



AGENDA
CITY OF BELTON
PLANNING COMMISSION
MONDAY, APRIL 19, 2021 - 6:00 P.M.
CITY HALL ANNEX, 520 MAIN STREET
www.belton.org/watch

Seating is limited due to social distancing

- I. CALL MEETING TO ORDER**
- II. ROLL CALL**
- III. APPROVAL OF THE MINUTES OF THE MARCH 15, 2021 PLANNING COMMISSION MEETING**
- IV. NON-PUBLIC HEARINGS**
 - A.** Consideration of a Final Plat Replat for Lot 8, Belton Gateway, located on the North side of Turner Road, East of 163rd Street, for the purpose of splitting the existing Lot 8 into Lots 8A and 8B.
 - B.** Consideration of a Final Plat for Traditions 5th Plat located on the North side of Cambridge Road, East of Mullen Road, in the Traditions Planned Unit Development.
 - C.** Consideration of a Final Development Plan to permit the development of McBee's Coffee N' Carwash, located at 510 East North Avenue.
 - D.** Consideration of a Final Development Plan to permit the development of Center 301 Apartments, consisting of 306 units on 17.15 acres located at the Southeast corner of Towne Center Drive and Markey Parkway.
 - E.** Consideration of a Final Plat for Center 301 Apartments, located at the Southeast corner of Towne Center Drive and Markey Parkway.
- V. DIRECTOR'S REPORT**
- VI. NEXT MEETING DATE: To Be Determined**
- VII. ADJOURNMENT**

**SECTION III.
MEETING MINUTES
MARCH 15, 2021**

**Minutes of Meeting
Belton Planning Commission
City Hall Annex, 520 Main Street
March 15, 2021**

<https://www.youtube.com/watch?v=FZ-IS0ws4ds>

CALL TO ORDER

Chairman MacPherson called the meeting to order at 6:00 p.m.

ATTENDANCE

Commission: Chairman MacPherson, Mayor Jeff Davis, Councilman Chet Trutzel, Commissioners Marsha Vest, RJ Warren, and Kara Anderson

Absent: Commissioners Todd Christy, Tim McDonough, and Kelly Monaghan-Bass

Staff: Dave Clements, Planning and Building Director; Madison Smith, Development Technician; Carolyn Yatsook, Economic Development Director; Alexa Barton, City Manager; and Nikia Freiberger, Assistant City Engineer

Guests: Chris Chancellor, NorthPoint Development, 4825 NW 41st St, Suite 500, Riverside, MO 64150; Tim Geary, 15600 White Drive, Belton, MO 64012; Linda McKelvy, 15612 White Drive, Belton, MO 64012; Bianca Kirby, 15616 White Drive, Belton, MO 64012; and Pete Kirby 15616 White Drive, Belton, MO 64012

MINUTES

Councilman Trutzel moved to approve the March 1, 2021 Planning Commission meeting minutes. Commissioner Anderson seconded the motion. All members present voted in favor, and the motion carried.

PUBLIC HEARING – Consideration of a Rezoning from the existing R-3 Multiple Family Residential District to an FCI Flex Commercial/Industrial District and a Rezoning from the existing M-1 Light Industrial District to an FCI Flex Commercial/Industrial District with a Preliminary Development Plan for the properties located at 6107 E. 155th Street and 5901 E. 155th Street, to permit the development of Building 4 in the Southview Commerce Center.

The public hearing was opened at 6:03 p.m. The opening of this public hearing also included the public hearing for item IV, B - *Consideration of a Special Use in an FCI Flex Commercial/Industrial District for warehousing for the property generally located on the South side of East 155th Street.*

Mr. Clements gave a summary of the staff report. The staff report is attached as **Exhibit A**.

Chris Chancellor, NorthPoint Development, 4825 NW 41st St, Suite 500, Riverside, MO 64150 gave a presentation of the project and was present to answer questions.

Tim Geary, 15600 White Drive, Belton, MO 64012 was present to speak against the project. Mr. Geary stated his home is less than five years old and was built as a handicap home for his son in a wheelchair; many of the homes on White Drive are less than five years old. Before deciding to build his home on White Drive, he looked at the zoning in the area and it was zoned residential. Mr. Geary asked the Commission

to please consider the residents who bought homes on White Drive and thought there would be homes behind them because the land was already platted for homes and zoned residential.

Mr. Clements stated there will still be twenty-two homes built in the residential neighborhood to the East of Building 4. Sunset Hills is currently vacant land with fifty-six platted lots. The twenty-two homes will provide a buffer to properties to the East of the project.

Linda McKelvy, 15612 White Drive, Belton, MO 64012 was present to speak against the project. Ms. McKelvy stated she has lived in her home for three years and did not received any notification of the project. While looking at the area, she knew the lots behind her were zoning single family. She expressed her disappointed in the Southview Commerce Center project. Ms. McKelvy stated the building that is currently being built is visible from her dining room window. Ms. McKelvy asked the Commission to consider the impact of nearby property owners, as well as the impact on resources such as Fire, Police, water, and infrastructure. She specified the Outer Road is already deteriorating and there is an increase in traffic on 155th Street and 163rd Street. Ms. McKelvy stated she appreciates a community that wants to grow, but the residents that live in the community need also to be considered.

Mr. Clements stated State stature states property owners within 185 feet from the perimeter of the property must be notified. Many of the homes on White Drive are 900 feet from the perimeter of the property.

Bianca Kirby, 15616 White Drive, Belton, MO 64012 was present to speak against the project. Ms. Kirby built her home four years ago with the assumption homes would be built in Sunset Hills. They now have cracks in their basement. She stated in the original plan NorthPoint was supposed to build five buildings and the plan was changed and there are now three large buildings. She stated she was not prepared for Chewy, building 3, to be such a large building. Southview Commerce Center is not buffered and there are no berms on 155th Street. She stated the berms are a joke and all you can see is the buildings NorthPoint took down trees that were on the fence line, that could have stayed and provided a berm. She asked the Commission how to know they are going to do what they say. She provided that it is hard to get out of their neighborhood and she has almost been hit by the semitrucks trying to turn into Southview Commerce Center. Ms. Kirby brought up concerns regarding the road deteriorating and who would be responsible to pay the costs to fix it. Additionally, she also brought up concerns regarding the City's budget and how the City is committing to help NorthPoint with the water line on Allen Avenue. She believes NorthPoint should be 100% responsible for the infrastructure and widening of the roads and should not get any tax breaks. Ms. Kirby stated she would like the plans to stop changing.

Pete Kirby 15616 White Drive, Belton, MO 64012 was present to speak against the project. Mr. Kirby questioned the Commission how we can guarantee that the plan will be followed. He was told Southview Commerce Center was going to be a certain way and it was changed, including the sidewalks. He stated the berm near the church is really nice, however the berm along Allen Avenue is not nice and is not what they were told was going to occur.

The public hearing was closed at 6:56 p.m. The closing of this public hearing also included the public hearing for item IV, B - *Consideration of a Special Use in an FCI Flex Commercial/Industrial District for warehousing for the property generally located on the South side of East 155th Street.*

The Commission had several questions regarding the private/public partnership for the water line, data on property values decreasing, truck traffic on Allen Avenue, the learning and career center in the corner of Building 4, the assumption that vacant ground will remain vacant ground, the former Century Concrete plant site, the Sunset Hills final plat, and the possibility of waiting for another project to come along as follows:

- Mr. Chancellor stated NorthPoint's cost to replace the water line is approximately \$1 million.
- City staff does not have an assessment information that would provide any data on property values.
- City staff has talked to management at NorthPoint regarding the truck traffic on Allen Avenue and a 'No Truck Traffic' sign is supposed to be posted. Many of the truck drivers are using GPS and their GPS is directing them onto Allen Avenue.
- Metro Community College will put in a job training facility in the corner of building 4.
- When moving next to vacant ground, it is never guaranteed to remain vacant. The zoning on any land can always change to residential or commercial at any time. Change is inevitable.
- The former Century Concrete plant site has been vacant for approximately fifteen years. It was left in a blighted, deteriorating condition.
- In 2005 Sunset Hills was platted and included 53 lots. There has not been any activity or discussion of activity in Sunset Hills. Anyone buying a home in the new subdivision, Southview Residential, will already be aware of Southview Commerce Center and will be able to decide if they would like to live in that subdivision.
- The Commission discussed the possibility of waiting for a different opportunity to come along that included more housing development.
 - Mr. Warren stated he was not sure the timing was correct and was hesitant because of the new jobs that the current buildings are bringing in. The additional jobs could be an opportunity for additional housing. Chairman McPherson pointed out that the property has been vacant for fifteen years without any interest.
 - Commissioner Anderson stated as a realtor she sells many homes that abut to commercial properties and has never had any appraisal issues with homes.

Councilman Trutzel moved to approve the request for the consideration of a Rezoning from the existing R-3 Multiple Family Residential District to an FCI Flex Commercial/Industrial District and a Rezoning from the existing M-1 Light Industrial District to an FCI Flex Commercial/Industrial District with a Preliminary Development Plan for the properties located at 6107 E. 155th Street and 5901 E. 155th Street, to permit the development of Building 4 in the Southview Commerce Center. The recommendation is subject to the following conditions:

1. The rezoning and preliminary plan, and Special Use permit for warehousing, is approved as shown on Southview Commerce Center Preliminary Plat and Preliminary Development Plan, dated 3/2/21 by Sitepoint, LLC.
2. Building elevations, Southview Commerce Center, Building 4 by studioNorth, dated 2/17/21 are approved as part of the Preliminary Development Plan.
3. A Final Development Plan and Final Plat shall be submitted, as required in Section 20.6 of the UDC.
4. A final landscape plan shall be submitted, indicating compliance with the *North Scott Corridor Overlay District + Guidelines*, signed and sealed by a registered Landscape Architect.
5. Stormwater management/detention is preliminarily approved as described in Fourth Plat Micro Drainage Study, by Olsson Associates, March 2021.
6. Revise the driveway location on 155th Street to provide a 100' intersection offset to 153rd Terrace.

7. The shared driveway entrance at Lot 3 shall be reshaped and finished with hardscape materials to prevent sight distance obstructions.
8. A photometric plan for parking lot lighting shall be submitted with the Final Development plan.
9. Details on exterior building lighting shall be submitted with Final Development plans.
10. Trash containers and outside storage shall only be permitted in a warehouse dock location adjacent to a tenant space, in the internal parking and maneuvering areas in-between the buildings.

The motion was seconded by Commissioner Anderson. When a vote was taken, the following was recorded:

Ayes: 6 – Chairman MacPherson, Mayor Jeff Davis, Councilman Chet Trutzel, Commissioners Marsha Vest, RJ Warren, and Kara Anderson

Noes: 0

Absent: 3 – Commissioners Todd Christy, Tim McDonough, and Kelly Monaghan-Bass

The motion carried and will be forwarded to City Council for approval.

PUBLIC HEARING – Consideration of a Special Use in an FCI Flex Commercial/Industrial District for warehousing for the property generally located on the South side of East 155th Street.

Mr. Clements gave a summary of the staff report during item IV, A - *A the consideration of a Rezoning from the existing R-3 Multiple Family Residential District to an FCI Flex Commercial/Industrial District and a Rezoning from the existing M-1 Light Industrial District to an FCI Flex Commercial/Industrial District with a Preliminary Development Plan for the properties located at 6107 E. 155th Street and 5901 E. 155th Street, to permit the development of Building 4 in the Southview Commerce Center.* The staff report is attached as **Exhibit A**

The opening and closing of this public hearing was included in the public hearing for item IV, A - *Consideration of a Rezoning from the existing R-3 Multiple Family Residential District to an FCI Flex Commercial/Industrial District and a Rezoning from the existing M-1 Light Industrial District to an FCI Flex Commercial/Industrial District with a Preliminary Development Plan for the properties located at 6107 E. 155th Street and 5901 E. 155th Street, to permit the development of Building 4 in the Southview Commerce Center.*

Councilman Trutzel moved to approve the request for the consideration of a Special Use in an FCI Flex Commercial/Industrial District for warehousing for the property generally located on the South side of East 155th Street. The recommendation is subject to the following conditions:

1. The rezoning and preliminary plan, and Special Use permit for warehousing, is approved as shown on Southview Commerce Center Preliminary Plat and Preliminary Development Plan, dated 3/2/21 by Sitepoint, LLC.
2. Building elevations, Southview Commerce Center, Building 4 by studioNorth, dated 2/17/21 are approved as part of the Preliminary Development Plan.
3. A Final Development Plan and Final Plat shall be submitted, as required in Section 20.6 of the UDC.
4. A final landscape plan shall be submitted, indicating compliance with the *North Scott Corridor Overlay District + Guidelines*, signed and sealed by a registered Landscape Architect.
5. Stormwater management/detention is preliminarily approved as described in Fourth Plat Micro Drainage Study, by Olsson Associates, March 2021.

6. Revise the driveway location on 155th Street to provide a 100' intersection offset to 153rd Terrace.
7. The shared driveway entrance at Lot 3 shall be reshaped and finished with hardscape materials to prevent sight distance obstructions.
8. A photometric plan for parking lot lighting shall be submitted with the Final Development plan.
9. Details on exterior building lighting shall be submitted with Final Development plans.
10. Trash containers and outside storage shall only be permitted in a warehouse dock location adjacent to a tenant space, in the internal parking and maneuvering areas in-between the buildings.

The motion was seconded by Commissioner Anderson. When a vote was taken, the following was recorded:

Ayes: 6 – Chairman MacPherson, Mayor Jeff Davis, Councilman Chet Trutzel, Commissioners Marsha Vest, RJ Warren, and Kara Anderson

Noes: 0

Absent: 3 – Commissioners Todd Christy, Tim McDonough, and Kelly Monaghan-Bass

The motion carried and will be forwarded to City Council for approval.

NON-PUBLIC HEARING – Consideration of a Preliminary Plat for Southview Residential located on the South side of 155th Street at Valley Drive and Startimes Drive, extended.

Mr. Clements gave a summary of the staff report. The staff report is attached as Exhibit B.

The Commission had questions regarding the timeframe of developing the residential lots and regarding the public/private partnership of the water line.

- Mr. Chancellor stated they would like to list the single family lots for sale as soon as possible, but they would like to get Building 4 built first to provide full transparency. Additionally, he stated that he stated they have not decided if they will sell the entire subdivision to a developer or if they will build the streets and install the infrastructure and then sell the lots.
- The City decided to do a public/private partnership on the water line extension on Allen Avenue. NorthPoint's will contribution to the project will be approximately \$1,000,000 and the City's portion will cost approximately \$500,000

Mr. Warren moved to approve the Preliminary Plat for Southview Residential located on the South side of 155th Street at Valley Drive and Startimes Drive, extended. The recommendation is subject to the following conditions:

1. The Preliminary Plat for Southview Residential, is approved as submitted, dated 3/2/21 by Sitepoint, LLC.
2. Final Plat containing Tract A shall be submitted for approval prior to construction/development of improvements on Tract A Open space.
3. Tract A shall be maintained by owner or Building 4. The Tract shall not be the maintenance responsibility of any Homeowner's Association of Southview Residential.

The motion was seconded by Councilman Trutzel. When a vote was taken, the following was recorded:

Ayes: 6 – Chairman MacPherson, Mayor Jeff Davis, Councilman Chet Trutzel, Commissioners Marsha Vest, RJ Warren, and Kara Anderson

Noes: 0

Absent: 3 – Commissioners Todd Christy, Tim McDonough, and Kelly Monaghan-Bass

The motion carried.

DIRECTOR'S REPORT

- The next meeting date of April 19, 2021 will have a long agenda.

