIGHT DUTY ASPHALT	
LANDSCAPING	
HERRINGBONE CONCRETE CROSSWALK	



SCALE: 1" = 10'

BM #1 1" CUT AT NW CORNER OF CONCRETE PAD WITH TRAFFIC CONTROL BOX ELEVATION = 1083.66

TITLE TRACT I:  
N/F NORTH CASS DEVELOPMENT, L.C.C.  
DB 1838 PG 67

**Dutch Bros**  
1735 E NORTH AVE  
BELLEVILLE, MO

**COLE**  
CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE  
2701 N. 15th Avenue, Suite 100  
Phoenix, AZ 85016  
(602) 792-4111  
www.coleinc.com

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DUTCH BROS  
P.O. BOX 8929  
GRANTS PASS, OR 97528  
(541) 855-4700

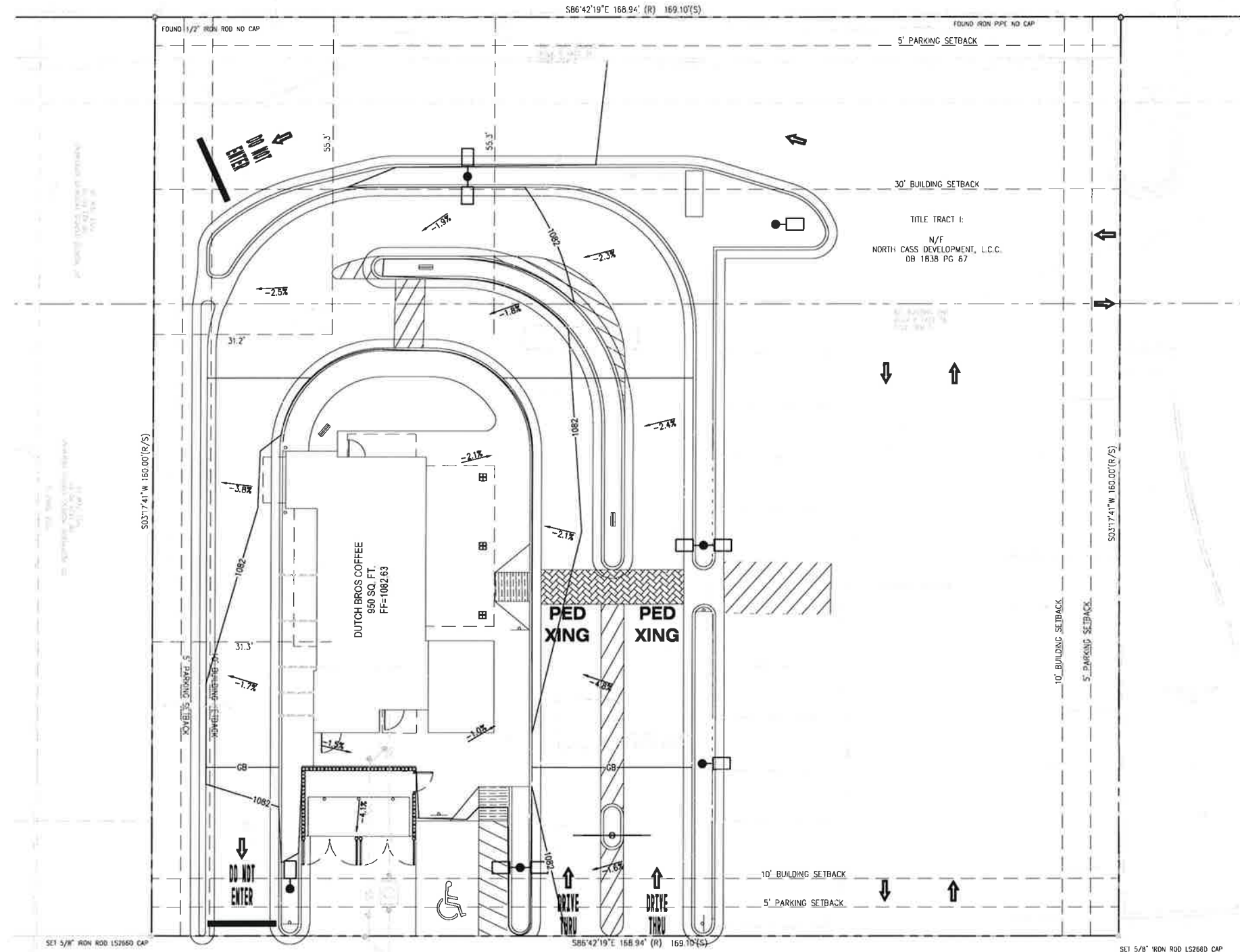
CIVIL ENGINEERS  
CORPORATE  
CERTIFICATE  
#00106  
JULY 28, 2021  
JAMES T. ROHN  
PE NO. C-20003005

SITE PLAN

PHOENIX  
2701 N. 15th Avenue, Suite 100  
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BC	BOTTOM OF CURB FACE
FF	FINISHED FLOOR
HP	HIGH POINT
LP	LOW POINT
ME	MATCH EXISTING
TC	TOP OF CURB FACE



**DUTCH BROS.**  
P.O. BOX 1929  
GRANTS PASS, OR 97528  
(541) 955-4700



## GRADING PLAN

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KEYED NOTES

WATER SERVICE

21. CONNECT NEW WATER SERVICE LINE TO EXISTING WATER SERVICE LINE. (CONTRACTOR TO VERIFY EXISTING WATER LINE LOCATION)  
22. NEW 1-1/2" DOMESTIC WATER SERVICE. FINAL TIE IN LOCATION TO BE VERIFIED BY THE WATER UTILITY.  
23. NEW 1-1/2" DOMESTIC WATER METER AND PIT (PER BELTON CITY STANDARDS).  
24. APPROXIMATE LOCATION OF EXISTING WATER SERVICE LEAD. WATER SERVICE LEAD CONTINUES SOUTH TO CONNECT TO B" WATER MAIN. (CONTRACTOR TO FIELD VERIFY WATER LEAD LOCATION AND DEPTH)

ELECTRIC SERVICE

31. NEW ELECTRIC SERVICE POINT OF CONNECTION.  
32. NEW PRIMARY UNDERGROUND ELECTRIC SERVICE.  
33. NEW ELECTRICAL POINT OF BUILDING ENTRY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND CONTINUATION OF ELECTRIC SERVICE.

SANITARY SEWER SERVICE

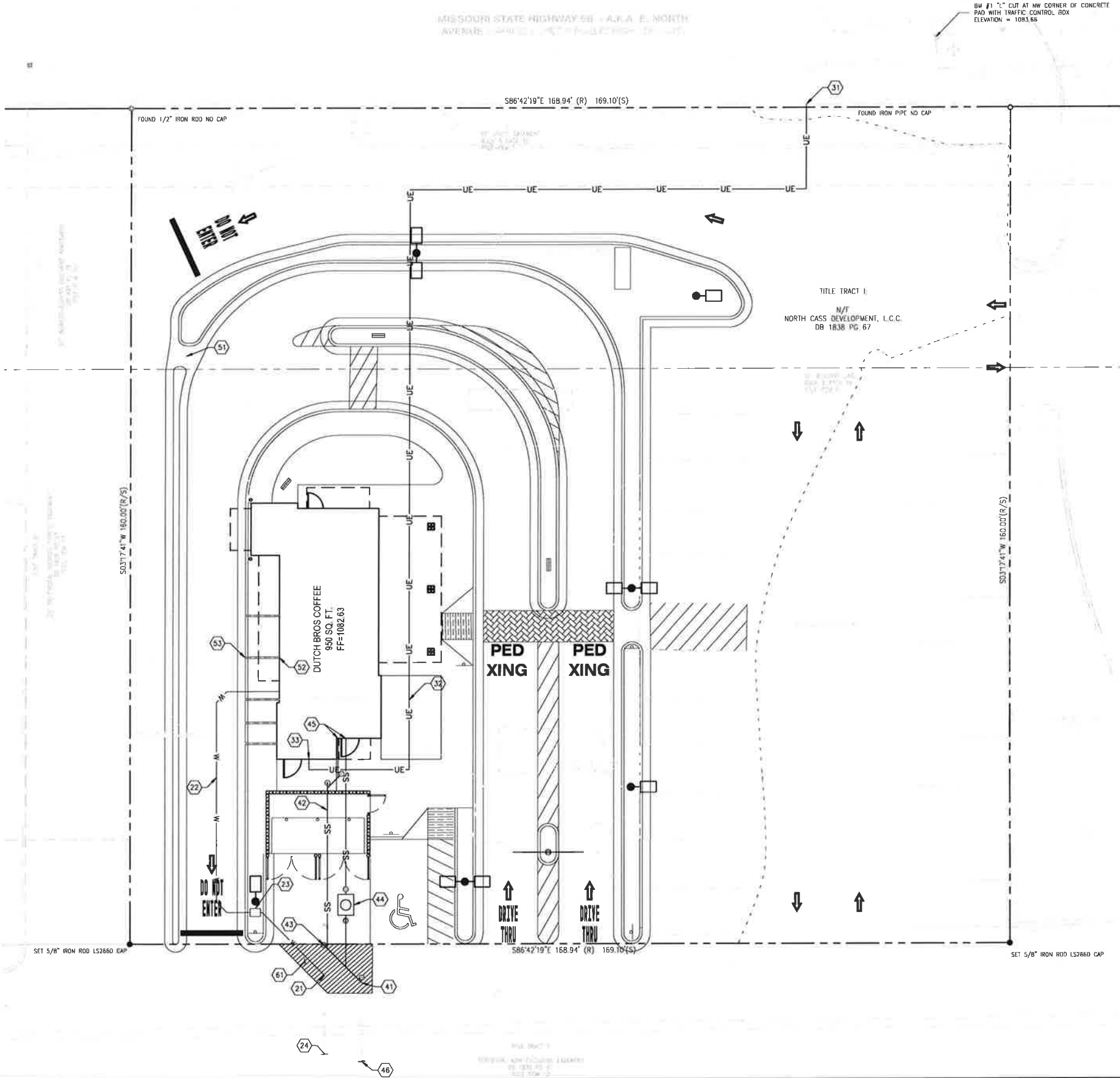
41. CONNECT NEW SANITARY SEWER SERVICE LINE TO EXISTING SANITARY SEWER LINE (PER SANITARY SEWER UTILITY STANDARDS).  
42. NEW 4" PVC SANITARY SEWER SERVICE.  
43. NEW SANITARY SEWER CLEANOUT, TYPICAL.  
44. NEW GREASE TRAP.  
45. NEW SANITARY SEWER POINT OF BUILDING ENTRY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND CONTINUATION OF SANITARY SEWER SERVICE.  
46. APPROXIMATE LOCATION OF EXISTING SANITARY SEWER LATERAL. LATERAL CONTINUES SOUTH TO CONNECT TO B" SANITARY SEWER MAIN. (CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH)