NEXT MEETING DATE: April 19, 2021

ADJOURNMENT

Commissioner Anderson moved to adjourn the meeting. The motion was seconded by Commissioner Warren. All voted in favor, and the meeting adjourned at 7:36 p.m.

EXHIBIT A

**REZONING AND PRELIMINARY DEVELOPMENT PLAN
SPECIAL USE PERMIT-WAREHOUSING
BUILDING 4-SOUTHVIEW COMMERCE CENTER
BELTON PLANNING COMMISSION
MONDAY, MARCH 15, 2021 – 6:00 P.M.
CITY HALL ANNEX BUILDING – 520 MAIN STREET**

Applicant

Property Owner/Agent/Applicant: NorthPoint Development, LLC. /Chris Chancellor

Engineer: Sitepoint, LLC. /Shannon Buster

Architect: studioNorth Architecture

Location- The property is located at 5901 and 6107 East 155th Street, or the South side of 155th Street approximately 600-feet East of South Outer Road.

Request- *A rezoning from M-1 Light Industrial District, and R-3 Multiple-Family Residential District to FCI Flex Commercial/Industrial District of the North Scott Corridor Overlay District + Guidelines, with a Preliminary Development Plan, and a Special Use for warehousing.*

BACKGROUND

NorthPoint is the developer of the Southview Commerce Center, and the applicant in this request. Southview Commerce Center is the redevelopment of the former 148-acre golf course. NorthPoint has completed three buildings of approximately 2,100,00 square feet, and the company has successfully leased these buildings to national users. This plan would provide for the expansion of Southview Commerce Center with a proposed Building 4.

The application pertains to two large parcels of property. The property at 5901 E. 155th Street is the former Century Concrete plant site. This is a blighted 5.76-acre tract that has been vacant for approximately 15 years. This property includes an existing telecommunications tower and ground compound that will remain. This property is zoned a M-1 Light Industrial District.

The second site is a 20.79-acre parcel at 6107 E. 155th Street that is improved with a single-family home and approximately 10 sheds and barns. This property is zoned a R-3 Multiple-Family Residential District.

The applicant is proposing to rezone the properties to the Flex Commercial/Industrial district of the *North Scott Corridor Overlay District + Guidelines*. The Flex Commercial/Industrial District is designed to allow a variety of industrial or commercial uses in a planned environment with a higher degree of architectural design, site planning and landscaping. Building 4 would be identical to the three existing buildings in Southview Commerce Center.

It is important to note that the related application for Southview Residential preliminary plat is an important part of the development proposal, introducing new single-family lots and open space in this area as a buffer to properties to the East.

The applicant has prepared a project narrative that is attached to this staff report.

NEIGHBORHOOD MEETING

NorthPoint scheduled a Neighborhood Meeting on Monday, March 8th, to provide an overview of the development to those property owners that received the required rezoning notification.

PROPOSED PRELIMINARY DEVELOPMENT PLAN

Overall Site Plan- As noted, the preliminary plan provides for one industrial/distribution building of 501,000 square feet on the 27-acre site. The building would be a cross-dock facility, with dock doors on the East and West elevations. The North elevation, facing 155th Street, includes corner office areas with transparent glass and defined entryways. The South elevation also includes these features. Employee parking areas are located on the North and South side of the building, convenient to the office areas. There is truck and trailer parking on the East and West elevations, for access to the dock doors.

The maximum height of the building at corner office areas is 51 feet. The building height varies across the length of the building to meet required articulation of the FCI district. The *North Scott Overlay District* allows a 75-foot building height.

Building 4 and the existing Southview Commerce Center provide an overall 35 percent open space/green space. The *North Scott Overlay District* requires 20 percent open space/green space.

The proposed development also meets all other bulk regulations of the *North Scott Overlay District*, such as lot size and building setbacks.

Building Design Standards- The *North Scott Overlay District* includes architectural design standards, façade articulation and exterior material requirements. These are summarized below:

- a. Ground floor massing and proportion- The office entry/areas at the corners are two-story. The ground level shall be visually differentiated from the upper story by architectural features. The proposed building has an alternating paint color bands and window and recessed door treatments/entryways on the first floor.
- b. Façade articulation- No building elevation shall exceed 40 feet in length without interruption by one of several architectural features. The cross-dock building has articulation offsets at the office/entry areas at 47 feet and 30 feet spacing. Along the length of the buildings, vertical reveals for articulation in the concrete panels are located every 25 feet.
- c. Exterior material requirements- The *North Scott Overlay District* provides a choice of building materials for use with industrial buildings. The design must include the use of Class 1 Materials (very high quality) Class 2 Materials (high quality) for 50 percent of the street facing façade. The proposed building has textured architectural concrete panels and glass for 100 percent of the street facing façade. NorthPoint is not proposing the use of any Class 3 Materials (standard quality) or Class 4 Materials (lower cost).

Landscaping- A preliminary landscape plan was submitted with the application. A major element of the plan is a landscape buffer on the open space tract designed to provide screening and separation from the nearby single-family homes. The buffer details include a 10-foot berm, planted with evergreen trees, shrubs, and sections of 6-foot cedar fencing. This is the same berm design and landscaping found in Southview Commerce Center. The landscape plan also designates areas of existing trees East of the building to remain.

Additionally, the applicant prepared a line of sight drawing that depicts view lines "A-A" from Valley Drive to the building, and "B-B" from White Avenue and Startimes Drive, to the building. These line of sight drawings are on Sheet L-0200. This colored drawing demonstrates that the dock doors and trailer parking are screened from nearby single-family homes. Depending on actual location, residents will see no more than the top one-half of the building.

The landscape plan also shows shade trees in the parking lots, and along driveways. Please note that a landscape plan will be submitted with the final development plan, indicating compliance with all landscaping provisions, signed, and sealed by a registered landscape architect.

Streets/sidewalks/trails- Access to and from the site will be from a new entrance on 155th Street, and a shared driveway providing combined access with Building 3 on the outer road.

The applicant is constructing an 8-foot multi-use trail east of the building, through the open space area, and connecting to the existing trail network in Southview Commerce Center. The trail provides a site amenity and recreational area for employees. The trail will also connect to the residential area to the east. The *North Scott Overlay District* encourages pedestrian connections to adjacent neighborhoods. Also, there are connecting sidewalks from the building to the multi-use trail for convenient ease of use.

Parking- The development approvals for Southview Commerce Center included a parking requirement of 1 space for every .6 employees. This ratio was based on occupancy and employee figures NorthPoint has experienced in other similar developments. There are 250 employees projected for Building 4, and the applicant has provided 252 parking spaces, exceeding the approved parking ratio for Southview Commerce Center.

Detention- Stormwater management for the site will be provided by a detention basin in the open space area East of the building. This detention area will also serve the Southview Residential subdivision. There is an additional detention basin along 155th Street, in front of the building. These basins are designed to meet the stormwater requirements of the Unified Development Code. Final engineering design will be reviewed with the Final Development Plan.

Traffic Impact- A traffic study was submitted with the application. Public Works/Engineering reviewed the traffic study, and generally agrees with findings on traffic volumes and turning movements. The entrance/driveway on 155th Street is offset 75-feet from 153rd Terrace on the North side of the street. It is recommended that the driveway be revised to the 100-foot minimum offset spacing recommended in the traffic study. There is a concern about turning movements on South Outer Road at the shared entrance to Lot 3. The traffic study suggests that line of sight can be improved by reshaping the ditch backslope and hardscaping the sight triangle to prevent weed and tree growth in the ditch.

SPECIAL USE-WAREHOUSING

The *North Scott Overlay District* requires a Special Use permit for warehousing. The applicant has submitted a Special Use application in conjunction with the rezoning filing. NorthPoint would like the ability to lease to a desirable warehouse use if the opportunity becomes available. Having a Special Use permit pre-approved for the building will allow NorthPoint to move quickly on a possible lease, as they would not have to file an application for a specific user. With such a Special Use approved, NorthPoint would have more leasing options available, and they believe they would have greater success in finding users for the building. This is the same Special Use procedure that was established for Southview Commerce Center in 2018.

REZONING CRITERIA/FINDINGS OF FACT

The Unified Development Code, Section 20-3, provides certain approval criteria that must be addressed with a rezoning application. These criteria are summarized below, with staff analysis for consideration of the Planning Commission:

(1) The character of the surrounding neighborhood, including the existing uses and zoning classification of properties near the subject property. East of the property are existing single-family homes along Valley Drive, Startimes Drive and White Drive, zoned R-1. North of the site are two-family dwellings on 155th Street in the City of Grandview. South of the site is the existing Southview Commerce Center, zoned FCI. West of the property is Public Storage, zoned a M-1 District, and Grand Hills Duplexes, zoned R-3.

(2) Consistency with the goals and objectives of the comprehensive plan and other plans, codes, and ordinances of the City of Belton. The land use map Comprehensive Plan and the Unified Development Code were amended to include the *North Scott Corridor Overlay District + Guidelines*. This area East of I-49 is designated as Flex Commercial/Industrial on the land use map. The proposed development is consistent with the goals of the plan and the land use designation.

(3) Suitability of the subject property for the uses permitted under the existing and proposed zoning districts. The property is currently zoned a M-1 Light Manufacturing District, and an R-3 Multiple-Family Residential District. The M-1 property is the former Century Concrete Plant site, vacant for approximately 15 years. It has been left in a blighted, deteriorating condition. There have been no inquiries to redevelop the site since it became vacant, indicating that the site conditions and location are not suited for development with the existing zoning.

The R-3 property is a large site, improved with a single-family home and several sheds and barns. The location may be suited for multi-family development, but there is no trend to multi-family construction in this general area, and there have been no development inquiries. This indicates a lack of a desirable market at this location.

The site is suitable for development with the flex commercial/industrial district due to its location abutting I-49 and improved access at 155th Street. Thoughtful development with the design guidelines of the *North Scott Overlay District* will create an industrial/distribution/warehouse/office campus that could not be achieved with the city's current zoning districts.

(4) The trend of development near the subject property, including changes that have taken place in the area since the subject property was placed in its current zoning district. The zoning for Southview Commerce Center was approved in 2018. This FCI zoning district allowed the construction of three new buildings in the Southview Commerce Center, consisting of 2,100,000 square feet of new construction, creating approximately 2,000 new jobs. This would indicate a favorable trend of development for this area, abutting the subject site. This is also an indicator that Interstate 49, and its growing importance as a north/south trucking and shipping corridor, should be considered a major factor in land-use decisions.

(5) The extent to which the zoning amendment may detrimentally affect nearby property. The proposed amendment to allow a quality development designed to meet the guidelines of the *North Scott Overlay District* and as such, there should not be any detrimental on nearby property. The proposed building, Building 4, is 159 feet away from the nearest single-family home on Valley Drive, 500 feet from homes on Startimes Drive, and approximately 900 feet from homes on White Drive. Berming, landscaping and preservation of existing trees will help reduce the impact on these properties. Additionally, the proposed Southview Residential preliminary plat provides new lots on Startimes Drive extended, to serve as an additional buffer to homes in this area. Please see the related agenda item, Southview Residential preliminary plat to see the open space concept and new residential lots.

A line of sight drawing submitted by the applicant demonstrates that the loading docks and trailer parking areas will be completely screened from nearby single-family homes on Valley Drive, Startimes Drive and White Drive. Nearby residents will see up to one-half of the building elevation, depending on location.

Additionally, studies and analysis of stormwater detention and traffic demonstrate that the development will not have any adverse impact on nearby property.

(6) Whether public facilities (infrastructure) and services will be adequate to serve development allowed by the requested zoning map amendment. All required public infrastructure and services are available to serve the development. Existing utilities and public streets are sufficient for the proposed development.

(7) The length of time (if any) the property has remained vacant as zoned. The former concrete plant site has been vacant for approximately 15 years. The abutting 30-acre site includes a single-family home and several out-buildings. There have been no redevelopment concepts for these properties.

(8) Whether the proposed zoning map amendment is in the public interest and is not solely in the interests of the applicant. The proposed rezoning to the FCI District can be considered in the public interest. The former concrete plant site has been vacant for an extended period of time, and its neglected state is having an adverse impact on nearby properties and the community at this important location near the I-49. It is in the public interest to facilitate redevelopment of the property in a manner that affects the fewest number of people. Upon completion, the project will generate substantial real estate taxes, and new jobs for the community, as has been demonstrated with the existing buildings in Southview Commerce Center.

STAFF RECOMMENDATION

The staff recommends approval of the application to rezone the subject property from the existing M-1 and R-3 Districts, to the FCI Flex Commercial/Industrial District of the *North Scott Corridor Overlay District + Guidelines*, with a Preliminary Development Plan, and a Special Use for warehousing.

The recommendation is subject to the following conditions:

1. The rezoning and preliminary plan, and Special Use permit for warehousing, is approved as shown on Southview Commerce Center Preliminary Plat and Preliminary Development Plan, dated 3/2/21 by Sitepoint, LLC.
2. Building elevations, Southview Commerce Center, Building 4 by studioNorth, dated 2/17/21 are approved as part of the Preliminary Development Plan.
3. A Final Development Plan and Final Plat shall be submitted, as required in Section 20.6 of the UDC.
4. A final landscape plan shall be submitted, indicating compliance with the *North Scott Corridor Overlay District + Guidelines*, signed and sealed by a registered Landscape Architect.
5. Stormwater management/detention is preliminarily approved as described in Fourth Plat Micro Drainage Study, by Olsson Associates, March 2021.
6. Revise the driveway location on 155th Street to provide a 100' intersection offset to 153rd Terrace.
7. The shared driveway entrance at Lot 3 shall be reshaped and finished with hardscape materials to prevent sight distance obstructions.
8. A photometric plan for parking lot lighting shall be submitted with the Final Development plan.
9. Details on exterior building lighting shall be submitted with Final Development plans.
10. Trash containers and outside storage shall only be permitted in a warehouse dock location adjacent to a tenant space, in the internal parking and maneuvering areas in-between the buildings.

PLANNING COMMISSION ALTERNATIVES

1. **Motion to approve a rezoning** from the existing M-1 and R-3 Districts to FCI Flex Commercial/Industrial District of the *North Scott Corridor Overlay District + Guidelines*, with a Preliminary Development Plan, and a motion to approve a Special Use for warehousing.
2. **Motion to deny a rezoning** from the existing M-1 and R-3 Districts to FCI Flex Commercial/Industrial District of the *North Scott Corridor Overlay District + Guidelines*, with a Preliminary Development Plan, and a motion to deny a Special Use for warehousing.
3. Motion to continue the case pending additional information.

EXHIBIT B
PRELIMINARY PLAT
SOUTHVIEW RESIDENTIAL
BELTON PLANNING COMMISSION
MONDAY, MARCH 15, 2021 – 6:00 P.M.
CITY HALL ANNEX BUILDING – 520 MAIN STREET

APPLICATION

Property Owner/Applicant: NorthPoint Development, LLC. /Chris Chancellor

Engineer: Sitepoint, LLC. /Shannon Buster

Landscape Architect-Sitepoint, LLC. /Brian Forquer

Request- The application was filed for approval of a **Preliminary Plat** for Southview Residential, located on the south side of 155th Street, at Valley Drive and Startimes Drive, extended.

BACKGROUND

This preliminary plat for Southview Residential was submitted in conjunction with the rezoning and preliminary plan application for Building 4, Southview Commerce Center. The plat provides for the creation of 22 new residential lots, to be developed East of Building 4. The purpose of the subdivision is to provide new residential lots to serve as a buffer for the existing single-family homes on White Drive and Startimes Drive from Building 4.