STORM SEWER SERVICE

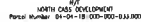
51. NEW STORM SEWER CURB OPENING. REFER TO DETAIL SHEETS.  
52. NEW DOWN SPOUT (TYPICAL).  
53. NEW CURB DRAIN OUTLET (TYPICAL).

MISCELLANEOUS ITEMS

61. REMOVE AND REPLACE EXISTING PAVEMENT IN KIND AS NECESSARY TO INSTALL THE PROPOSED UTILITIES.



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LANDSCAPE AND TREE REQUIREMENTS				
SECTION 22-3 - (b) (1) - PARKING AREA LANDSCAPING INTERIOR PARKING LOT LANDSCAPING				
REQUIREMENT	AREA / MEASUREMENT	REQ'D	PROV'D	
1 SHADE TREE AND THREE SHRUBS FOR EVERY 10 PARKING SPACES	24 PARKING SPACES 24'0" x 24'	3 TREES 9 SHRUBS	3 TREES 9 SHRUBS	
SECTION 22-3 - (b) (3) - PARKING AREA LANDSCAPING PERIMETER PARKING LOT LANDSCAPING				
REQUIREMENT	AREA / MEASUREMENT	REQ'D	PROV'D	
1 SHADE TREE PER 40 LINEAR FEET OF STREET FRONTAGE	NORTH BOUNDARY LINE - ABUTTS MD STATE HIGHWAY 56 AKA E. NORTH AVE 169 L.F./400' x 2	4 TREES	2 EXISTING 2 ORNAMENTAL TREES PROPOSED DUE TO OVERHEAD UTILITY LINES	
SECTION 22-3 - (b) (5) - PARKING AREA LANDSCAPING MONUMENT SIGNS				
REQUIREMENT	AREA / MEASUREMENT	REQ'D	PROV'D	
LANDSCAPE MATERIAL MUST BE INSTALLED ALONG THE BASE OF THE MONUMENT SIGNS CONSISTING OF SHRUBS, PERENNIAL, ANNUAL, FLOWERS, AND OR GROUND COVER REQUIRED AREA MUST BE A MIN. OF 3 FEET WIDE ON ALL SIDES.	SEE PLAN	SEE PLAN	SEE PLAN	

**LANDSCAPE NOTES:**

22. ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.



Diagram illustrating the cross-section of a decorative gravel installation. The layers shown are:

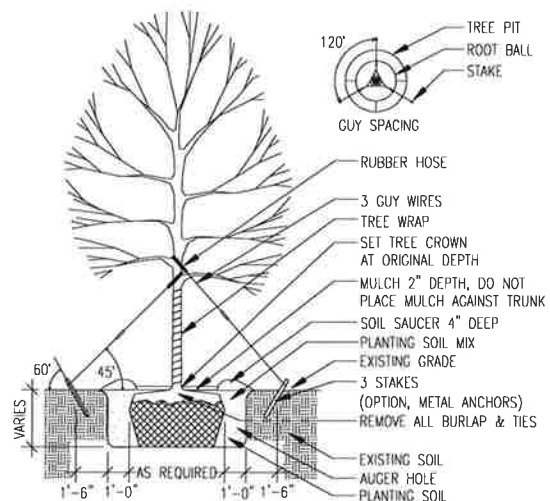
- DECORATIVE GRAVEL 1'-2" COLOR TO MATCH BUILDING
- LANDSCAPE FABRIC
- ADJACENT CONCRETE PAVEMENT OR WALL
- PREPARED SUBGRADE

Dimensions indicated:

- 2'-3" MIN. (Total height of the gravel and fabric layers)
- 1'-0" (Height of the landscape fabric layer)

SCALE: NOT TO SCALE

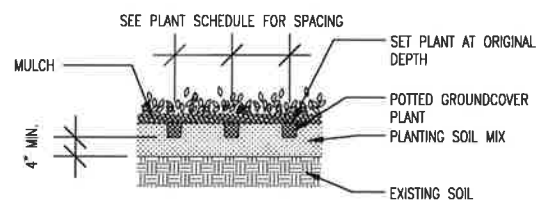
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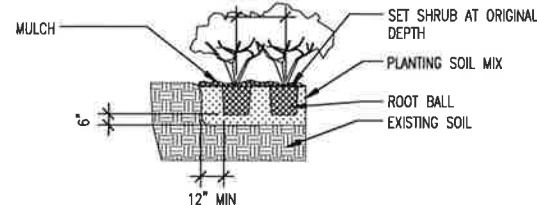
Diagram illustrating a triangular plant spacing pattern (NTS). The diagram shows a grid of plant centers (circles) arranged in rows. The spacing between plants is labeled as 'PLANT SPACING ALL EQUAL OR AS SHOWN ON PLANTING PLAN'. The diagram also indicates 'PLANT CENTER', 'PLANT ROW', and 'PLANT SPACING (NTS)'.



SCALE: NOT TO SCALE

REF. DWG. L1.0

Diagram illustrating a shrub spacing plan. The plan shows a triangular grid of plants. Labels include: PLANT CENTER, PLANT ROW, SHRUB SPACING ALL EQUAL OR AS SHOWN ON PLANTING PLAN, and SHRUB SPACING (NTS).

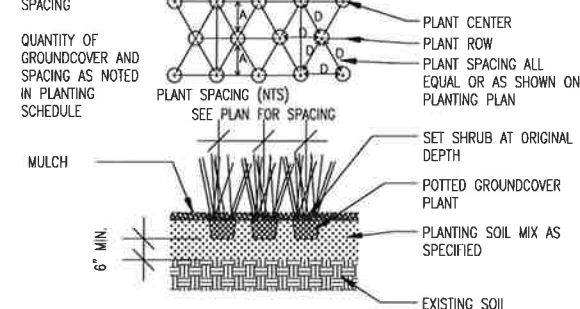


SCALE: NOT TO SCALE

REF DWG 110

QUANTITY OF  
GROUND COVER AND  
SPACING AS NOTED  
IN PLANTING  
SCHEDULE

SPACING	"D" ROW	"A" ROW	NUMBER OF PLANTS PER SQ. FT.
30"	26"		0.160
24"	20.6"		0.25
18"	15.6"		0.450
15"	13.0"		0.640
12"	10.4"		1.00
10"	8.6"		1.44
8"	6.9"		2.25



## SCALE: NOT TO SCALE

REF DWG 110



## LANDSCAPE DETAILS

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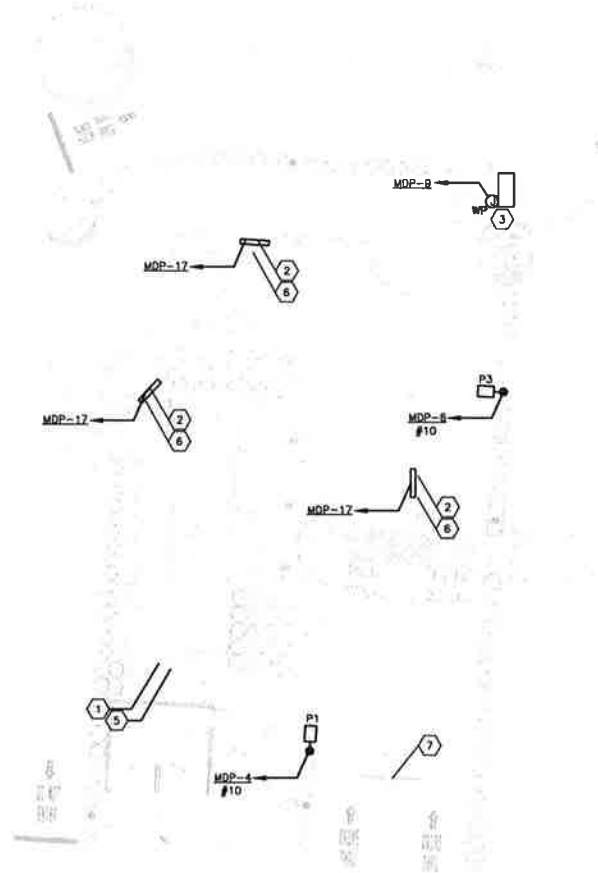
Sheet Number

## L2.0

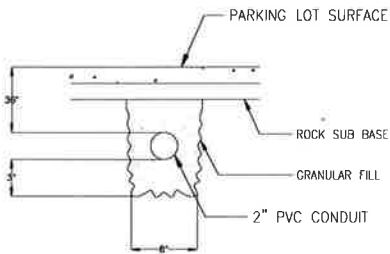
**DUTCH BROS.**  
P.O. BOX 1929  
GRANTS PASS, OR 97528  
(541) 955-4700

ASSUMES RESPONSIBILITY ONLY FOR WHAT APPEARS ON THIS PAGE AND DISCLAIMS RESPONSIBILITY TO SECTION 327, (11) RSMa) ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS, OR OTHER DOCUMENTS OR INSTRUMENTS NOT CITED BY THE UNDERSIGNED PROFESSIONAL RELATING TO OR INTENDING TO BE USED

7/29/2021	2	DEVELOPMENT PLAN RESUBMITTAL
10/10/2021	1	FINAL DEVELOPMENT PLAN



PLAN NORTH  
1 ELECTRICAL SITE PLAN  
1/16" = 1'-0"



3 TRENCHING DETAIL  
SCALE: N.T.S.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Drive Thru	+	1.9%	13.0%	0.0%	N/A	N/A
Parking	+	0.5%	1.7%	0.0%	N/A	N/A
Planing	+	0.9%	1.9%	0.0%	N/A	N/A
Resurfacing	+	0.1%	0.5%	0.0%	N/A	N/A
Grass	+	0.3%	1.0%	0.0%	N/A	N/A



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Footcandle	Lumens Per Lamp	Light Loss Factor	Wattage
L6	L6	1	RAB LIGHTING INC.	WPLED26-WPLED26D10 (WALLPACK) - ALED26S-ALED26D10 (AREA LIGHTER)	CAST FINNED METAL HOUSING, WASHED METAL HEAT SINK, 1 CIRCUIT BOARD WITH 1 LED, MOLDED PLASTIC REFLECTOR WITH SEMI-SPECULAR FINISH, CLEAR FLAT GLASS LENS IN CAST BROWN PAINTED METAL FRAME	ONE WHITE MULTI-CHIP LIGHT (EMITTING DIODE (LED), TILTED 33 DEGREES FROM VERTICAL (BASE UP POSITION) INPUT VOLTAGE TO THE LED DRIVERS (Paras Government, Harbor, Healthcare, Hospitality, Hotel, Industrial, Institutional, Library, Manufacturing, Marine, Medical, Office, Parking, Parks, Pathway, Pedestrian, Pool, Recreation, Residential, Retail, Site, Tunnel, Underpass, Utility, Walkway, Warehouse, Water Treatment, Direct, Emergency, Security)	1	5 ies	3474	0.92	30
L7	L7	4	Set	WPLED26-WPLED26D10 (WALLPACK) - ALED26S-ALED26D10 (AREA LIGHTER)	CHROMA L90-27V 630, 9A110	LED	1	7 ies	4200	0.92	40
L9	L9	4	DMF LIGHTING	DRD5S-4R-10030	DRD5S-4R-10030	LED	1	9 ies	1015	0.92	118
P	P	0	NLS Lighting	NW-1-74-4E-1-40K-LMW-HSS	74 OPTICS WITH BLACK HSS	LED	1	NV(74) ies	9674	0.92	156
P1	P1	1	Lithonia Lighting	DSX0-LED-PS-30K-8LC-MVOLT	DSX0-LED-PS-30K-8LC-MVOLT	LED	1	DSX0-LED-PS-30K-8LC-MVOLT ies	8880	0.92	80
P2	P2	0	Lithonia Lighting	DSX0-LED-PS-30K-14M-MVOLT-NS	DSX0-LED-PS-30K-14M-MVOLT with outside shield	LED	1	DSX0-LED-PS-30K-14M-MVOLT-NS ies	8236	0.92	89
P3	P3	1	Lithonia Lighting	DSX0-LED-PS-30K-15M-MVOLT	DSX0-LED-PS-30K-15M-MVOLT	LED	1	DSX0-LED-PS-30K-15M-MVOLT ies	11266	0.92	89

- KEYED NOTES**
- 1 LOCATION OF UTILITY METER DISCONNECT SWITCH AND CT CABINET. REFER TO "RISER DIAGRAM" ON SHEET E3.01.
  - 2 PROVIDE 120V ELECTRICAL CONNECTION WITH (2) #6 & (1) #8G, IN 2" PVC ROUTED BELOW GRADE FOR DRIVE-THRU BACKLIT MENU BOARD PER MANUFACTURER'S INSTRUCTIONS. CONDUIT SHALL COME UP IN CENTER OF POST. SIGN COMPANY REPRESENTATIVE TO GIVE EXACT LOCATIONS/DIMENSIONS FOR GC TO MATCH. CONTRACTOR SHALL REPAIR EXISTING PARKING SURFACES FROM TRENCHING TO MATCH PREVIOUS CONDITIONS.
  - 3 PROVIDE 120V ELECTRICAL CONNECTION WITH (2) #6 & (1) #8G, IN 2" PVC ROUTED BELOW GRADE FOR NEW MONUMENT SIGN PER REPRESENTATIVE PRIOR TO ROUGH-IN. CONTRACTOR SHALL REPAIR EXISTING PARKING SURFACES FROM TRENCHING TO MATCH PREVIOUS CONDITIONS.
  - 4 NOT USED.
  - 5 LOCATION OF CABLE INTERNET DEMARC
  - 6 PROVIDE 2" CONDUIT W/ PULL STRING 24" BEHIND MENU BOARD TO CHRISTY BOX FOR FUTURE DIGITAL MENU BOARD UPGRADE. COORDINATE W/ SIGN MANUFACTURER.
  - 7 PROVIDE 2" CONDUIT W/ PULL STRING TO CHRISTY BOX BETWEEN "CHOOSE LANE" DIRECTIONAL SIGNAGE AND CLEARANCE BAR FOR FUTURE DRIVE THRU SENSORS.

MIN. DUTCH BROS REQUIREMENTS:  
-SFTC AT BUILDING  
-SFTC AT SITE PARKING  
-SFTC AT TRASH ENCLOSURE

SEE S1.4 FOR POLE BASE DETAIL

- GENERAL NOTES**
1. FOR UTILITY TRANSFORMER, TELEPHONE SERVICE, GAS, WATER, AND SANITARY SEWER LOCATIONS, SEE CML SITE PLAN.
  2. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND COMPLIANCE WITH ALL UTILITY COMPANIES REQUIREMENTS, INCLUDING POWER AND TELEPHONE SERVICES IS EXISTING TO REMAIN. VERIFY REQUIREMENTS WITH UTILITIES PRIOR TO INSTALLATION.

**SITE NOTES**  
WATER LINES, CONDUITS FOR ELECTRICAL, OR OTHER UTILITIES SHALL BE LOCATED 50 AS TO NOT CONFLICT WITH REQUIRED TREE LOCATIONS FOR STREETS AND PARKING LOTS.



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XX.XX.XX

Project No: MO0101  
Dutch Bros Coffee - New Freestanding Store  
DB2550-A2 PROTOTYPE  
MO0101 - 1733 E. NORTH AVE, BELTON MO 64102  
for: Dutch Bros Coffee  
110 SW 4th St.  
Grants Pass, OR 97526

ISSUED FOR FINAL  
DEVELOPMENT :  
07.30.2021

REV. DATE:	DESCRIPTION:

SHEET NAME:

ELECTRICAL  
SITE & PHOTOMETRIC  
PLAN

SHEET NUMBER:

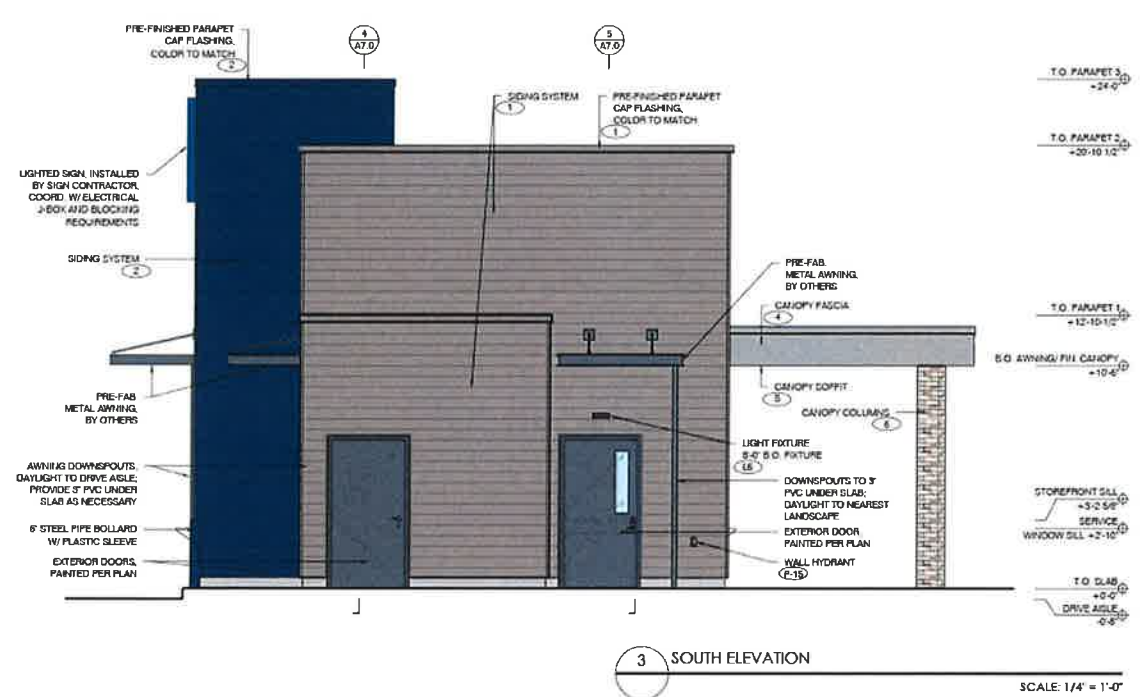
E0.01

SIDING SCHEDULE - PROTOTYPICAL w/ CANOPY

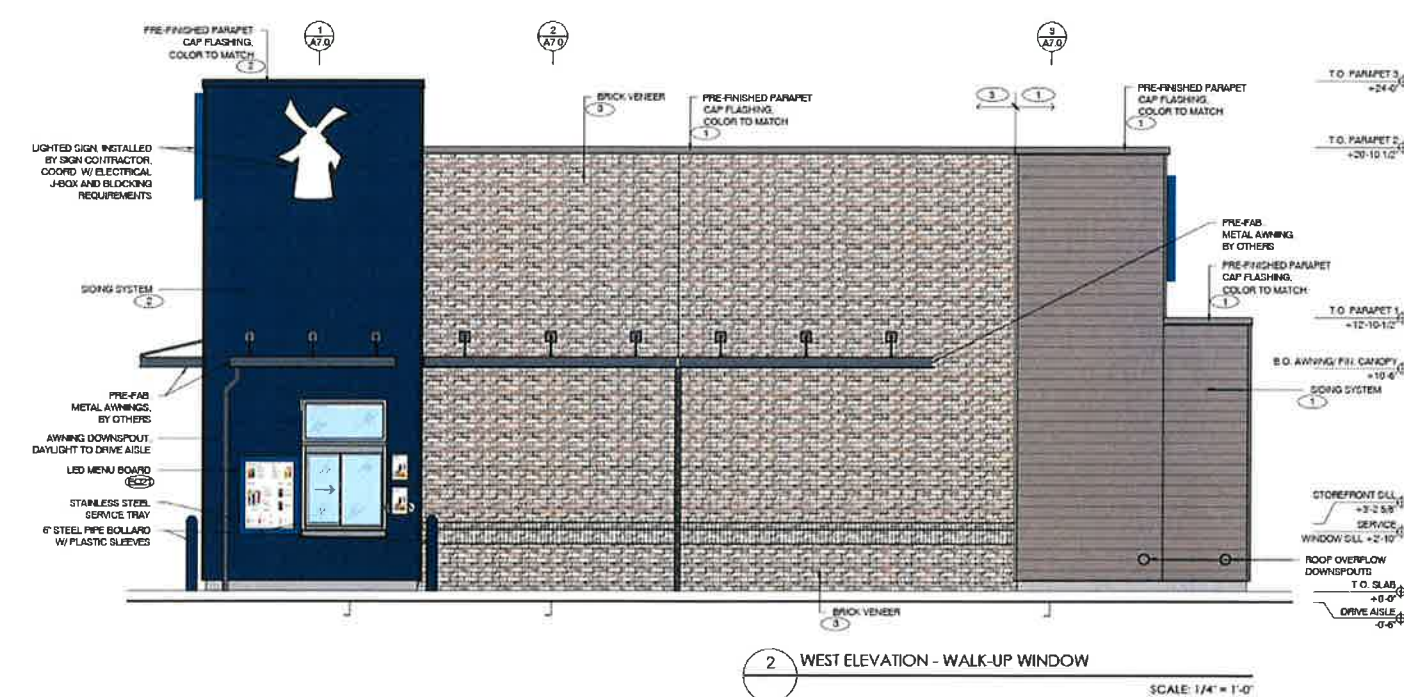
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY) COLOR: VINTAGEWOOD ASH				
1	FIBER CEMENT BOARD PANEL SIDING	NICHIHA	VINTAGEWOOD ASH	ORIENTATION: HORIZONTAL; COLOR: ASH
ZONE 2 (TOWER) COLOR: DB BLUE				
2	FIBER CEMENT BOARD PANEL SIDING	NICHIHA	ILLUMINATION SERIES PANEL	COLOR: FACTORY CUSTOM COATED DB BLUE PANEL AND TRIM
ZONE 3 (BASE AND BODY)				
3	BRICK VENEER	GENERAL SHALE BRICK	FACE BRICK - FULL VENEER MODULAR- 2 1/4" x 3 5/8" x 7 5/8"	COLOR: NIAGARA MIST BY GENERAL SHALE <a href="https://generalshale.com/products/niagara-mist/">https://generalshale.com/products/niagara-mist/</a> INSTALLED IN RUNNING BOND PATTERN
ZONE 4 (FRAMED CANOPY)				
4	CANOPY FASCIA	FIRESTONE BUILDING PRODUCTS	22 GA. METAL FASCIA - FLAT	3 SIDES; COLOR: DB LIGHT GRAY
5	SOFFIT	HEWEN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x6, T&G, 1/8" REVEAL, SEALED
6	COLUMNS	GENERAL SHALE BRICK	FACE BRICK - FULL VENEER MODULAR- 2 1/4" x 3 5/8" x 7 5/8"	COLOR: NIAGARA MIST BY GENERAL SHALE <a href="https://generalshale.com/products/niagara-mist/">https://generalshale.com/products/niagara-mist/</a> INSTALLED IN RUNNING BOND PATTERN
NOTE: PROVIDE 3"x2" SMOOTH DOWNSPOUTS, AND ALL NECESSARY ADAPTORS, AT AWNING AND CANOPY LOCATIONS; COLOR: BLDG DB DARK GRAY				



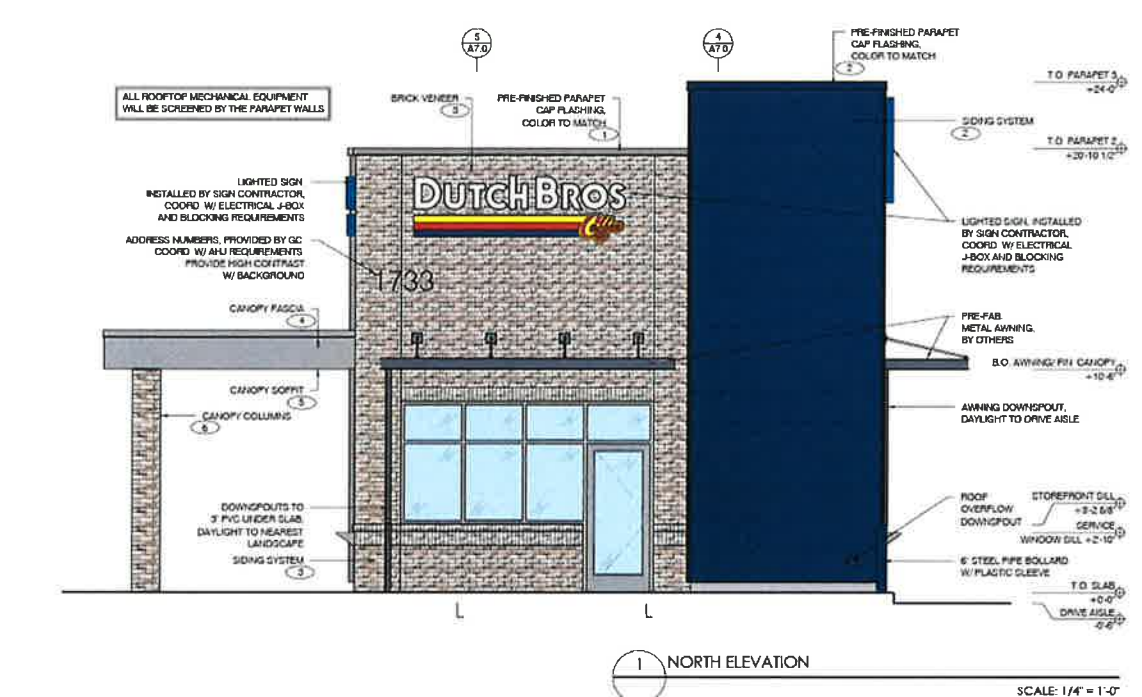
4 EAST ELEVATION - DRIVE-THRU WINDOW  
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION - WALK-UP WINDOW  
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



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EDIN CORALIC ARCHITECT  
A-2013031001 EXP. 12-31-2021



MISSOURI CERTIFICATE OF AUTHORITY NO. 2013041393

Project No: MO0101  
Dutch Bros Coffee - New Freestanding Store  
DB2550-A2 PROTOTYPE  
MO0101 - 1733 E. NORTH AVE. BELTON MO 64102  
for Dutch Bros Coffee  
110 SW 4th St.  
Grants Pass, OR 97526