This property was final platted as Sunset Hills in 2005. The subdivision provided for the extension of Valley Drive and partial extension of Startimes Drive from the existing stub street location, South to 157th Street and East to White Drive. The subdivision included 53 lots. No building permits were ever issued for the construction of new homes in Sunset Hills. The final plat for Sunset Hills is attached for further information.

At this time, NorthPoint is proposing to replat or vacate the existing plat of Sunset Hills, for the purpose of creating the 22 new lots, and an open space tract for tree preservation, detention, landscape berm and trail.

NorthPoint is primarily an industrial and multi-family developer. They may market this approved plan to established residential builders.

PROPOSED PRELIMINARY PLAT

The preliminary plat meets the requirements of Section 36-34 of the Unified Development Code (UDC).

Plat details- The preliminary plat provides 22 lots, generally along Startimes Drive as extended from its existing stub location south of 155th Street. There are also lots platted along East/West 157th Street. The plat includes the dedication of these street extensions, as well as a cul-de-sac at the end of Valley Drive. An open space tract is located West of the proposed lots. This 7-acre tract provides for tree preservation, a landscape berm, a continuation of the existing trail network and area-wide detention for the single-family subdivision and Building 4.

Zoning- The property is a zoned R-1 Single-Family Residential District.

Single-Family lots- The minimum lot size in the R-1 District is 70' x 120', with a minimum lot area of 8400 square feet. There are 22 single-family lots, with a lot size of generally 90' X 184', approximately 17,000 square feet. The cul-de-sac lots are larger at approximately 22,000 square feet. The proposed lots exceed the minimum lot size of the R-1 District.

The lots and blocks meet the minimum design standards of the Unified Development Code.

The UDC requires a 30-foot front setback on all lots. The setback is provided on all the lots.

Streets/sidewalks- All streets will be public streets, with right-of-way width to match existing dedicated streets. Sidewalks are required on both sides of the street.

Utilities- The preliminary plat makes adequate provisions for public utilities and drainage.

Easements- The preliminary plat includes all necessary easements for utilities and drainage.

Detention- Stormwater management will be provided by the detention basin located on the Open Space Tract.

STAFF RECOMMENDATION

The staff recommends approval of the application for a Preliminary Plat for Southview Residential, as the preliminary plat meets all requirements of Section 36.34 of the UDC.

The recommendation is subject to the following conditions:

1. The Preliminary Plat for Southview Residential, is approved as submitted, dated 3/2/21 by Sitepoint, LLC.
2. Final Plat containing Tract A shall be submitted for approval prior to construction/development of improvements on Tract A Open space.
3. Tract A shall be maintained by owner or Building 4. The Tract shall not be the maintenance responsibility of any Homeowner's Association of Southview Residential.

PLANNING COMMISSION ALTERNATIVES

1. Motion to **approve** a Preliminary Plat for Southview Residential.
2. Motion to **deny** a Preliminary Plat for Southview Residential.
3. Motion to continue the application pending additional information.

SECTION IV.
FINAL PLAT REPLAT – LOT 8, BELTON GATEWAY

**FINAL PLAT
REPLAT OF LOT 8 BELTON GATEWAY
BELTON PLANNING COMMISSION
MONDAY, APRIL 19, 2021 – 6:00 P.M.
CITY HALL ANNEX BUILDING – 520 MAIN STREET**

APPLICANTS

Property Owner-Y Belton, LLC. /David Christie

Engineer/Surveyor-Engineering Solutions/Matt Schlicht

Location-The property is located on the north side of Turner Road, east of 163rd Street, in Belton Gateway.

Request-The application was filed for approval of a **Final Plat-Replat for Lot 8 Belton Gateway, for the purpose of splitting existing Lot 8 into Lots 8A and 8B.**

PROPOSED FINAL PLAT

Lot 8 is an existing 5.53-acre (241,188 square feet) lot. Lot 8 was originally platted with the Belton Gateway shopping area, and it is the location of Ulta Beauty.

The purpose of the replat is to “right-size” the Ulta Beauty lot for the building and parking and create a new buildable lot for future development.

Lot sizes- The plat provides for the creation of two new lots from the existing Lot 8:

1. Lot 8A- 3.80-acres (165,729 square feet)
2. Lot 8B- 1.73-acres (75,459 square feet)

Streets/access: Access to the site would be from driveway entrances on Turner Road.

*Easements-*The final plat includes appropriate language for utility and drainage easements.

Detention- The property is in the Markey Regional Detention Watershed. Payment of a fee in lieu of providing on-site detention is provided in the UDC.

STAFF RECOMMENDATION

The staff recommends approval of the application for a Final Plat-Replat Lot 8 Belton Gateway. The plat meets all final plat requirements of Section 36.35 of Unified Development Code.

The recommendation is subject to the following conditions:

1. The Final Plat-Replat of Lot 8 as submitted by Engineering Solutions, dated October 16, 2019, is hereby approved.
2. The final plat shall be recorded within one year of City Council approval or the approval of the plat shall be considered null and void.

Final Plat-Replat Lot 8 Belton Gateway

PLANNING COMMISSION ALTERNATIVES

1. Motion to **approve** a Final Plat-Replat of Lot 8 Belton Gateway.
2. Motion to **deny** a Final Plat-Replat Lot 8 Belton Gateway.
3. Motion to continue the application pending additional information.

ATTACHMENTS

1. Final Plat-Replat Lot 8 Belton Gateway
2. Area Map

Final Plat

Lots 8A & 8B, Block 1, Belton Gateway Addition Unit No 2

Replat of Lot 8, Block 1, Belton Gateway Addition Unit No 2

Section 12, Township 46 N, Range 33 W

Belton, Cass County, Missouri

PLAT DESCRIPTION:
ALL OF LOT 8, BLOCK 1, BELTON GATEWAY ADDITION UNIT NO 2, A SUBDIVISION IN BELTON, CASS COUNTY, MISSOURI.

DEDICATION:
THE UNDERSIGNED PROPRIETOR OF THE ABOVE DESCRIBED TRACT OF LAND HAS CAUSED THE SAME TO BE SUBDIVIDED IN THE MANNER SHOWN ON THE ACCOMPANYING MINOR PLAT, WHICH PLAT AND SUBDIVISION SHALL HEREAFTER BE KNOWN AS:

"LOTS 8A & 8B, BLOCK 1, BELTON GATEWAY ADDITION UNIT NO 2"

EASEMENTS:
AN EASEMENT OR LICENSE IS HEREBY GRANTED TO THE CITY OF BELTON, MISSOURI, TO LOCATE, CONSTRUCT AND MAINTAIN, OR TO AUTHORIZE THE LOCATION, CONSTRUCTION AND MAINTENANCE OF POLES, WIRES, ANCHORS, CONDUITS, AND/OR STRUCTURES FOR WATER, GAS, SANITARY SEWER, STORM SEWER, SURFACE DRAINAGE CHANNEL, ELECTRICITY, TELEPHONE, CABLE TV, OR ANY OTHER NECESSARY PUBLIC UTILITY OR SERVICES, ANY OR ALL OF THEM, UPON, OVER, OR UNDER THOSE AREAS OUTLINED AND DESIGNATED UPON THIS PLAT AS "UTILITY EASEMENTS" (U/E), "DRAINAGE EASEMENT" (D/E) OR WITHIN ANY STREET OR THOROUGHFARE DEDICATED TO THE PUBLIC USE ON THIS PLAT. GRANTOR, ON BEHALF OF HIMSELF, HIS HEIRS, HIS ASSIGNS AND SUCCESSORS IN INTEREST, HEREBY WAIVES, TO THE FULLEST EXTENT ALLOWED BY LAW, INCLUDING, WITHOUT LIMITATIONS, SECTION 527.188, RSMo (2008), ANY RIGHT TO REQUEST RESTORATION OF RIGHTS PREVIOUSLY TRANSFERRED AND VACATION OF THE EASEMENTS HEREIN GRANTED.

OWNER -
IN TESTIMONY THEREOF:
LLC, A MISSOURI CORPORATION, HAS CAUSED THESE PRESENT TO BE SIGNED THIS _____ DAY OF _____ 2021.

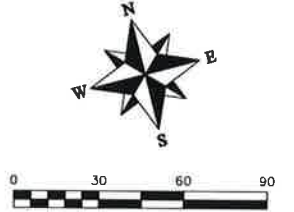
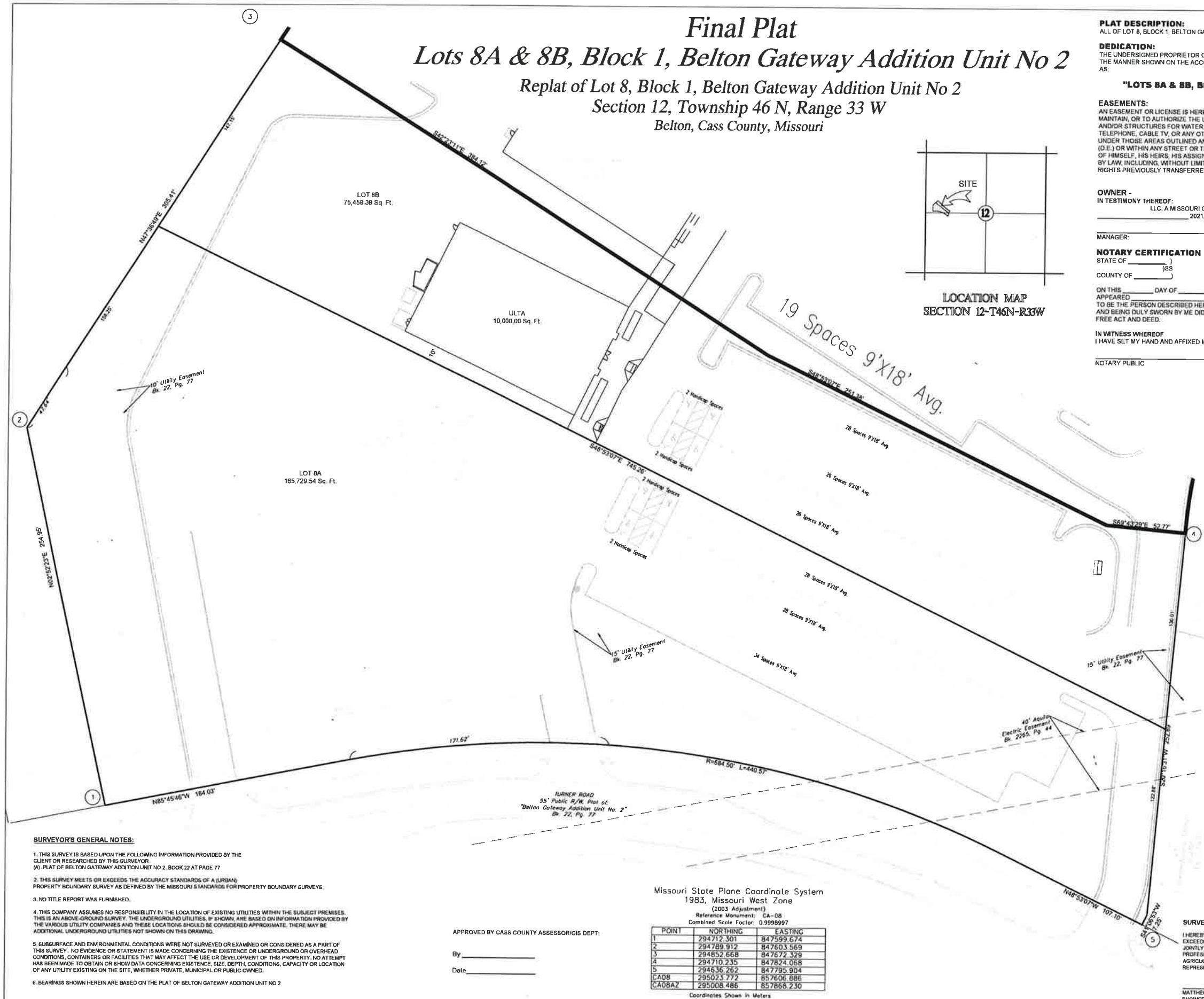
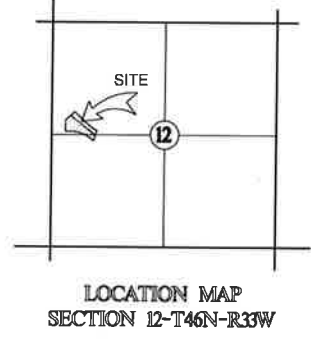
MANAGER: _____

NOTARY CERTIFICATION
STATE OF _____)
COUNTY OF _____)

ON THIS _____ DAY OF _____ 2021, BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY APPEARED _____ MANAGER OF _____ LLC, A MISSOURI CORPORATION, TO ME KNOWN TO BE THE PERSON DESCRIBED HEREIN AND WHO EXECUTED THE FOREGOING INSTRUMENT ON BEHALF OF SAID COMPANY AND BEING DULY SWORN BY ME DID ACKNOWLEDGE THAT HE/SHE EXECUTED THE FOREGOING INSTRUMENT AS THEIR FREE ACT AND DEED.

IN WITNESS WHEREOF
I HAVE SET MY HAND AND AFFIXED MY SEAL THE DAY AND YEAR LAST WRITTEN ABOVE.

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____



- LEGEND**
- These standard symbols will be found in the drawing:
- Set 1/2" Rebar & Cap (LS-2005008319-0)
 - ⊙ Found Survey Monument (As Noted)
 - ⊙ Exception Document Location
 - U/E Utility Easement
 - B/L Building Setback Line
 - W/E Water Easement
 - P/E Access/Pedestrian Easement

PLANNING COMMISSION:
THIS PLAT OF LOTS 8A AND 8B, BLOCK 1, BELTON GATEWAY ADDITION UNIT NO 2, HAS BEEN SUBMITTED TO AND APPROVED BY THE BELTON PLANNING COMMISSION THIS _____ DAY OF _____ 2021.

By _____, Planning Commission Chairman Date _____

By _____, Secretary Date _____

THESE EASEMENTS AND RIGHTS-OF-WAY ACCEPTED BY THE COUNCIL OF BELTON, MISSOURI, THIS _____ DAY OF _____ 2021.