ISSUED FOR FINAL DEVELOPMENT : 07.30.2021

REV. DATE	DESCRIPTION

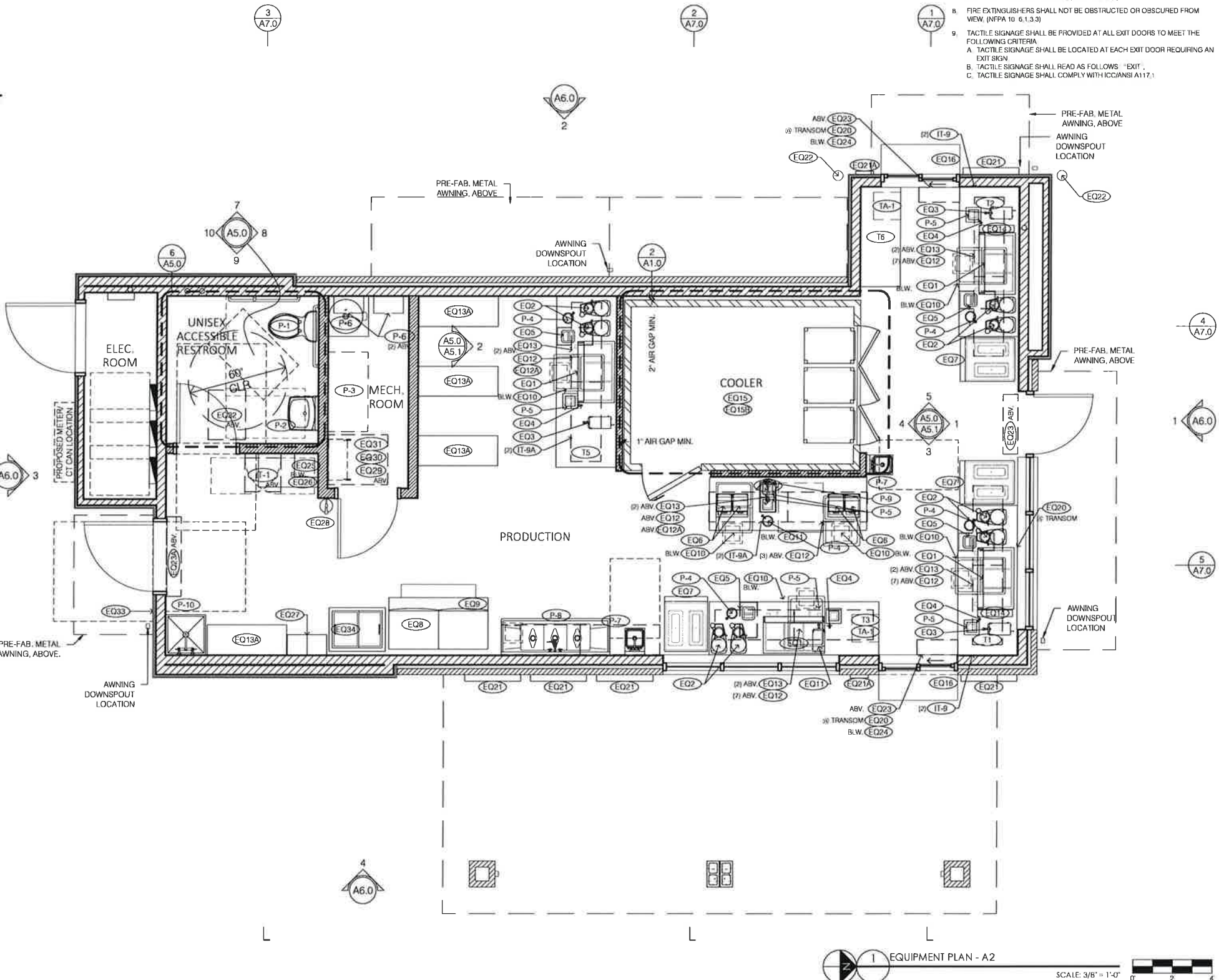
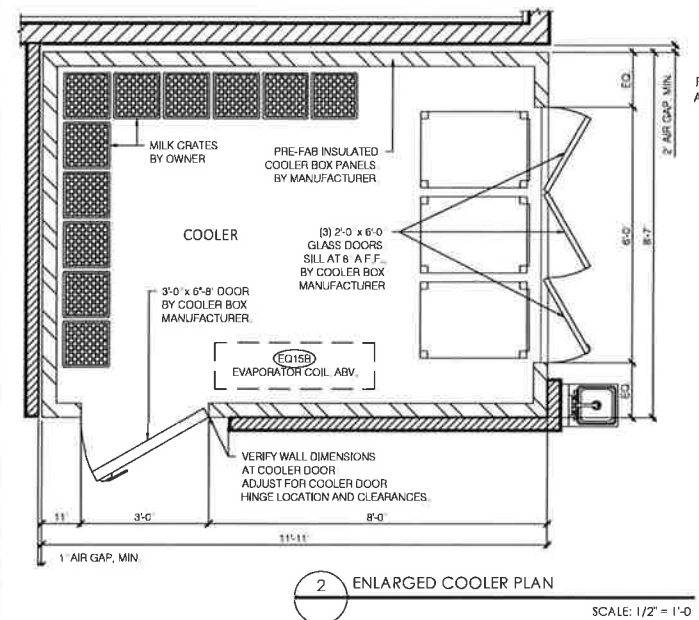
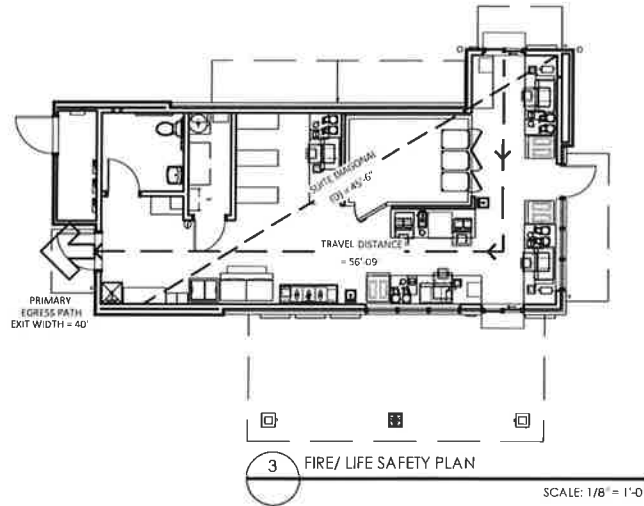
SHEET NAME:

BUILDING ELEVATIONS

SHEET NUMBER:

A6.0

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# COOLER GENERAL NOTES:

1. COOLER INSULATION VALUES FOR WALLS, CEILING, AND DOORS SHALL BE MIN. R-25
2. AUTOMATIC DOOR CLOSERS SHALL BE PROVIDED THAT FULLY CLOSE WALK-IN DOORS THAT HAVE BEEN CLOSED TO WITHIN 1 INCH OF FULL CLOSURE
3. DOORWAYS SHALL HAVE STRIP DOORS, CURTAINS, SPRING-HINGED DOORS OR OTHER METHOD OF MINIMIZING INFILTRATION WHEN DOORS ARE OPEN

# GENERAL NOTES:

1. THIS DRAWING IS FOR EQUIPMENT LAYOUT PURPOSES ONLY. PLEASE SEE FLOOR PLAN FOR FULLY DIMENSIONED PARTITION LOCATIONS AND ASSEMBLIES.
2. NOTE: PLEASE SEE SHEET G1.0, COVER SHEET, FOR CODE SUMMARY, BUILDING DATA AND EXIT ACCESS REQUIREMENTS.
3. G.C. TO VERIFY ALL DIMENSIONS IN THE FIELD BEFORE COMMENCING CONSTRUCTION.
4. ALL FIRE EXTINGUISHERS SHALL BE STATE OF MISSOURI CERTIFIED. ALL FIRE EXTINGUISHERS SHALL BE PROPERLY MOUNTED AT THE HEIGHT REQUIREMENTS OF NO HIGHER THAN 4'-6" A.F.F. TO THE TOP OF THE EXTINGUISHER AND AT LEAST 6" FROM FLOOR TO THE BOTTOM OF EXTINGUISHER (NFPA 10 6.1.3.6)
5. ALL PROPERLY MOUNTED FIRE EXTINGUISHERS SHALL NOT EXCEED 75' OF TRAVEL DISTANCE APART. (NFPA 1 6.1.1)
6. FIRE EXTINGUISHERS SHALL BE CONSPICUOUSLY LOCATED WHERE THEY ARE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE IN THE EVENT OF FIRE (NFPA 10 6.1.3)
7. FIRE EXTINGUISHERS SHALL BE LOCATED ALONG NORMAL PATHS OF TRAVEL INCLUDING EXITS FROM AREAS. (NFPA 10 6.1.3)
8. FIRE EXTINGUISHERS SHALL NOT BE OBSTRUCTED OR OBSCURED FROM VIEW. (NFPA 10 6.1.3.3)
9. TACTILE SIGNAGE SHALL BE PROVIDED AT ALL EXIT DOORS TO MEET THE FOLLOWING CRITERIA:
  - A. TACTILE SIGNAGE SHALL BE LOCATED AT EACH EXIT DOOR REQUIRING AN EXIT SIGN
  - B. TACTILE SIGNAGE SHALL READ AS FOLLOWS: "EXIT"
  - C. TACTILE SIGNAGE SHALL COMPLY WITH ICC/ANSI A117.1



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EDIN CORALIC ARCHITECT  
A-2013031004 - EXP. 12-31-2021



MISSOURI CERTIFICATE OF  
AUTHORITY NO. 2013041393

Project No: MO0101

Dutch Bros Coffee - New Freestanding Store  
DB2550-A2 PROTOTYPE  
MO0101 - 1733 E. NORTH AVE. BELTON MO 64102  
for: Dutch Bros Coffee  
110 SW 4th St.  
Granite Pass, OR 97526

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DEVELOPMENT :  
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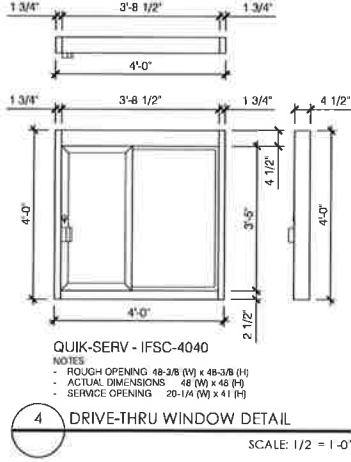
EQUIPMENT/ ENLARGED  
COOLER/ FIRE-LIFE  
SAFETY PLANS

SHEET NUMBER:

A1.0

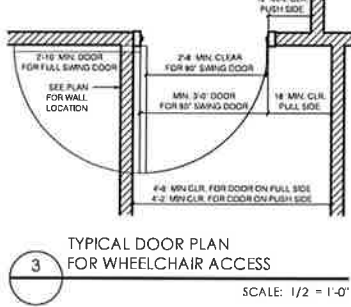
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WINDOW SCHEDULE	
NOTES: - U-FACTOR - FIXED: 0.38 - U-FACTOR - OPERABLE: 0.48 - STOREFRONT SYSTEMS SHALL HAVE A CLEAR ANODIZED ALUMINUM FACTORY FINISH - PROVIDE IMPACT GLASS (HURRICANE GLASS OR SIM.). SEE SPECS.	