By _____, Mayor Date _____

By _____, City Clerk Date _____

SURVEYOR'S GENERAL NOTES:

- THIS SURVEY IS BASED UPON THE FOLLOWING INFORMATION PROVIDED BY THE CLIENT OR RESEARCHED BY THIS SURVEYOR.
(A) PLAT OF BELTON GATEWAY ADDITION UNIT NO 2, BOOK 22 AT PAGE 77
- THIS SURVEY MEETS OR EXCEEDS THE ACCURACY STANDARDS OF A (URBAN) PROPERTY BOUNDARY SURVEY AS DEFINED BY THE MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS.
- NO TITLE REPORT WAS FURNISHED.
- THIS COMPANY ASSUMES NO RESPONSIBILITY IN THE LOCATION OF EXISTING UTILITIES WITHIN THE SUBJECT PREMISES. THIS IS AN ABOVE-GROUND SURVEY. THE UNDERGROUND UTILITIES, IF SHOWN, ARE BASED ON INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES AND THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN ON THIS DRAWING.
- SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT SURVEYED OR EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO EVIDENCE OR STATEMENT IS MADE CONCERNING THE EXISTENCE OR UNDERGROUND OR OVER-HEAD CONDITIONS, CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY. NO ATTEMPT HAS BEEN MADE TO OBTAIN OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITIONS, CAPACITY OR LOCATION OF ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL OR PUBLIC OWNED.
- BEARINGS SHOWN HEREIN ARE BASED ON THE PLAT OF BELTON GATEWAY ADDITION UNIT NO 2

Missouri State Plane Coordinate System
1983, Missouri West Zone
(2003 Adjustment)
Reference Monument: CA-08
Combined Scale Factor: 0.9998997

POINT	NORTHING	EASTING
1	294712.301	847599.674
2	294789.912	847603.569
3	294852.668	847672.329
4	294710.235	847824.068
5	294636.262	847795.904
CA08	295023.772	857606.886
CA0BAZ	295008.486	857868.230

Coordinates Shown in Meters

APPROVED BY CASS COUNTY ASSESSOR/GIS DEPT.
By _____
Date _____

REVISIONS

DATE	DESCRIPTION

Final Plat -
Belton Gateway Addition Unit No 2
Lots 8A and 8B
a Replat of Lot 8, Block 1,
Belton Gateway Addition Unit No 2
Section 12, Township 46, Range 33
Belton, Cass County, Missouri

Final Plat

SHEET	SECTION	TOWNSHIP	RANGE	COUNTY	JOB NO.	DATE OF PREPARATION
1	12	46	33	Cass	Belton Gateway	October 16, 2019

SCALE: 1" = 30'

M. Schlicht, P.L.S., PE

PROFESSIONAL SEAL

ENGINEERING & SURVEYING SOLUTIONS

50 SE 30TH STREET
LEES SUMMIT, MO 64882
P: (636) 225-9888 F: (636) 225-9449

MATTHEW A SCHLICHT, MOPLS 0120200102
ENGINEERING SOLUTIONS, LLC, MO CORP. LS 205008316-D

ArcGIS Web Map



4/16/2021, 9:50:31 AM

Aerial_MARC_2020_6in.tif

- Red: Band_1
- Green: Band_2
- Blue: Band_3

Streets

Belton_Parcels



Maxar, Microsoft, Esri Community Maps Contributors, Kansas City, MO, County of Cass, MO, Missouri Dept. of Conservation, Missouri DNR, BuildingFootprintsUSA, Esri, HERE, Garmin, SafeGraph, INCREMENT P, METNUSA, USGS, EPA, NPS, US Census

ArcGIS Web AppBuilder
Maxar, Microsoft, Esri Community Maps Contributors, Kansas City, MO, County of Cass, MO, Missouri Dept. of Conservation, Missouri DNR, BuildingFootprintsUSA, Esri, HERE, Garmin, SafeGraph, INCREMENT P, METNUSA, USGS, EPA, NPS, US Census Bureau, USDA, |

SECTION V.
FINAL PLAT – TRADITIONS 5TH PLAT

**FINAL PLAT
TRADITIONS 5th PLAT
BELTON PLANNING COMMISSION
MONDAY, APRIL 19, 2021 – 6:00 P.M.
CITY HALL ANNEX BUILDING – 520 MAIN STREET**

Application

Property Owner-Sallee Real Estate Investments, LLC. /Tyler Sallee

Engineer-Schlagel & Associates/David Rinne, PLS

Location-The property is located on the north side of Cambridge Road, east of Mullen Road, in the Traditions Planned Unit Development.

Request-The application was filed for approval of a Final Plat for Traditions 5th Plat. This plat will provide for the construction of an additional phase of single-family homes in the Traditions Planned Unit Development.

BACKGROUND

The Traditions is a R-3 mixed-use Planned Unit Development initially approved in 2006. A revised preliminary plat for Traditions was approved by the City Council in May of 2018. The original plan and the 2018 revision provided for new single-family homes in the area of the proposed 5th Plat.

There are 97 lots in two existing single-family phases of Traditions. This application will provide 19 new lots for future construction, adding to the new home inventory of the subdivision.

PROPOSED FINAL PLAT

The Final Plat is consistent with the revised preliminary plat as approved by the City Council.

Lots and Blocks-The plat provides for 19 lots and four tracts, to allow the construction of additional single-family homes in the planned unit development. The lots range in size from 8,200 square feet to 12,000 square feet. All the lots meet the minimum lot sizes specified in the revised Planned Unit Development from 2018.

Streets- The plat includes the dedication of right-of-way for Shane Lane, the main north/south street connecting to Cambridge Road, east/west Maci Lane, and a new cul-de-sac Shane Court. At the intersection with Cambridge Road, Shane Lane includes a divided median to provide a landscape tract at the subdivision entrance, as required with the original PUD plan.

These new streets will provide access to the lots, and the proposed streets meet the local residential right-of-way requirements approved with the PUD, and the Unified Development Code.

Easements-The final plat includes appropriate language for public utility and drainage easements.

Final Plat-Traditions 5th Plat.

Tracts/Open Space- The plat includes the dedication of Tracts 5A, 5B, 5C, and 5D for open space in the subdivision. Tract 5C will be a landscape area that includes a section multi-use trail that is a requirement of the PUD.

These tracts will be maintained by the homeowner's association.

Detention-Stormwater detention is provided in area-wide basins in the PUD. Existing detention areas may need to be increased in capacity as a result of these additional lots.

STAFF RECOMMENDATION

The staff recommends approval of the application for a Final Plat for Traditions 5th Plat as the final plat is consistent with the revised preliminary plat. The plat meets all final plat requirements of Section 36.35 of Unified Development Code.

The recommendation is subject to the following conditions:

1. The Final Plat for Traditions 5th Plat, dated 3/8/2021, by Schlagel & Associates is approved as submitted.
2. A copy of the applicable homeowner's association documents shall be submitted prior to recording of the final plat.
3. Change Mayor's signature line to "Norman Larkey."
4. The final plat shall be recorded within one year of City Council approval or the approval of the plat shall be considered null and void.

PLANNING COMMISSION ALTERNATIVES

1. Motion to **approve** a Final Plat for Traditions 5th Plat.
2. Motion to **deny** a Final Plat for Traditions 5th Plat.
3. Motion to continue the application pending additional information.

ATTACHMENTS

1. Final Plat-Traditions 5th Plat
2. Location map

**FINAL PLAT OF
TRADITIONS - 5TH PLAT
LOTS 272 THRU 290 AND TRACTS 5A, 5B + 5C
PART OF THE SOUTHWEST 1/4 OF SEC. 18-46N-32W
IN THE CITY OF BELTON, CASS COUNTY, MISSOURI**



**SECTION 18-46-32
LOCATION MAP
SCALE 1" = 2000'**

DESCRIPTION:

A tract of land lying in the Southwest One-Quarter of Section 18, Township 46 North, Range 32 West, in the City of Belton, Cass County, Missouri being more particularly described as follows:

Commencing at the Southeast corner of the said Southwest One-Quarter, thence along the South line of the said Southwest One-Quarter, North 86 degrees 30 minutes 07 seconds West, a distance of 574.48 feet; thence North 03 degrees 29 minutes 53 seconds East, a distance of 25.00 feet to the THE POINT OF BEGINNING, thence along a line 25'00" North of and parallel with the said South line, North 86 degrees 30 minutes 07 seconds West, a distance of 710.79 feet, to the Southeast corner of LOT 3, REPLAT OF WHORTON FARMS, a subdivision of land in the said City of Belton, recorded in Book 24 at Page 31; thence along the East line of said LOT 3, North 03 degrees 30 minutes 29 seconds East (Platted, North 03 degrees 29 minutes 56 seconds East), a distance of 274.82 feet to the Northeast corner of said LOT 3; thence along the North line of said LOT 3, North 86 degrees 12 minutes 57 seconds West (Platted, North 86 degrees 13 minutes 30 seconds West), a distance of 173.49 feet; thence North 16 degrees 44 minutes 25 seconds West, a distance of 155.98 feet to a point of curvature; thence along a curve to the right, having an initial tangent bearing of South 76 degrees 54 minutes 43 seconds West, a radius of 375.00 feet, a central angle of 03 degrees 39 minutes 08 seconds and an arc length of 23.90 feet; thence North 13 degrees 05 minutes 17 seconds West, a distance of 175.45 feet to a point on the South line of TRADITIONS - 4TH PLAT, a subdivision of land in the said City of Belton, recorded in Book 24 at Page 73; thence along the South line of said TRADITIONS - 4TH PLAT for the following three courses, South 86 degrees 15 minutes 32 seconds East, a distance of 132.84 feet; thence North 87 degrees 26 minutes 33 seconds East, a distance of 87.69 feet; thence North 60 degrees 47 minutes 15 seconds East, a distance of 305.96 feet to a point on the Northeast edge of a hundred feet Missouri Public Service Company Electric Line Easement as recorded in Book 506 at Page 84; thence along the Northeast edge of said Electric Line Easement, South 31 degrees 41 minutes 14 seconds East, a distance of 925.82 feet to the Point of Beginning, and containing 92480 acres, more or less.

ACKNOWLEDGEMENTS:

IN TESTIMONY WHEREOF, the undersigned proprietor has caused this instrument to be executed this ____ day of _____ 20__.

Sallee Homes, Inc

By _____
R. Tyler Sallee, Vice President

STATE OF _____)
COUNTY OF _____)

Be It Remembered, that on this ____ day of _____ 20__ before me, the undersigned, a Notary Public in and for said County and State came R. Tyler Sallee, Vice President of Sallee Homes, Inc, known to me to be the same person who executed the foregoing instrument of writing on behalf of said Corporation, and such person duly acknowledged the execution of same to be the act and deed of said Corporation.

Notary Public

My Appointment Expires _____

DEDICATIONS:

The undersigned proprietor of the above described tract of land has caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision shall hereafter be known as "TRADITIONS - 5TH PLAT". It shall be sufficient description of each lot platted hereon to be designated by the number which appears on said lot followed by the words "TRADITIONS - 5TH PLAT".

Streets shown hereon and not heretofore dedicated for public use as street right-of-way are hereby dedicated.

An easement is hereby granted to Belton, Missouri, for the purpose of locating, constructing, operating and maintaining facilities for water, gas, electricity, sewage, telephone, cable tv and surface drainage including but not limited to, underground pipes and conduits, pad mounted transformers, service pedestals, any or all of them upon, over, under and along the strips of land designated utility easements (UE). Where other easements are designated for a particular purpose, the use thereof shall be limited to that purpose only. All the above easements shall be kept free from any and all obstructions which would interfere with the construction or reconstruction and proper, safe and continuous maintenance of the aforesaid uses and specifically there shall not be built thereon or thereover any structure (except driveways, paved areas, grass, shrubs and fences, with the exception of drainage easements (DE) where no fences shall be erected) nor shall there be any obstruction to interfere with the agents and employees of Belton, Missouri and its franchised utilities from going upon said easement and as much of the adjoining lands as may be reasonably necessary in exercising the rights granted to the easements. No excavation or fill shall be made or operation of any kind or nature shall be performed which would reduce or increase the earth coverage over utilities above stated or the appurtenances thereto without the written approval of the Director of Public Works, as to all easements dedicated to the City. Facilities placed within the limits of D/E are to be maintained by the homeowners's association.

RESTRICTIONS:

The use of all Lots and Tracts of land in this subdivision shall hereafter be subject to any and all covenants and restrictions recorded in the office of the Register of Deeds of Cass County, Missouri and shall hereby become a part of the dedication of this plat as though fully set forth hereon.

Tracts 5A thru 5C are common open area for multifamily units to be owned and maintained by the homeowners's association.
Tract 5D is landscaping area to be owned and maintained by the homeowners's association.

APPROVALS:

This plat of "TRADITIONS - 5TH PLAT" has been submitted to and approved by the Planning Commission of the City of Belton, Cass County, Missouri, this ____ day of _____ 2021.

ATTEST _____ Secretary
Tom MacPherson, Chairman

These easements and Right-of-Ways accepted by the city council of Belton, Cass County, Missouri, this ____ day of _____ 2021.

ATTEST _____
Jeff Davis, Mayor
Andrea Cunningham, City Clerk

Entered on transfer record this ____ day of _____

Mike Medsker, County Recorder

MISSOURI STATE PLANE COORDINATES
OF 1983 MISSOURI WEST ZONE, 2002
REFERENCE MONUMENT: CA-25
GRID FACTOR 0.9989958
COORDINATES LISTED IN U.S. FEET
NORTHING EASTING
CA-25 958438.99 2784986.68

Point #	Northing	Eastng
55	959173.46	2786807.52
56	959024.13	2786540.47
57	959020.22	2786452.87
61	958385.65	2787293.83
62	958429.02	2786584.37
63	958703.33	2786601.18
64	958714.78	2786428.07
65	958864.15	2786383.14
66	958858.00	2786360.04
67	959028.89	2786320.31

I HEREBY CERTIFY, that the within plat of "TRADITIONS - 5TH PLAT", subdivision is based on an actual survey meets or exceeds the current Minimum Standards for Property Boundary Surveys as adopted by the Missouri Board of Architects, Professional Engineers and Land Surveyors of the State of Missouri. I further certify that bearings shown on this plat are based upon the record description of the parent tract and that the section and sectional corner monuments and survey boundary corner monuments were either found or set as indicated on this plat; that the lot corners and street centerlines have been marked with permanent monumentation as indicated on this plat; that I have complied with all State and Belton statutes, ordinances and regulations governing the practice of surveying and the plating of subdivisions to the best of my professional knowledge and belief.

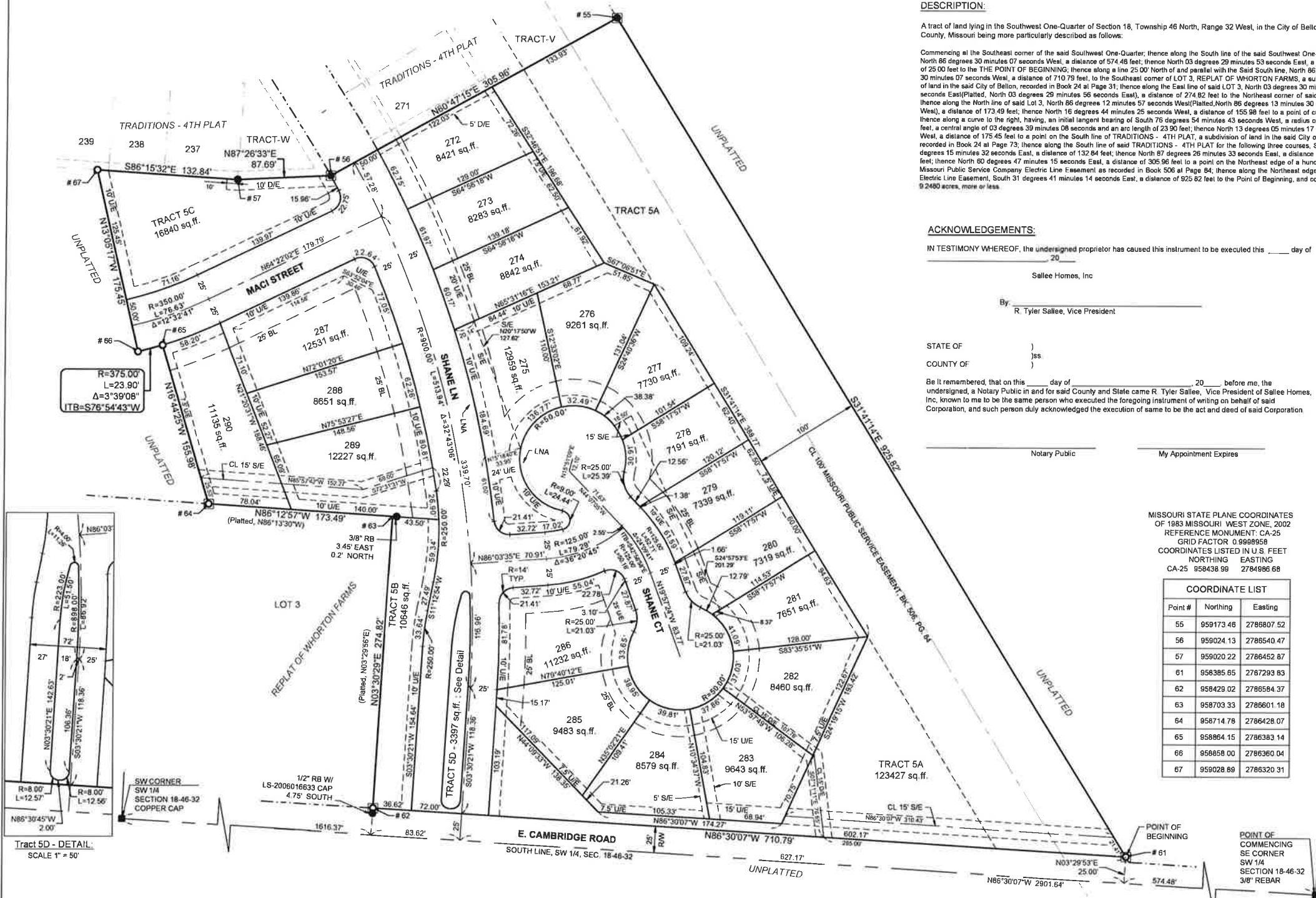
DEVELOPER:

SALLEE HOMES, INC.
R. TYLER SALLEE, VICE PRESIDENT
P.O. Box 6437, Lee's Summit, MO 64084
ph 616-525-2891

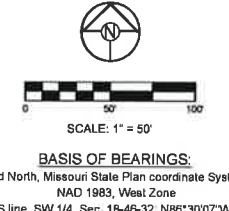


SCHLAGEL
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
14020 West 10th Street • Lenexa, Kansas 66215
Ph: (913) 482-5158 • Fax: (913) 492-8400 • WWW.SCHLAGELASSOCIATES.COM
Missouri State Certificates of Authority
#E2002003800-F #LAIC2001000337 #S2002008859-F

DATE 3-8-2021
DRAWN BY JWT
CHECKED BY SCH
PROJ. NO. 21-022
FINAL PLAT OF
TRADITIONS - 5TH PLAT
SHEET NO. 1

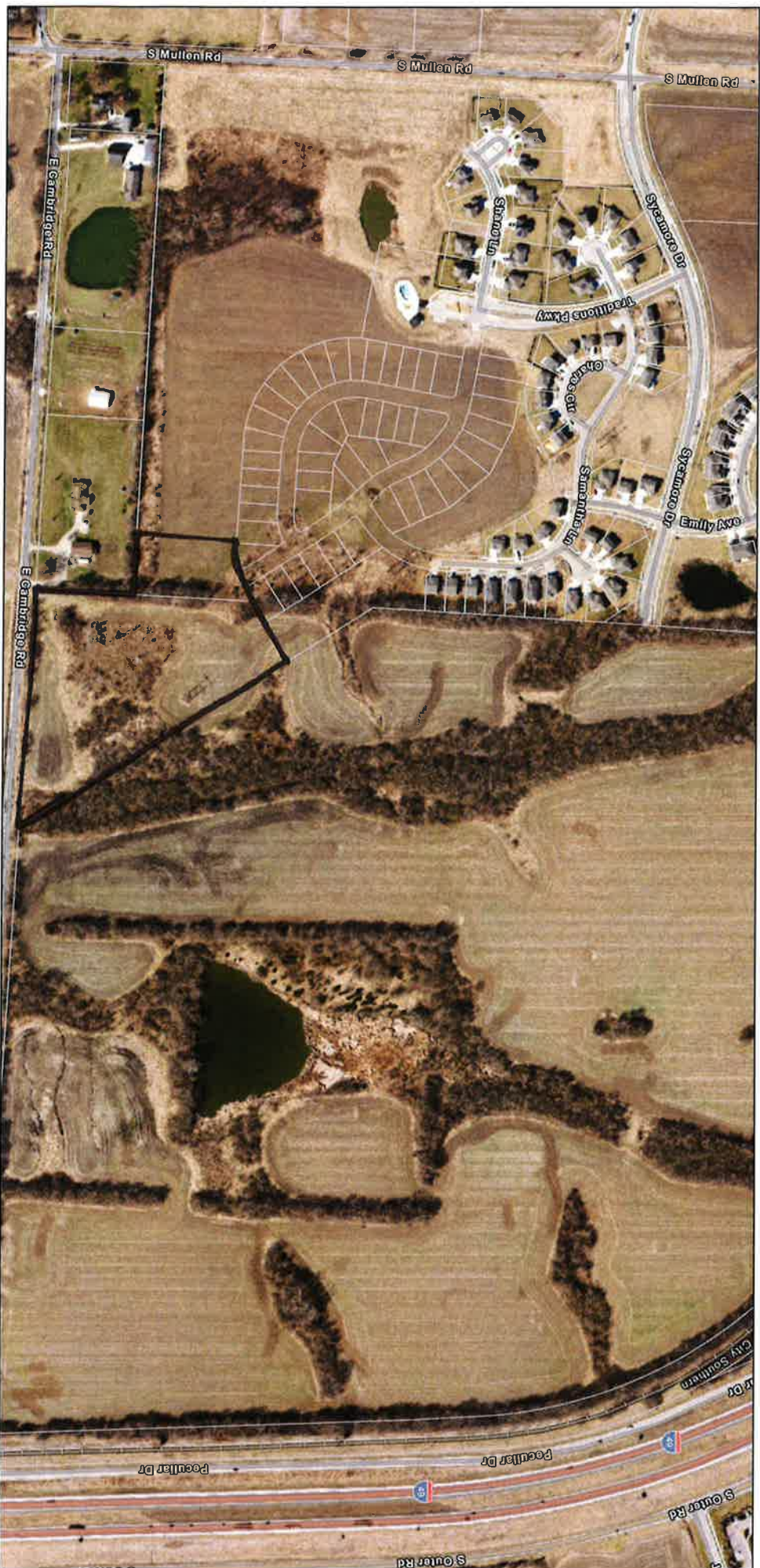


- LEGEND:**
- SET 2" ALUMINUM CAP W/ MO LS20022008859 IN 4" MIN. DIAMETER CONCRETE
 - SET 1/2" REBAR W/LS-8859-F CAP UNLESS OTHERWISE NOTED
 - FOUND 2" ALUMINUM CAP W/ MO LS20022008859 IN CONCRETE
 - FOUND 1/2" REBAR W/LS-8859-F CAP UNLESS OTHERWISE NOTED
 - FOUND MONUMENT BOX
 - EXISTING LOT AND PROPERTY LINES
 - EXISTING PLAT AND RW LINES
 - BL - BUILDING LINE
 - D/E - DRAINAGE EASEMENT
 - R/W - RIGHT-OF-WAY
 - S/E - SANITARY SEWER EASEMENT
 - U/E - UTILITY EASEMENT
 - LNA - LIMITS OF NO ACCESS



- NOTES:**
- Radii of R/W at street intersections is 14' unless otherwise dimensioned.
 - Easement information was furnished by OLD REPUBLIC National Title Insurance Company, issued through the office of Coffelt Land Title, Inc, 262 NE Tudor Rd., Lee's Summit, MO, in their report number: 15006496, Dated December 7, 2015.
 - FLOOD NOTE: This Property lies within Flood Zone X, defined as areas determined to be outside the 0.2% annual chance floodplain as shown on the FIRN Map 29037C0017F, revised January 2, 2013.
 - Areas designated as drainage easements shall be maintained by the property owner.

ArcGIS Web Map



4/16/2021, 11:25:44 AM

Aerial_MARC_2020_6in.tif

Streets

Belton_Parcels

- Red: Band_1
- Green: Band_2
- Blue: Band_3



Esri Community Maps Contributors, Kansas City, MO, County of Cass, MO, Missouri Dept. of Conservation, Missouri DNR, BuildingFootprintUSA, Esri, HERE, Garmin, SateCrap, INCREMENT P, METNUSA, USGS, EPA, NPS, US Census Bureau, USDA |

ArcGIS Web AppBuilder
Esri Community Maps Contributors, Kansas City, MO, County of Cass, MO, Missouri Dept. of Conservation, Missouri DNR, BuildingFootprintUSA, Esri, HERE, Garmin, SateCrap, INCREMENT P, METNUSA, USGS, EPA, NPS, US Census Bureau, USDA |

SECTION V.
**FINAL DEVELOPMENT PLAN – MCBEE’S COFFEE
N’ CARWASH**

**FINAL DEVELOPMENT PLAN
McBEE'S COFFEE 'N CARWASH
BELTON PLANNING COMMISSION
MONDAY, APRIL 19, 2021 – 6:00 P.M.
CITY HALL ANNEX BUILDING – 520 MAIN STREET**

APPLICATION

Applicant/Property Owner-Galyna Saltkovska, Steve McBee

Engineer-Quist Engineering/Robert Walquist, P.E.

Architect-Davidson A+E/Johnathon Phillips

Location-The property is located at 510 East North Avenue, at the entrance to the Price Chopper shopping center.

Request-The application was filed for approval of a Final Development Plan to permit the development of a McBee's Coffee N' Carwash.

BACKGROUND

This application was filed for a Final Development Plan for a McBee's Coffee 'N Carwash. This is a "high-end express tunnel carwash" that offers coffee to ride-thru customers and memberships that include coffee with a wash. The company is also developing a new facility in Liberty, Mo., and will further expand in the Kansas City and Midwest markets.

The applicant prepared the attached project narrative providing additional details.

The property is zoned a C-2 General Commercial District. A car wash is a permitted use in this zoning district, with certain conditions pertaining to drive-through facilities and vehicle stacking.

The subject property is a 37,597-square foot property on East North Avenue. The Final Development Plan provides for the 6,378-square foot tunnel carwash oriented toward East North Avenue. Access to the carwash is from the east/west access road to Price Chopper. Customer stacking and the pay kiosk are on the west side of the building, a vacuum and detail area are on the east side of the building. Exiting traffic will use the north/south access driveway.

FINAL DEVELOPMENT PLAN

The subject property is a .86-acre site located on the north side of East North Avenue at the entrance to the Price Chopper shopping center. Access to the site would be from existing private driveways, no new access is proposed to East North Avenue.

Compliance with C-2 Standards of the Unified Development Code (UDC):

The plan generally meets all requirements of the C-2 General Commercial District. The C-2 district is intended to provide mid-size retail and commercial businesses along commercial corridors.

Final Development Plan-McBee's Coffee 'N Carwash

Parking/vehicle stacking: For a carwash, the UDC requires 1 parking space for every wash bay. This requirement is not applicable for the tunnel wash. The plan provides six parking spaces, primarily for employees. Four employees work per shift, so parking is sufficient for this number of employees.

Four vehicle stacking spaces are required for a carwash. There are 18 spaces in the customer queue on the west side of the building.

All parking spaces meet all dimensional requirements for length, width, and maneuvering.

Required Yards/Setbacks:

1. Front yard- 30-foot required setback/27-foot setback proposed.
Due to the location of an underground electric easement on the north side of the parcel, the applicant is requesting an exception to the 30-foot required setback. Please see the attached letter detailing the 3-foot required front yard reduction.
2. Rear yard-20-foot setback required. 37-foot setback proposed.
3. Side yard-10-foot setback required. The east and west side-yards exceed requirements.

Maximum Building Height-35-foot maximum. 26-foot proposed height for the proposed building.

Maximum Building Coverage-25% maximum. 17% proposed building coverage.

Required Open Space-20% of total land area required. 23% open space provided.

A land-use analysis and site data table are found on Sheet A1.1, for overall project specifics.

Building Design: The UDC requires all new commercial buildings to include 50 percent masonry on the front and side elevations, with articulation and offsets to add architectural detail on all four sides. The primary materials on the building are brown and grey split-face block with a brick soldier course, and insulated glass windows with decorative canopies. There is a smooth architectural metal panel across the top of the structure.

The north and south elevations of the building include tower elements designed to provide a focal feature with contrasting materials of face brick and decorative metal.

This design and building materials meet the requirements of the Unified Development Code.

There is a trash enclosure on the plan. The enclosure will be constructed of masonry materials to match the building, with and appropriate screening/landscaping. There is no rooftop mechanical equipment on the building, units are ground-mounted and landscaped.

Landscaping: A landscape plan was submitted with the Final Development Plan. The landscape plan meets the requirements of the UDC. The plan provides 23 percent open space, exceeding the required 20 percent total landscape area, and provides the required shade trees, parking lot landscaping, and street trees.

Streets/access: As noted, access is provided to the site from existing private driveways. There is no new access proposed for East North Avenue.

Utilities: The plan includes a utility plan for water and sanitary sewer to serve the site. Staff has reviewed the utility plan and determined that the plan provides adequate public facilities.

Detention: The property is in the Markey Regional Detention Watershed. Payment of a fee in lieu of providing on-site detention is provided in the UDC.

STAFF RECOMMENDATION

The staff recommends approval of the request for a Final Development Plan for McBee's Coffee 'N Carwash, as noted in the staff report and shown on the development plan. The recommendation is subject to the following conditions:

1. The Final Development Plan for McBee's Coffee 'N Carwash is hereby approved, as shown on Final Development Plan by Davidson A+E, dated 3/13/2021, subject to additional conditions.
2. A reduction of the 30-foot required front yard is approved as an exception with the final development plan. A 27-foot front yard is approved, as the building cannot be relocated to meet the required setback due to an underground electric easement.

PLANNING COMMISSION ALTERNATIVES

1. Motion to **approve** a Final Development Plan for McBee's Coffee 'N Carwash.
2. Motion to **deny** a Final Development Plan for McBee's Coffee 'N Carwash
3. Motion to continue the application for further information.

ATTACHMENTS

1. Final Development Plan (10 pages)
2. Applicants narrative
3. Applicants request for front yard reduction
4. Area Map

project synopsis:

Governing Municipality: Belton, Missouri
 Governing Code: 2012 International Building Code
 Project Manager / Point of Contact: Johnathon R. Phillips
 Davidson Architecture & Engineering
 4301 Indian Creek Parkway
 Overland Park, Kansas 66207
 p. 813.451.8300
 Owner: McBee Coffee N' Carwash, Inc.
 Civil Engineer: Robert Walquist, PE
 821 NE Columbus Street
 Lee's Summit, Missouri 64063
 p. 816.550.5675
 Site Area: 37,597 sq. ft., +/- 0.86 acres
 Building Area: 6,378 sq. ft.
 Zoning: C-2 (General Commercial)
 Proposed Imperv. Area: 29,105 sq. ft. (0.67 acres) 77%
 Proposed Green Space: 8,492 sq. ft. (0.19 acres) 23%
 Parking: 14 employees per shift
 12 standard vacuum bays
 1 handicap vacuum bay
 5 standard spaces
 1 Handicap
 Total: 19 spaces provided



2 vicinity map
not to scale

Building setbacks: C-2 zoning
 front - 30'-0"
 side - 10'-0"
 back - 20'-0"

sheet index:

- A1.1 architectural site plan
- L1.1 landscape plan
- C200 civil site plan
- A2.1 floor plan
- A3.1 exterior elevations
- A3.2 signage details
- A4.2 wall sections
- PH1 site photometric plan
- PH2 light fixture details
- EX.1 color exterior elevations

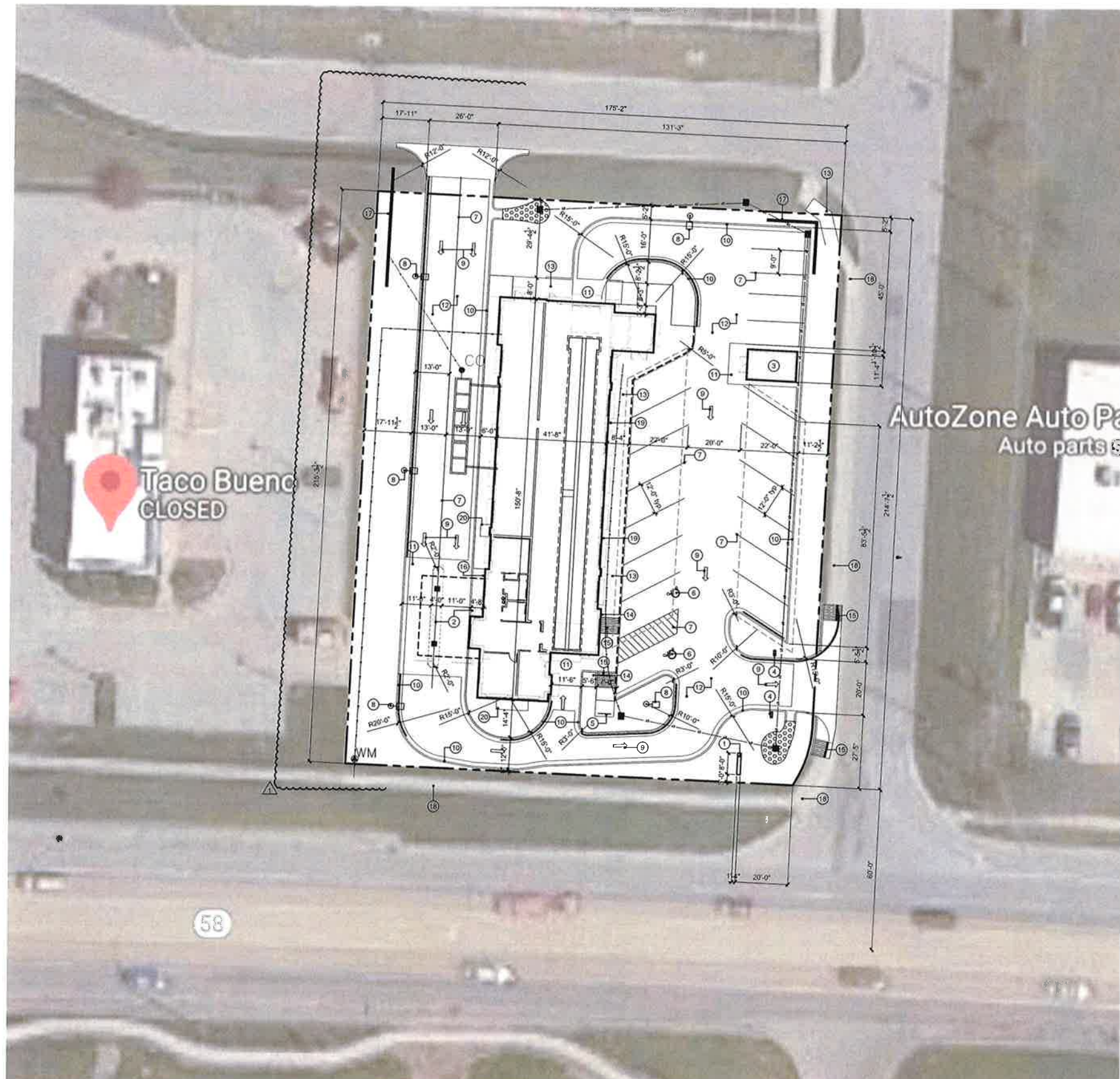
general notes:

- All construction shall conform to the standards and specifications of Belton, Missouri.
- The general contractor shall contact all utility companies prior to the start of construction and verify the location and depth of any utilities that may be encountered during construction.
- The contractor shall field verify exist. surface & subsurface ground conditions prior to start of construction.
- Slopes shall maintain a maximum 3:1 slope.
- The contractor shall be responsible for obtaining all required permits, paying all fees, and otherwise complying with all applicable regulations governing the project.
- General contractor and all subcontractors must register with the Building Department before issuance of permit.
- Energy code requirements and inspections are to be performed by a third party inspector, supplied by General Contractor and/or owner. The City will not perform energy related inspections, however, documentation is required to verify compliance of the energy code requirements.
- Place silt fences per civil for erosion control.
- Provide a temporary gravel access drive to prevent mud from being deposited onto the adjacent road.
- Prior to installing any structure on a public storm sewer, the contractor shall submit shop drawings for the structure(s). Installation shall not occur until drawings have been approved by public works.
- Prior to installing, constructing, or performing any work on the public storm sewer line (including connecting private drainage to the storm system) contact the city for inspection of the work. Contact must be made at least 48 hours prior to the start of work.
- Connections to the public storm sewer between structures will not be permitted.
- Exterior wall finishes shall be required to match the adjacent building color.
- Prior to final inspection, the general contractor shall meet with the Belton Fire Department to designate fire lane and fire lane sign locations to be installed per Fire Department direction and requirements.
- A Knox Box will be installed on the front of the building facing the street or road.
- Caulk joint at perimeter of building around sidewalk. Color to match building colors. GC shall take care not to seal any exterior finish drainage elements.

construction notes:

1. Monument sign per detail 2/A3.2. Footing by GC and sign by signage supplier. GC shall install electrical per electrical drawings.
2. Pay station equipment by others. Footings by GC and equipment by supplier. GC shall install electrical per electrical drawings.
3. Trash / vacuum turbine enclosure per detail 2/A2.1.
4. Furnish and install masonry block retaining wall per detail 2/A1.3.
5. Furnish and install masonry block retaining wall per detail 2/A1.3.
6. Furnish and install masonry block retaining wall per detail 2/A1.3.
7. ADA parking stall per civil drawings.
8. Not used.
9. Check and base per electrical drawings.
10. White thermoplastic directional markings per detail.
11. Concrete paving to meet Geotechnical specifications and per civil drawings.
12. Asphalt paving to meet Geotechnical specifications and per civil drawings.
13. New concrete sidewalk per civil.
14. Handicap parking sign per detail B/A1.3.
15. Accessible ramp at sidewalk per civil.
16. Furnish and install a Knox Box at 60" x 60" x 6" for fire department access. Contact Putnam Fire Prevention for ordering information and to coordinate location prior to installation.
17. Furnish and install masonry block retaining wall per civil drawings.
18. Existing public sidewalk to remain.
19. Develop and install storm system per civil drawings.
20. Furnish and install mechanical screen per details on sheet A3.2.

Project Architects Statement
 The building design and materials, to the best of my knowledge, meet the requirements outlined in Section 28-1 and 28-2 of the Belton Unified Development Code.



1 site plan
scale: 1" = 20'-0"



a new building for
McBee Coffee N' Carwash
 510 E North Avenue
 Belton, Missouri 64012

date: 02.22.2021
 drawn by: DAE
 checked by: DAE
 revisions:
 03.31.2021

sheet number:
A1.1
 drawing type:
 FDP
 project number:
 20212-02

Tree and Shrub Planting List

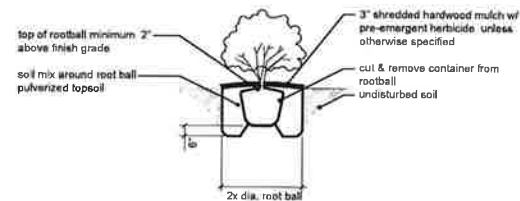
	ITEM	QTY.	COMMON NAME	BOTANICAL NAME	SIZE & CONDITION	MATURE HEIGHT
TREES SHADE / EVERGREEN / DECIDUOUS	SHL	3	SUNBURST HONEY LOCUST	GLEDITSIA TRIACANTHOS 'SUNBURST'	2.5" CAL.	30' - 35'
	SBM	6	SWEETBAY MAGNOLIA	MAGNOLIA VIRGINANA	2.5" CAL.	10' - 20'
	WP	2	WHITE PINE	PINUS STROBUS	6' - 8' TALL	8'-12'
SHRUBS	CB	37	COMMON BOXWOOD	BUXUS SEMPERVIRENS	3-5 GALLON	24" - 30"
	GFS	38	GOLDFLAME SPIREA	SPIRAEA X BUMALDA	3-5 GALLON	24" - 30"
	DBB	6	DWARF BURNING BUSH	EUONYMUS ALATA 'COMPACTA'	3-5 GALLON	48" - 60"
GRASS	TH	27	TUFTED HAIRGRASS	DESCHAMPSIA CESPITOSA	1 GALLON	18" - 36"
GROUND COVER	1" - 3" WASHED RIVER ROCK					

General Landscaping Notes

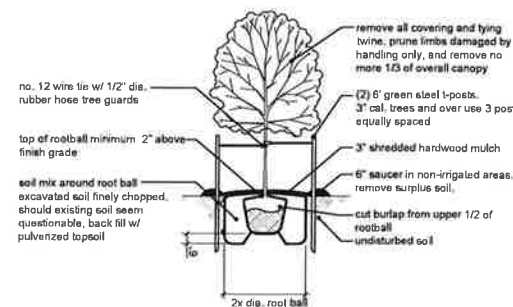
- Landscaping shall be coordinated with the location of utilities, driveways and traffic clearance zones.
- The contractor doing excavation on public right-of-way shall give 48 hours advance notice to and obtain information from utility companies.
- Prior to commencement of work, the contractor shall notify all those companies which have facilities in the near vicinity of the construction to be performed.
- Existing underground, overhead, utilities and drainage structures have been plotted from available information and therefore, their locations must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies to locate their utilities before actual construction.
- Contractor shall verify location of and protect all utilities and structures. Damage to utilities and structures shall be repaired by the contractor to the satisfaction of the owner at no additional expense.
- Entire site to be irrigated by underground system, including right of way as req'd. (limits of sod including all other disturbed areas and all planting beds)
- Irrigation system shall include an automatic rain sensor.
- All landscape materials shall be installed in accordance with the current planting procedures established by the most recent edition of the American Standard for Nursery Stock.
- Trees planted per this plan shall be installed during the spring (march 15 through june 15) or fall (september 15 through december 1). Written city approval will be required for planting during other times of the year.
- Stake and guy all trees per planting details.
- Install all shrubs and groundcover per planting details.
- Elevation of top of mulch shall be 12" below any adjacent pavement/hurf areas.
- Root stimulator shall be applied to the soil backfill of each plant during installation.
- Contractor shall verify all landscape material quantities and shall report any discrepancies immediately to the Landscape Architect.
- Contractor shall stake plant locations in the field and have approval by the Landscape Architect before proceeding with installation.
- Contractor shall guarantee all plant material for a period of one (1) year from date of initial acceptance. Contractor is responsible for maintaining plant material until acceptance is received. Maintenance shall include watering, maintaining plants in vertical position and shrub bed weed control.
- All plant material shall meet or exceed minimum requirements defined by the "American Standard for Nursery Stock" ANSI Z60.1.
- No plant material shall be substituted without written approval of the Landscape Architect per specifications.
- Trees and seasonal color areas shall be mulched with three (3) inches minimum shredded hardwood mulch. Planting beds as delineated shall be separated from pavement/hurf areas with metal edging and mulched with three (3) inches minimum shredded hardwood mulch over weed barrier fabric, except where otherwise specified.
- All existing plant material to be retained shall be wrapped with orange, or bright, colored plastic snow fence around base of trees and around all shrubs. Stake to hold in place during construction.
- All shrubs used as parking buffer to be min. 18" tall at planting and maintained 3'-0" max. height. Install plants not to encroach upon cars parked, when at full growth.
- All trees with above a 2" caliper shall be double staked, while smaller trees shall be single staked.
- Ground mechanical and electrical equipment shall be wholly screened from street right-of-way and residential developments.
- Maximum slope shall be not greater than 3:1.
- All portions of site not covered by paving, mulch, plantings, etc. are to be sodded. Sod shall extend to all disturbed areas and shall include portions of right of way if necessary. Maintain positive drainage.
- Slightly mound all islands at 2" per 12" run.
- Set shrubs a minimum of 3 feet from other site structures - walls, walks or curbs.
- Any stiff branched, fruiting or plants with thorns that can damage vehicles are strictly prohibited.
- Utilize washed river rock cover at all planted areas adjacent to building perimeter and hardwood mulch in planting beds throughout remainder of site, unless noted otherwise.

Landscaping Calculations

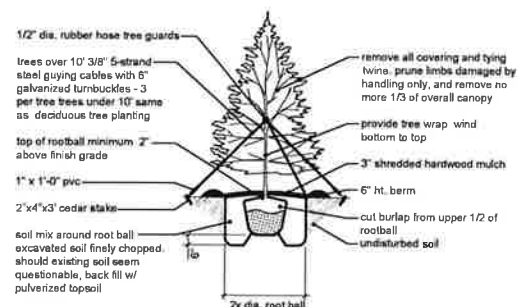
- Parking Lot Landscaping:**
- 1 island per 10 parking spaces @ 19 = 2 islands required, 3 provided
 - 1 shade tree & 3 shrubs per island = 2 trees and 6 shrubs required, 2 trees and 49 shrubs provided
- Street Trees**
- North Avenue - 1 per 30 l.f. @ 169 l.f. = 6 street trees required, 6 provided
- Parking Landscaping**
- East property line - 6' landscape strip with 1 tree per 40 l.f. @ 156 l.f. of parking = 4 required, 4 provided



2 shrub planting detail
not to scale



4 deciduous tree planting detail
not to scale



3 evergreen tree planting detail
not to scale



1 site plan
scale: 1" = 20'-0"



a new building for

McBee Coffee N' Carwash

510 E North Avenue
Belton, Missouri 64012

date: 02.22.2021
drawn by: DAE
checked by: DAE
revisions: 1
03.31.2021

sheet number

L1.1

drawing type: FDP
project number: 20212-02

SITE LAYOUT PLAN

McBEE'S COFFEE 'N CARWASH

BELTON, CASS COUNTY, MISSOURI

DEVELOPER:
McBEE CUSTOM HOMES
Ph.# 816-898-5975

DESCRIPTION:
LOT 6 OF CREST PLAZA SECOND PLAT
A SUBDIVISION IN BELTON, CASS COUNTY, MISSOURI

PLAN NOTES:

- 1 HEAVY ASPHALT PAVEMENT RE: SEE SHEET C210
- 2 LIGHT CONCRETE PAVEMENT RE: SEE SHEET C210
- 3 HEAVY CONCRETE PAVEMENT RE: SEE SHEET C210
- 4 ACCESSIBILITY RAMP RE: SEE SHEET C210
- 5 PAINT ACCESSIBLE PARKING SYMBOLS ACCORDING TO APWA PAVEMENT MARKING STANDARDS. RE: SEE SHEET C210
- 6 INSTALL ACCESSIBLE PARKING SIGN "TYPE B" RE: SEE SHEET C210
- 7 STRIPE PAVING WITH 4" WIDE STRIPE & PAINT ACCORDING TO APWA PAVEMENT MARKING STANDARDS.
- 8 STRAIGHT BACK CURB & GUTTER (WET) RE: SEE SHEET C210
- 9 STRAIGHT BACK CURB & GUTTER (DRY) RE: SEE SHEET C210
- 10 CURB WALK RE: SEE SHEET C210
- 11 EQUIPMENT/TRASH ENCLOSURE RE: SEE ARCHITECTURAL PLANS
- 12 SIDEWALK RE: SEE SHEET C210
- 13 RETAINING WALL RE: SEE SHEET C210
- 14 CONCRETE FLUME RE: SEE SHEET C210
- 15 5' CITY SIDEWALK RE: SEE CITY DETAILS

GENERAL NOTES:

1. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
2. PERFORM TEMPORARY EROSION CONTROL MEASURES IN ACCORDANCE WITH ALL STATE & LOCAL REQUIREMENTS. TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT IMPROVEMENTS ARE IN PLACE.
3. ALL PARKING STALLS SHALL BE MARKED W/ A 4" WIDE STRIPE. PARKING STRIPES TO BE PAINTED ACCORDING TO SPECIFICATIONS.
4. CONSTRUCT ALL SIDEWALKS WITH 2% MAX. CROSS SLOPE AWAY FROM BUILDING UNLESS OTHERWISE SHOWN ON PLANS.
5. PLACE EXPANSION JOINTS, IN SIDEWALKS AT 50' MAX. SPACING, AT ALL DIRECTION CHANGES AND WHEN ADJACENT TO BUILDINGS.
6. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
7. LAYOUT ALL SIDEWALKS AND PAVEMENT APPROX TO LINES SHOWN. FINAL APPROVAL BY ARCHITECT PRIOR TO COMMENCEMENT

UTILITY NOTES:

1. PUBLIC SANITARY SEWER MAIN EXTENSION IS NOT PROPOSED WITH THIS PROJECT.
2. PUBLIC WATER MAIN EXTENSION IS NOT PROPOSED WITH THIS PROJECT.