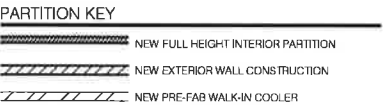
DOOR NOTES	
1. THIS PLAN IS ISSUED SO THAT THE CONTRACTOR CAN MAINTAIN FULL COMPLIANCE WITH THE INTERNATIONAL BUILDING CODE FOR WHEELCHAIR MANEUVERABILITY AT DOORS. THIS DETAIL INDICATES PARTIAL REQUIREMENTS OF THE CODE. IT IS ADVISED THAT THE CONTRACTOR OBTAIN A COMPLETE COPY OF THESE CODES FOR REFERENCE.	
2. THE DIMENSIONS SHOWN ARE CRITICAL FOR COMPLIANCE WITH THE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE PROPER CLEARANCES FOR WHEELCHAIR MANEUVERABILITY. IF CONFLICTS OCCUR, BRING TO DESIGNER'S ATTENTION IMMEDIATELY.	
3. FOR FULL SWING DOORS A MINIMUM 2'-10" WIDE DOOR IS REQUIRED FOR CLEARANCE. FOR 90° SWING DOORS A MINIMUM 3'-4" WIDE DOOR IS REQUIRED FOR CLEARANCE.	
4. IN ORDER TO ACHIEVE THE REQUIRED 12" OR 18" MINIMUM CLEARANCES AT DOOR AND A MINIMUM PASSAGE WIDTH, THE DOOR FRAME AT HINGE SIDE MAY HAVE TO BE AGAINST THE ADJACENT WALL.	
5. THE MAXIMUM EFFORT FOR BOTH INTERIOR AND EXTERIOR DOORS IS 5 LBS. CLOSING SPEED IS 5 SEC. MIN. FROM 90° TO 12°.	
6. 1/2" MAXIMUM HIGH THRESHOLD (ABOVE FLOOR AND LANDING ON BOTH SIDES) AT BUILDING ENTRANCES AND ALL DOORS.	
7. DOOR HARDWARE AT ALL EXIT DOORS TO ALLOW DOORS TO BE OPENED FROM THE INSIDE WITHOUT KEY. SPECIAL KNOWLEDGE OR EFFORT PER APPROPRIATE CODE.	
8. STORAGE FOR ONLY MAIN ENTRY DOORS ALLOWED TO HAVE KEY LOCKING DEVICES TO STATE. THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.	
9. 10" HIGH KICK PLATE AT BOTTOM OF GLAZED AND STOREFRONT DOORS.	
10. ALL DOORS EQUIPPED WITH SINGLE EFFORT, NON-GRASPING TYPE HARDWARE BETWEEN 34" MIN. AND 44" MAX. ABOVE THE FINISHED FLOOR.	
11. WIDTH OF DOORS TO BE A MINIMUM OF 36" TO PROVIDE REQUIRED 32" NET CLEARANCE WIDTH BETWEEN THE FACE OF THE DOOR AND THE JAMB.	
12. ALL DOORS TO BE KEYS AS NOTED. GC TO PROVIDE A TOTAL OF 8 KEYS.	

DOOR SCHEDULE									
#	SIZE		TYPE		GLASS	MATERIAL		HARDWARE	NOTES
	WIDTH	HEIGHT	DR	FR.		DR	FR.		
01	3'-6"	7'-0"	A	1	TEMP.	HM	HMD	GROUP 1	A B C D E F
02	3'-0"	7'-0"	B	2	TEMP.	STOREFRONT		GROUP 2	A B C D E F
03	3'-0"	7'-0"	C	2	-	HM	HMD	GROUP 3	B D F
04	3'-6"	7'-0"	D	1	-	HM	HMD	GROUP 4	B
05	3'-0"	7'-0"	E	2	-	HM	HMD	GROUP 5	B
06	3'-0"	3'-0"	F	3	-	HM	HMD	GROUP 6	B
NOTES:									
HM: HOLLOW METAL, 16 GA.									
HMD: HOLLOW METAL WELDED & DIMPLED									
A: ENSURE EMERGENCY HARDWARE IS IN WORKING CONDITION.									
B: DOOR & FRAME SHALL BE PAINT GRADE & PAINTED DUTCH-BROS GRAY.									
C: DOOR TO HAVE SIGN POSTED ABOVE THAT STATES "THIS DOOR TO REMAIN UNLOCKED WHILE BUILDING IS OCCUPIED."									
D: CLOSER SHALL BE BOLTED THROUGH DOOR LEAF & ARM MOUNTED USING HEAD-JAMB MOUNT.									
E: PROVIDE ADA COMPLIANT THRESHOLD SET IN SILICONE SEALANT.									
F: THE MAX FULLY PUSH EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS. W/ EFFORT APPLIED TO RIGHT ANGLES TO HINGED DOORS.									



FINISH SCHEDULE				
ID TAG	FINISH DESCRIPTION	MANUFACTURER	MODEL	REMARKS
FLOOR				
FF-1	FLOOR COVERING - QUARRY TILE	DALTILE	0Q73, 6"x6" QUARRY TILE - COLOR: BLACK	WWW.DALTILE.COM/PRODUCTS/TILE/SUR
	EPOXY GROUT	MAPEI	KERAPoxy IEG CQ - CHARCOAL	ETREAD-AND-PAVERS/FIELD-TILE/BLACKS
	BOND COAT	MAPEI	ULTRAFLEX LFT	STANDARD/STANDARD
	FLEXIBLE SEALANT	MAPEI	MAPESEIL T	
	PRIMER	MAPEI	PRIMER T	
	FLOOR PATCH	MAPEI	MAPECEM QUICKPATCH	- TENANT IMPROVEMENT PROJECTS -
BASE				
BF-1	WALL BASE - COVE	DALTILE	P-3685, 6"x6", BLACK	SANITARY COVE, SMOOTH
	WALL BASE - COVE TRIM	DALTILE	6"x6", BLACK; PB-3685 - INSIDE CORNER PC(L-R)-3685 - OUTSIDE CORNERS	SANITARY COVE, SMOOTH
WALL				
WF-1	(FRP) FIBERGLASS REINFORCED PANEL	MARLITE	SYMMETRIX W/ SANI-COAT, SYM C100-G44, 4'x10'	COLOR: WHITE; PROVIDE ALL NECESSARY TRIM PIECES
WF-2	1/2" CDX	-	-	COLOR: OUTDOOR LATEX WHITE PAINT
GUARDS				
CG	CORNER GUARD	AS INDUSTRIES	CUSTOM	120" LONG W/ 2" WINGS, DRILLED, 90 DEGREE SHARP CORNER, BRUSHED FINISH
WG	WALL GUARD	AS INDUSTRIES	CUSTOM	48" WIDE, WRAP FROM SERVICE WINDOW SILL TO TOP OF COVE BASE, BRUSHED FINISH
CEILING				
CLG-1	VINYL FACED ACT	USG	3260 - SHEETROCK BRAND LAY-IN CEILING PANEL	FLAT WHITE, SMOOTH
CLG-2	1/2" CDX	-	-	COLOR: OUTDOOR LATEX WHITE PAINT
PAINT				
PT-1	BLDG DB LIGHT GRAY	SHERWIN-WILLIAMS	-	REFER TO SHERWIN-WILLIAMS PAINT SPECS
PT-2	BLDG DB DARK GRAY	SHERWIN-WILLIAMS	-	REFER TO SHERWIN-WILLIAMS PAINT SPECS
PT-3	BLDG DB BLUE	SHERWIN-WILLIAMS	-	REFER TO SHERWIN-WILLIAMS PAINT SPECS

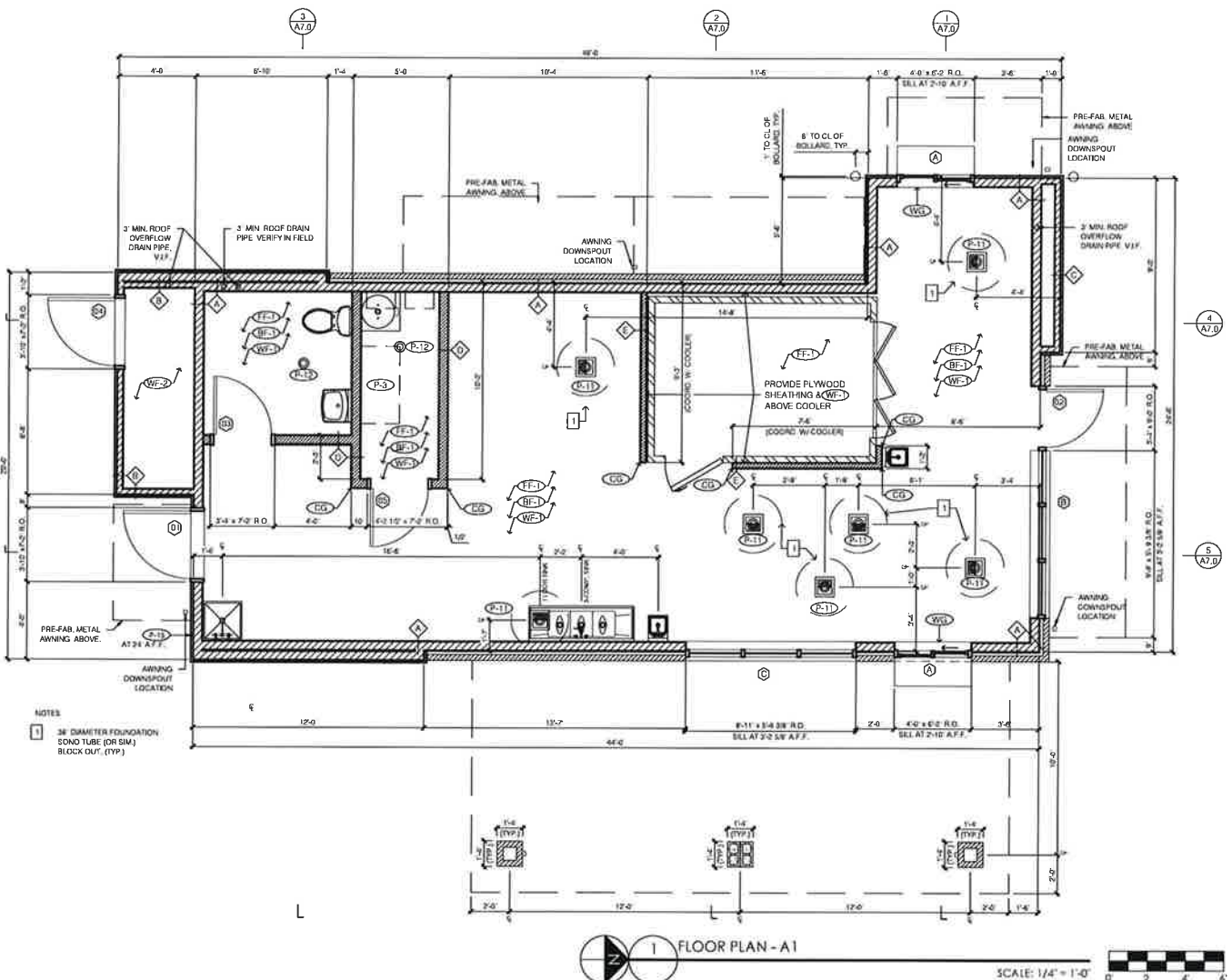
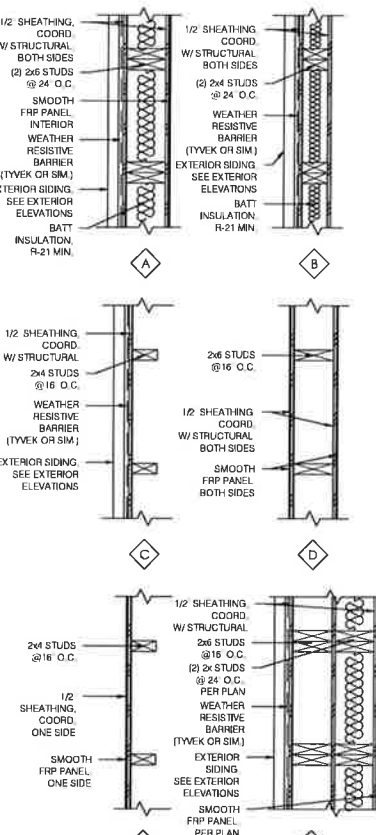
- GENERAL NOTES:
- ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED.
  - G.C. TO VERIFY ALL DIMENSIONS IN THE FIELD BEFORE COMMENCING CONSTRUCTION.
  - ALL INTERIOR FINISHES SHALL COMPLY WITH SECTION 803. INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILINGS SHALL BE TESTED AS SPECIFIED IN SECTION 803.
    - FLAME SPREAD RATINGS
    - WALL TILE - CLASS A - <25
    - WALL PAINT - CLASS A - <25
    - PLASTIC LAMINATE - CLASS A - <25
    - FRP PANELS - CLASS A - <25
    - STAINLESS STEEL CORNER GUARDS - CLASS A - <25
    - CEILING TILE - CLASS A - <25
  - FIRE BLOCKING MUST BE PROVED IN ACCORDANCE WITH SECTION 718.2 AT THE FOLLOWING LOCATIONS:
    - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AT THE CEILING AND FLOOR LEVELS.
    - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AT 10-FOOT INTERVALS ALONG THE LENGTH OF THE WALL.
    - AT THE INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
    - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALL UNDER STAIRS IS UNFINISHED.
    - IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILINGS AND FLOOR LEVELS WITH NONCOMBUSTIBLE MATERIALS.



DOOR TYPE SCHEDULE	
NOTES: 1. REFERENCE DOOR SCHEDULE FOR SIZES AND MATERIALS (TYP) 2. DOOR HARDWARE: CLOSERS, KICKPLATES, PANIC HARDWARE AND THRESHOLDS SHALL BE LOCATED AND INSTALLED PER ACCESSIBILITY AND LOCAL REQUIREMENTS.	

DOOR FRAME TYPE SCHEDULE	
NOTES: 1. REFERENCE DOOR SCHEDULE FOR SIZES AND MATERIALS (TYP)	

HARDWARE GROUPS:	
GROUP 1 1 EA. HINGES PIANO HINGES - CONTINUOUS 1 EA. THRESHOLD PEAKO 2116A 1 EA. DOOR SHOE PEAKO 211APK 1 EA. DOOR SEAL PS074, BLACK 1 EA. FLOOR STOP 1 EA. DOOR CLOSER SARGENT 1431 RUO EN 1 EA. PANIC PUSH HARDWARE 1 EA. 40X30 KICK PLATE, INTERIOR, HAGER 190S, US32D FINISH	GROUP 2 1 EA. HINGES PIANO HINGES - CONTINUOUS 1 EA. THRESHOLD PEAKO 2116A 1 EA. DOOR SHOE PEAKO 211APK 1 EA. DOOR SEAL PS074, BLACK 1 EA. FLOOR STOP 1 EA. DOOR CLOSER SARGENT 1431 RUO EN 1 EA. PANIC PUSH HARDWARE 1 EA. 34X8 KICK PLATE, INTERIOR, HAGER 190S, US32D FINISH
GROUP 3 3 EA. HINGES MCKINNEY T2714 4.5 X 4.5 NRP, FINISH #52 1 EA. DEADBOLT SCHLAGE B571 INDICATOR, 626 SATIN FINISH 1 EA. PUSH PLATE, 626 SATIN FINISH 1 EA. HANDLE PULL, 626 SATIN FINISH 1 EA. DOOR CLOSER SARGENT 1431 RUO EN 1 EA. 34X12 KICK PLATE, INTERIOR, HAGER 190S, US32D FINISH	GROUP 4 3 EA. HINGES MCKINNEY T2714 4.5 X 4.5 NRP, US26D FINISH 1 EA. LOCKSET SCHLAGE L6453 ENTRANCE LOCK SCHLAGE 06 STANDARD HANDLE SATIN FINISH FULL FACE, ESCUTCHION L683-363 EZ TURN 1 EA. THRESHOLD PEAKO 175A-72 1 EA. DOOR SHOE PEAKO 211APK 1 EA. DOOR SEAL PS074, BLACK 1 EA. KICK DOWN IVES FS555 5" BLK FINISH
GROUP 5 3 EA. HINGES MCKINNEY T2714 4.5 X 4.5 NRP, US26D FINISH 1 EA. LOCKSET SCHLAGE L6453 ENTRANCE LOCK SCHLAGE 06 STANDARD HANDLE SATIN FINISH FULL FACE, ESCUTCHION L683-363 EZ TURN 1 EA. THRESHOLD PEAKO 175A-72 1 EA. DOOR SHOE PEAKO 211APK 1 EA. DOOR SEAL PS074, BLACK 1 EA. KICK DOWN IVES FS555 5" BLK FINISH	GROUP 6 2 EA. HINGES MCKINNEY T2714 4.5 X 4.5 NRP, US26D FINISH 1 EA. SCHLAGE J60650 SINGLE CYLINDER DEAD BOLT 1 EA. DOOR SEAL PS074, BLACK



**DUTCH BROS**

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 A-2013031004 - EXP. 12-31-2021

MISSOURI CERTIFICATE OF  
 AUTHORITY NO. 2013041393

Project No: MO0101

Dutch Bros Coffee - New Freestanding Store  
 DB2550-A2 PROTOTYPE  
 MO0101 - 1733 E. NORTH AVE, BELTON MO 64102  
 for: Dutch Bros Coffee  
 110 SW 4th St.  
 Grants Pass, OR 97526

ISSUED FOR FINAL DEVELOPMENT : 07.30.2021

REV.	DATE	DESCRIPTION

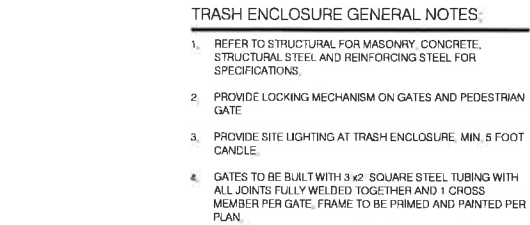
SHEET NAME:

FLOOR PLAN/ DETAILS/ SCHEDULES

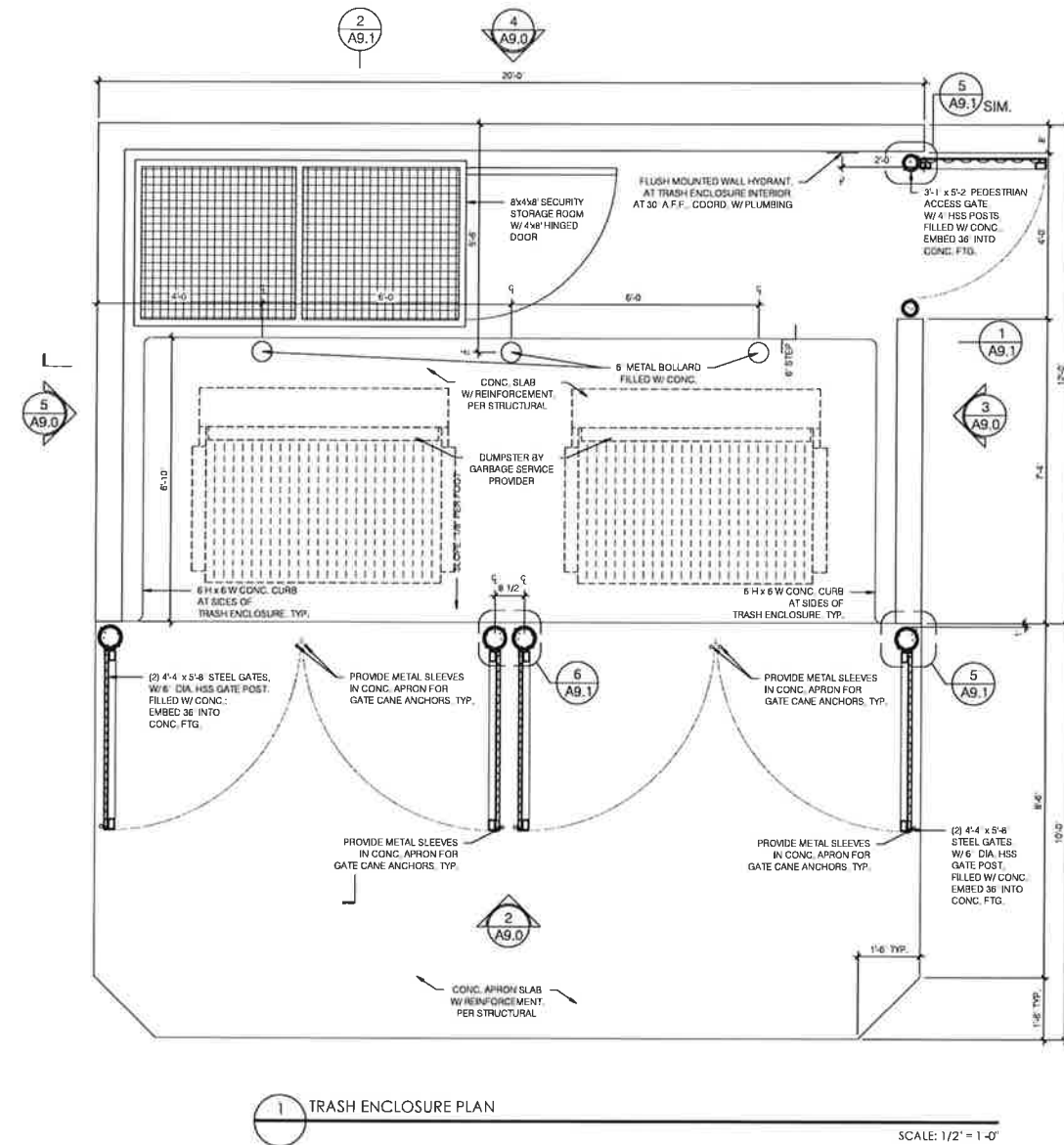
SHEET NUMBER:

**A2.0**

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TRASH ENCLOSURE MATERIALS				
ID	MATERIAL	MANUFACTURER	COLOR	NOTES
2	BRICK ON EXTERIOR	GENERAL SHALE	NAGARA MET	BRICK TO MATCH BUILDING
	CAST STONE CAP	LOCALLY SOURCED	AS SELECTED BY ARCHT	
PT-2	PAINT	SHERWIN-WILLIAMS	=	BLDG DS DARK GRAY, GATES BROWN
PT-3	PAINT	SHERWIN-WILLIAMS	=	BLDG DS BLUE GRAY, FLAMES & POSTS



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EDIN CORALIC ARCHITECT  
A-2013031004 - EXP. 12-31-2021

MISSOURI CERTIFICATE OF  
AUTHORITY NO. 2013041393

**Project No: M00101**  
Dutch Bros Coffee - New Freestanding Store  
DB2550-A2 PROTOTYPE  
M00101 - 1733 E. NORTH AVE, BELTON MO 64102  
for: Dutch Bros Coffee  
1110 SW 4th St.  
Grants Pass, OR 97526

SUED FOR FINAL  
DEVELOPMENT :  
7.30.2021

DATE:	DESCRIPTION:

SHEET NAME:

RASH ENCLOSURE  
PLAN/ ELEVATIONS

SHEET NUMBER: \_\_\_\_\_

## A9.0





Welcome to Dutch Bros! We are so excited to share this journey with you! As a partner, you will be required to introduce Dutch Bros from time-to-time. It is our privilege to provide you with information about Dutch, a few talking points, and even a "script" to help get you started.

The most important thing to know is that we are a **fun-loving**, mind-blowing company that **makes a massive difference** one cup at a time. As our partner and Dutch advocate/proxy, we encourage you to embrace our energy and speak from your heart especially when discussing Dutch and our projects ;-)

### **Operational Info:**

- We are predominantly a drive thru concept but also offer a walk-up window; there is no indoor seating. Occasionally, we offer a few chairs and tables outside. We are pedestrian and bike friendly
- There is no speaker box - we use humans with ipads known as "runners"
- No kitchen, prepackaged food items only
- DB's motto: speed. quality. service. All three are equally important to us (we strive for and often succeed at serving our customers in under a minute at the window)
- We incorporate customized traffic mitigation plans known as "drink runner/line buster plans" (often times, this includes hiring local off-duty police officers)
- Hours of Operation are 5am – 11pm most days; peak hours are 7-9am & 3-5pm
- We open to friends & family within a few days of grand opening
- Super fun fact: We are indeed Bros with a long "o"; go ahead, say it out loud ☺

### **History Information:**

- 25+yrs experience as a drive-thru only concept
- 480+ locations
- ~40 employees per shop
- 14,000+ employees company-wide
- Fun fact: 300 applicants at our first Texas shop

### **Charity Information:**

- 1% of monthly sales from each shop goes to local charities
- In 2020 during a pandemic, Dutch Bros donated over \$7M nationally



SAMPLE SCRIPT:

Hi my name is XXXXX and I **get to** work for Dutch Bros coffee out of Southern Oregon. We are a fun-loving, mind blowing company that makes a difference one cup at a time. DB was started by two Bros in 1992 and have become the largest privately held coffee company in the US. We have over 475 open locations in 11 states and we're on pace to grow to over 800 shops by 2023.

Dutch Bros isn't your traditional "sit down", "quiet place to work" coffee company. We offer an experience from your car in our drive thru or at our walk-up window. We offer Rockin music, lots of smiles and virtual hugs (pandemic, need I say more). We don't use a speaker box for ordering; instead, we use humans with ipads for a more personal experience.

We believe in a compelling future which further cultivates the experience we are known for. It's a non-traditional franchise model where we only grow from within. Our operating partners have to work as a bro-ista and a manager over the course of a few years to qualify. We partner with our operators to coach and spread the culture to each bro-ista to perpetuate the growth and share the love with the community. At over 14,000 employees, we have quite a nice pool of future operators ☺

We believe in being charitable: we give 1% of our shop's monthly sales back to the local community and have several days established to contribute nationally. We're very proud to announce that we gave over \$7M in 2020 to national charities and look forward to making an impact in your community.

As our co-founder and wiseman, Dane says, we're all about love, coffee is just a by-product.



#### HISTORY:

Dutch Bros Coffee was founded in **1992** by Dane and Travis Boersma: brothers of Dutch Descent. After three generations in the dairy business, government regulations pressed the family to sell the cows. What felt devastating turned out to be a blessing in disguise. Dane and Travis bought a double-head espresso machine, threw open the barn doors and started experimenting with just 100 pounds of beans.

Dutch Bros Coffee is now the country's largest privately held, drive-thru coffee company, with over 450 locations and over 10,000 employees in eleven states.

The Love Abounds Foundation was established by Dutch Bros Coffee in 2016 to engage its communities through giving and action. Love Abounds supports programs and projects that build deeper connections through engagement in our Four Core Pillars: Youth, Music, Health, Origins.

Here are a few different Dutch Bros video links for your viewing pleasure that I highly recommend.

Dutch History- <https://vimeo.com/285334679/77ca306373>

Origins Video- <https://vimeo.com/344399714/35a5d591be>

Undercover Boss- <https://www.dailymotion.com/video/x6u3qb>

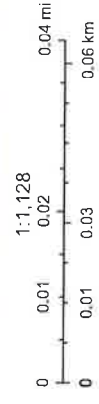
# Location Map



8/13/2021, 11:54:40 AM

Aerial\_MARC\_2020\_6in.tif — Streets

Belton\_Parcels



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