PERVIOUS VS IMPERVIOUS CALCULATIONS

LOT SIZE	37,597SF
IMPERVIOUS SURFACES	
BUILDINGS/ SIDEWALKS	
DRIVES/PARKING	
WALKS/MISC.	29,105SF
TOTAL	29,105SF
CALCULATIONS	
-I- = 77% IMPERVIOUS	23% PERVIOUS (GREEN)

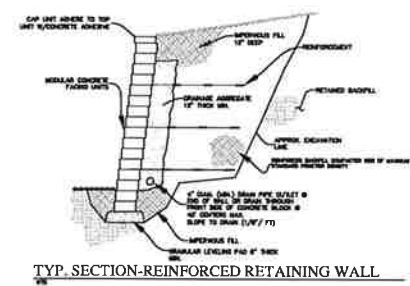
STORM WATER / BMP NOTES
1. THIS LAND IS PART OF THE REGIONAL DETENTION BASIN SO NO DETENTION IS PROPOSED WITH THIS PROJECT.

LINE LEGEND

PROPOSED	EXISTING

SYMBOL LEGEND

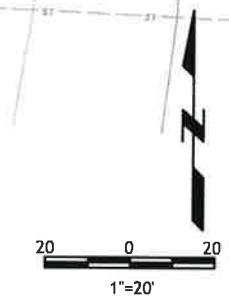
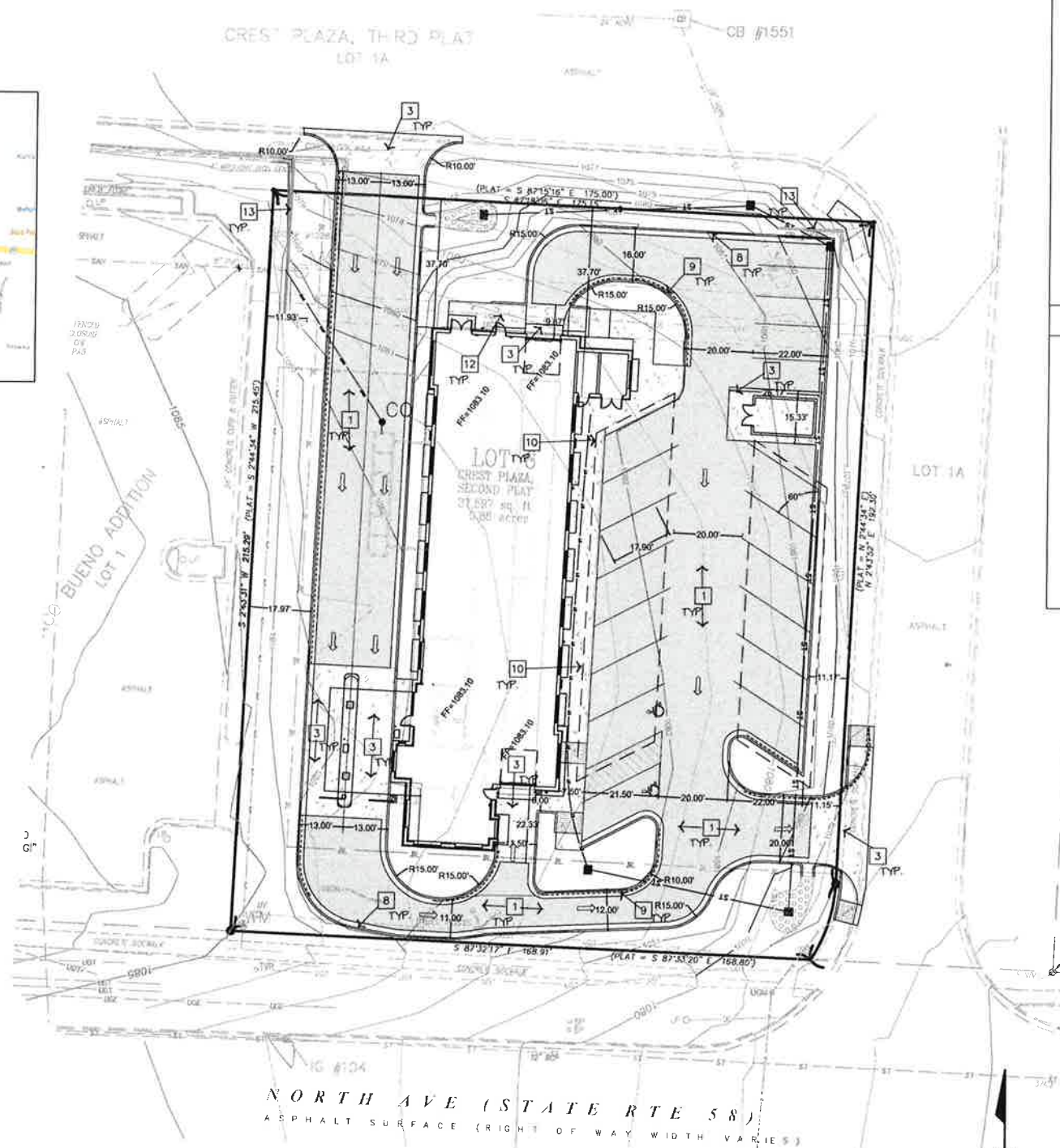
PROPOSED	EXISTING



NOTE:
1. MAX HEIGHT THIS PROJECT IS 3.5 FEET

PRIVATE IMPROVEMENTS NOT FOR BIDS.
1. CURB / CURB WALK=if
2. PAVEMENT= sf
3. CONCRETE SIDEWALK = sf

PUBLIC IMPROVEMENTS
1. NONE



McBee's Coffee 'N Carwash
BELTON, CASS COUNTY, MISSOURI

Quist Engineering, Inc
Civil Engineering for Residential & Commercial Site Development
821 NE Columbus St.
Lee's Summit, Missouri 64063
Phone: (816) 550-5675
Email: rwalquist@quistengineering.com

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REVISIONS
▲ 2-17-21
▲ 3-31-21
▲
SHEET NO.
C200
JOB NO. E20-318

SITE LAYOUT PLAN

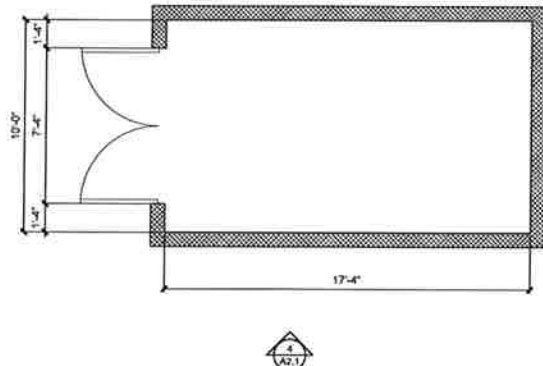
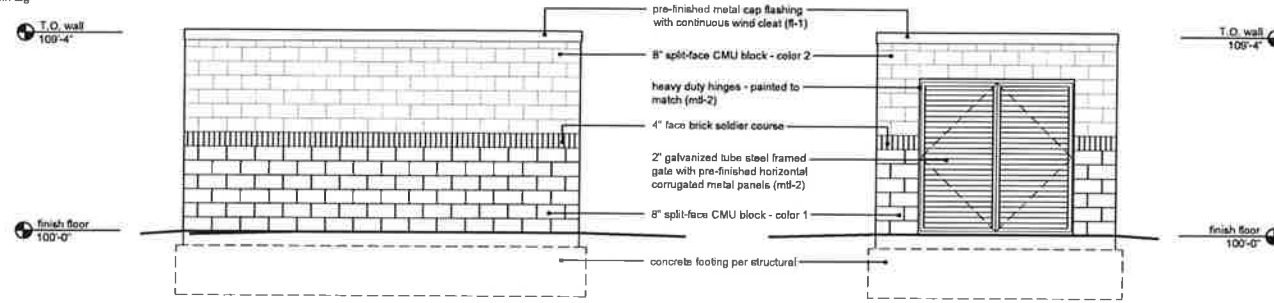
PROJECT CONTACTS: ROBERT WALQUIST, P.E.
821 NE COLUMBUS ST
LEE'S SUMMIT, MISSOURI 64063
Phone: (816) 550-5675

general notes:

- All construction shall conform to the standards and specifications of Belton, Missouri.
- Double keyed locks are not permitted on any required or marked exit.
- Provide 3A-40BC fire extinguishers (min. 5 lb.) - location & quantity per Fire Marshal.
- Exit / emergency lighting are subject to an on site inspection.
- Furnish and install approved address numbers on front and rear of building (5" white vinyl numbers to contrast).
- HVAC system to have approved interconnected, smoke detector activated, automatic shutoff with the detectors located in the return duct.
- Building construction must fully comply with all requirements of ADA accessibility guidelines.
- Provide 3-1/2" batt insulation in wall construction between conditioned & unconditioned spaces. Insulation to have a minimum R-13 value.
- Exit doors shall be operable from the inside without the use of a key or any special knowledge or effort.
- Provide electrical outlets at 15' a.f.f. to the lowest outlet per ADA.
- Furnish and install supply and return per MEP drawings.
- Egress illumination will be provided at an intensity of not less than 1 foot candle at floor level & at the exterior of the building.
- Provide 1/4" tempered glass in all interior windows & sidelights (typical unless noted otherwise).
- Provide 44" min. clear in all exit passageways.
- Any new exterior utility service equipment shall be painted to match the building standard colors.
- Furnish and install horns & strobes as required.
- All electrical outlets within 6'-0" of any sink or water source to be GFCI protected.
- Furniture to be provided by the tenant throughout.
- Furnish and install adequate power for owner supplied equipment. Verify requirement with owner.
- Construction materials exposed within plenums shall be noncombustible or shall have a flame spread rating of not more than 25 and a smoke developed rating of not more than 50.
- All low voltage wire and cable, optical fiber, pneumatic tubing, and all ducts and duct coverings, linings and connectors installed within plenum areas must be rated for plenum use.
- The general contractor shall contact all utility companies prior to start of construction and verify the location and depth of any utilities that may be encountered during construction.
- The contractor shall field verify existing surface and subsurface ground conditions prior to start of construction.

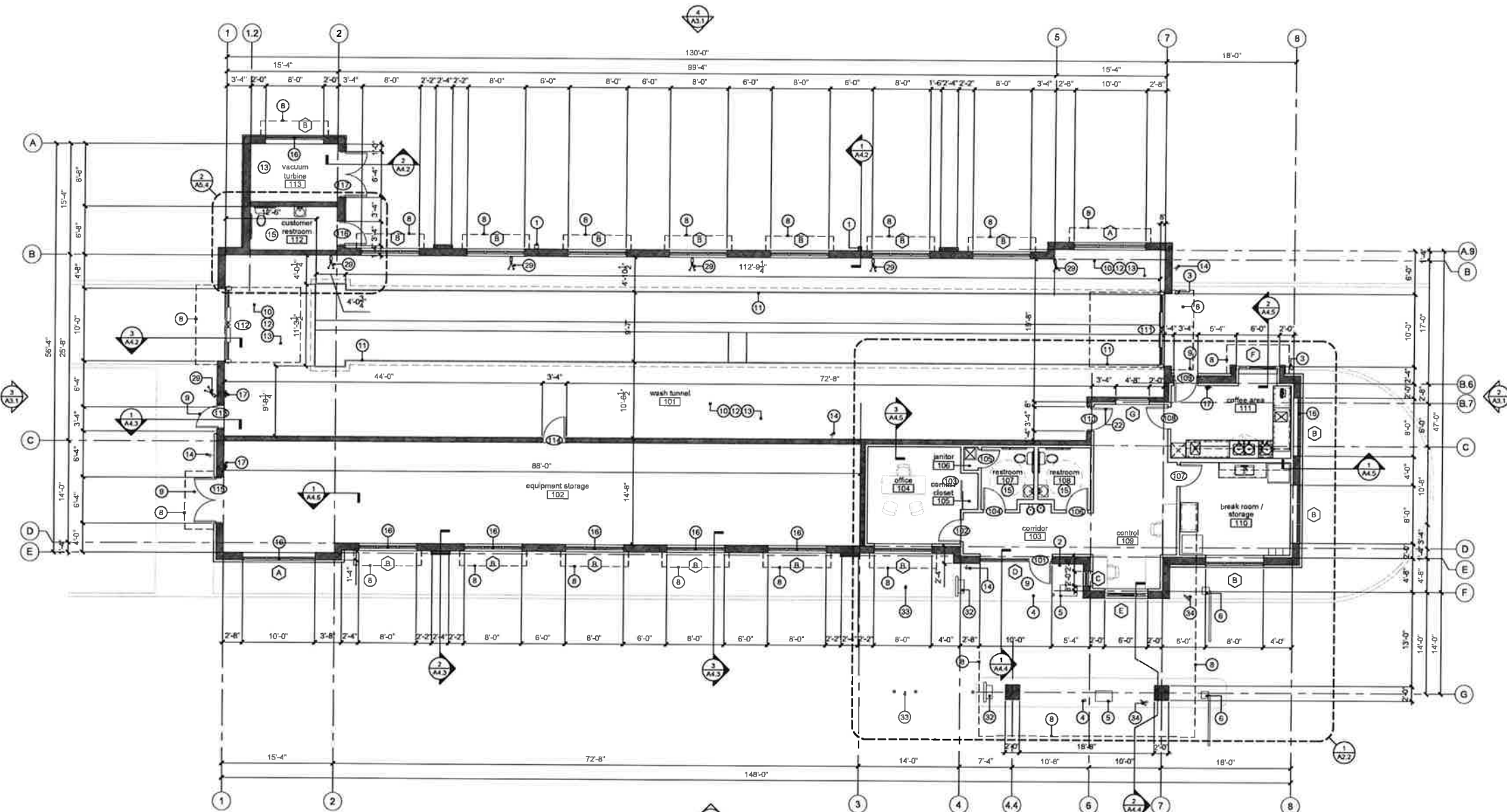
symbol legend:

- room name
- room tag
- door tag
- construction note
- partition tag
- window tag
- RCP note
- elevation tag
- wall section tag
- enlarged detail
- column tag



construction notes:

- Furnish and install pre-finished metal collector box and 6x6 downspout to tie into storm drain per civil drawings.
- Furnish and install Knox Box at 6'-0" a.f.g. - verify location with Fire Marshal.
- Furnish and install 6" dia. pea gravel concrete filled galvanized steel pipe bollard per detail - to be painted.
- Furnish and install 4" dia. pea gravel concrete filled galvanized steel pipe bollard to 38" a.f.g. per detail - to be painted.
- Pay station kiosk by supplier. GC shall provide footing per structural drawings and power per electrical drawings.
- Pay station gate by supplier. GC shall provide footing per structural drawings and power per electrical drawings.
- Loop detector requirements by supplier. GC to install.
- Line of canopy above.
- Furnish and install concrete stoop to frost depth per structural.
- Slope floor to drain at 1/8" per foot minimum.
- Install concrete pit per structural and car wash equipment supplier drawings. Route system through oil / sand interceptor. Tie into sanitary as required per MEP drawings.
- Coordinate lighting, electrical and plumbing requirements at car wash tunnel with supplier.
- Car wash equipment shown for reference only, final equipment layout per equipment supplier.
- Furnish and install Esal/Wash cleaning system. Provide adequate power and plumbing per MEP drawings.
- Furnish and install restroom with 5' dia. turning radius per ADA, wall mount sink at 2'-10" a.f.f. per ADA, 36" & 42" horizontal grab bars at 33-36" a.f.f. - 6" & 12" from corner respectively and 18" vertical grab bar per detail. Include 24" x 48" mirror and paper towel dispenser with trash receptacle. Double roll toilet paper dispenser and wall mounted soap dispenser. Provide wood blocking in wall for all wall mounted items.
- Furnish and install spandrel glass on lower pane of glass below 7'-0".
- Furnish and install 3A-40BC rated fire extinguisher (min. 5 lb.) on hook - mount no higher than 5'-0" to top of extinguisher. Verify quantity and final location with Fire Marshal and confirm with architect.
- Furnish and install janitor mop basin, hose extension and mop rack. Install full height FRP on walls.
- Furnish and install hi / low drinking fountain at 34" a.f.f. to spout with forward controls per ADA.
- Furniture shown for reference only, will be provided by owner throughout.
- Furnish and install 12w. x 12d., double height, metal lockers with 4" metal base and sloped metal top.
- Furnish and install sign on coffee side of door stating: "THIS IS NOT AN EXIT".
- Furnish and install upper and lower plastic laminate (pl-1) casework at 2'-10" a.f.f. with double basin stainless steel sink with goose neck faucet and plastic laminate (pl-2) countertop. Provide adequate electrical and plumbing for full height refrigerator with ice maker and microwaves.
- Furnish and install blocking in wall at hand sink mounting locations.
- Stainless steel corner guard. Install from top of base to bottom of ceiling.
- POS provided by owner. GC shall provide adequate power and data per electrical drawings.
- Furnish and install manual open / self closing, single panel slider, drive-thru window (Ready Access model #275) - color black anodized to match storefront system.
- Furnish and install stainless steel hand sink at 2'-10" a.f.f. with soap dispenser, hand sanitizer dispenser and paper towel dispenser mounted above. Provide blocking in wall as required and seal around sink to walls.
- Furnish and install adequate power for tunnel sensor camera per supplier verify final quantity and location with supplier.
- Furnish and install plastic laminate (pl-2) sill.
- Furnish and install 4" dia. pea gravel concrete filled galvanized steel pipe bollard to 24" a.f.g. per detail - to be painted.
- Smart signage by supplier. GC shall provide footing per structural drawings and power per electrical drawings.
- Fast ID camera by supplier. GC shall provide footing per structural drawings and power per electrical drawings.
- FastPass reader by supplier. GC shall provide footing per structural drawings and power per electrical drawings.
- Stacked electric washer / dryer. Provide adequate plumbing and electrical per MEP drawings.
- Furnish and install Hunter Douglas Contrast (or approved equal) manual roller shades at exterior window. Confirm 3% openness factor - color 13D.
- Continue 2x4 wood stud wall and gypsum board across window opening to 7'-2" a.f.f.
- Electrical service disconnect per electrical drawings.



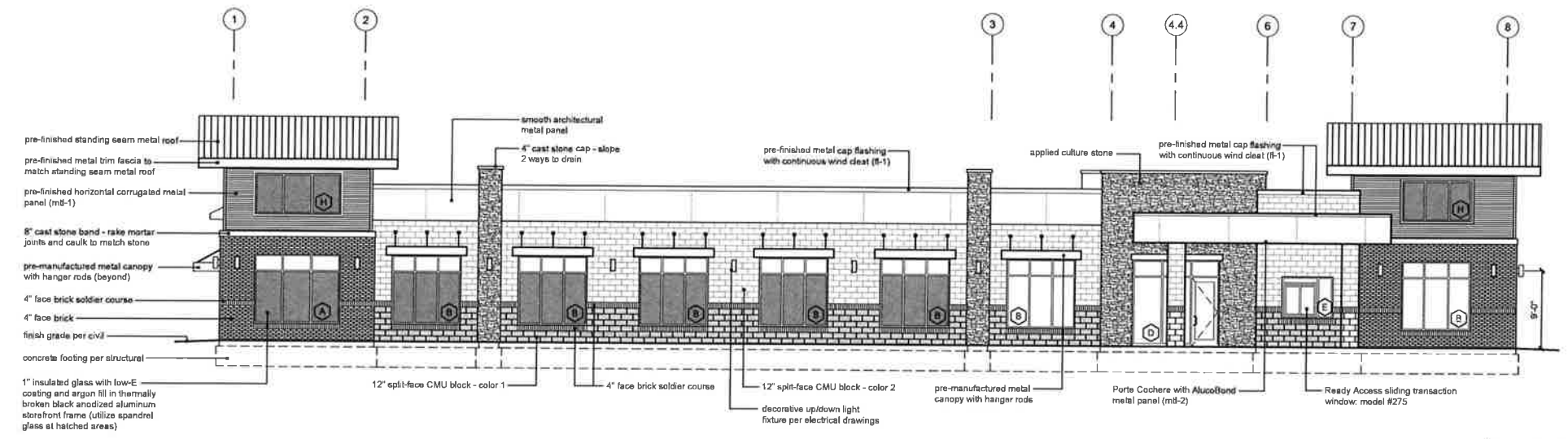
a new building for
McBee Coffee N' Carwash
510 E North Avenue
Belton, Missouri 64012

date 02.22.2021
drawn by DAE
checked by DAE
revisions

sheet number
A2.1
drawing type FDP
project number 20212-02

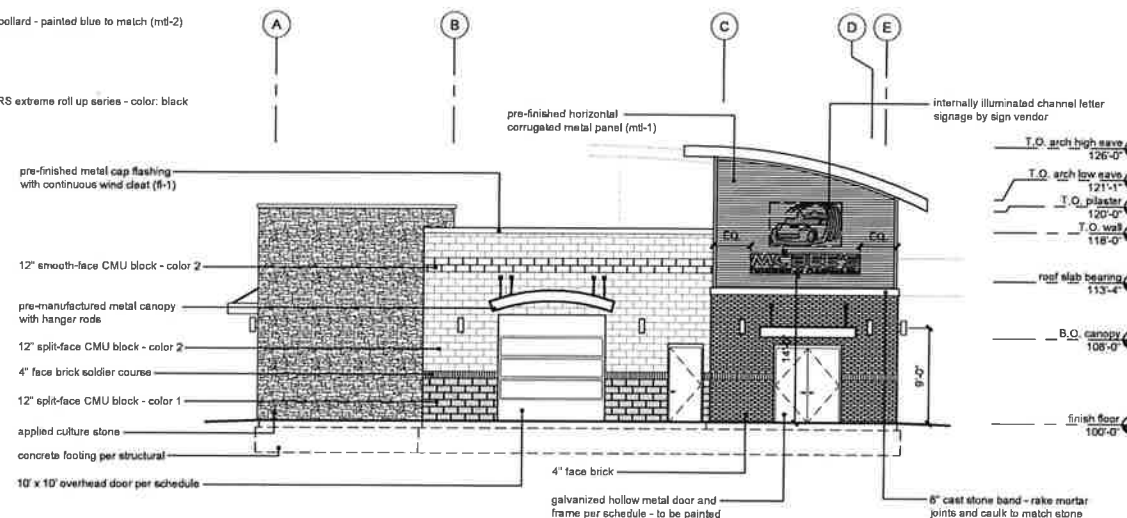
exterior materials and finishes:

- Brick**
4" face brick - Echelon - color: white
- CMU**
color 1 - Echelon - color: coal
color 2 - Echelon - color: limestone
* 8" and 12" CMU block, utilize split-face and smooth-face block
* all block and mortar shall include integral water repellent.
- Stone**
applied culture stone - Canyon Stone - mountain ledge stone, color: black mountain
* or approved equal
- Stone Cap & Sill**
cast stone - Midwest Cast stone - color: 1A
* or approved equal
- Mortar**
integral color: buff
- Exterior Metal Panels:**
ml-1 - horizontal corrugated metal panel - color: charcoal
ml-2 - AlucoBond Architectural panel - color: ultramarine blue
ml-3 - pre-finished soffit panel - color: to match (ml-2)
- Standing Seam Roof:**
Berridge - Double Cee Lock - color: blue
- Storefront Frame:**
black anodized aluminum frame
- Glass:**
clear glass - 1" insulated, low-E glass with argon fill
spandrel glass - 1" insulated, low-E glass with argon fill, color - charcoal (spandrel glass locations are noted by hatch in elevations) (provide examples to architect for final approval)
* utilize Solarban 80 (2) - clear as basis of design
* or approved equal to meet U-value of 0.29 and SHGC of 0.39
- Flashing:**
fl-1 - metal cap flashing - Firestone - color: electric blue
- Caulk:**
to match adjacent wall
- Canopy**
pre-finished Lumishade sun control canopies - Mapes Industries - color: interstate blue
- Bollards:**
4" & 6" diameter galvanized steel pipe bollard - painted blue to match (ml-2)
- Hollow Metal Doors:**
painted to match CMU color 1
- Overhead Door:**
vinyl roll up door - Airlift Doors, Inc. - XRS extreme roll up series - color: black



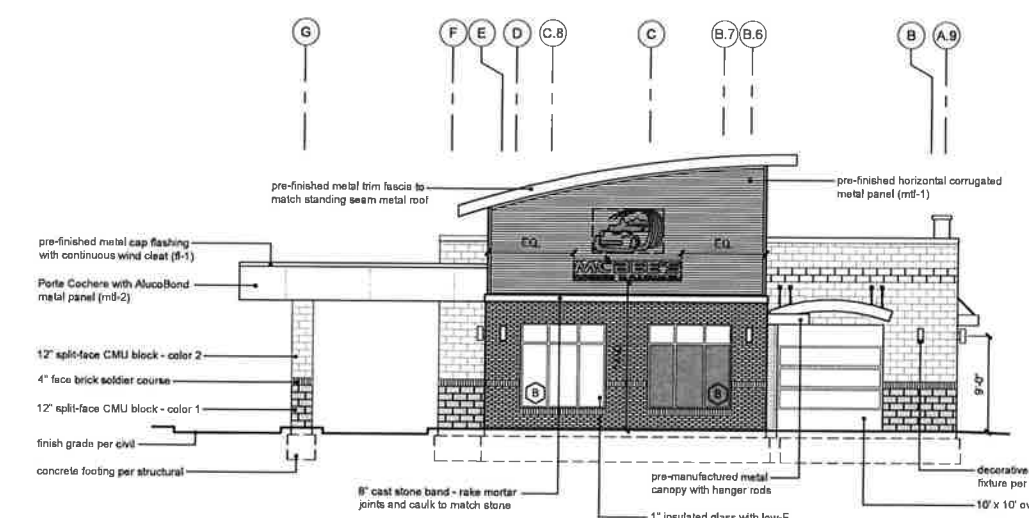
- T.O. arch high eave 126'-0"
- T.O. arch low eave 121'-1"
- T.O. plaster 120'-0"
- T.O. wall 118'-0"
- roof slab bearing 113'-4"
- B.O. canopy 110'-0"
- finish floor 100'-0"

1 front elevation
scale: 1/8" = 1'-0"



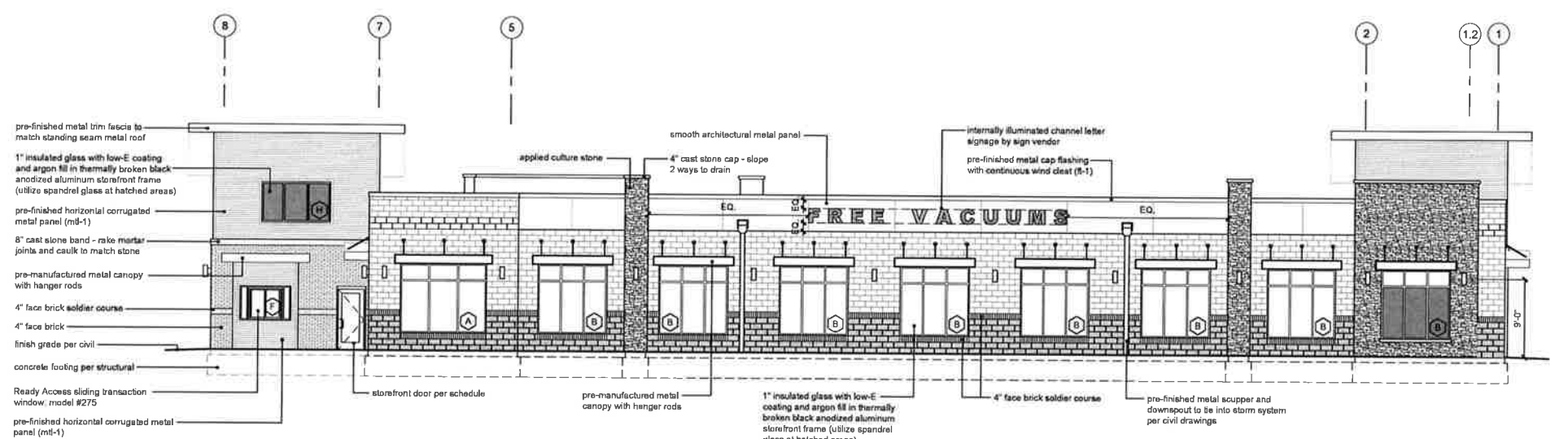
- T.O. arch high eave 126'-0"
- T.O. arch low eave 121'-1"
- T.O. plaster 120'-0"
- T.O. wall 118'-0"
- roof slab bearing 113'-4"
- B.O. canopy 108'-0"
- finish floor 100'-0"

3 CW exit elevation
scale: 1/8" = 1'-0"



- T.O. arch high eave 126'-0"
- T.O. arch low eave 121'-1"
- T.O. plaster 120'-0"
- T.O. wall 118'-0"
- roof slab bearing 113'-4"
- B.O. canopy 110'-0"
- finish floor 100'-0"

2 CW entry elevation
scale: 1/8" = 1'-0"



- T.O. arch high eave 126'-0"
- T.O. arch low eave 121'-1"
- T.O. plaster 120'-0"
- T.O. wall 118'-0"
- roof slab bearing 113'-4"
- B.O. canopy 110'-0"
- finish floor 100'-0"

4 back elevation
scale: 1/8" = 1'-0"

a new building for
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510 E North Avenue
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date
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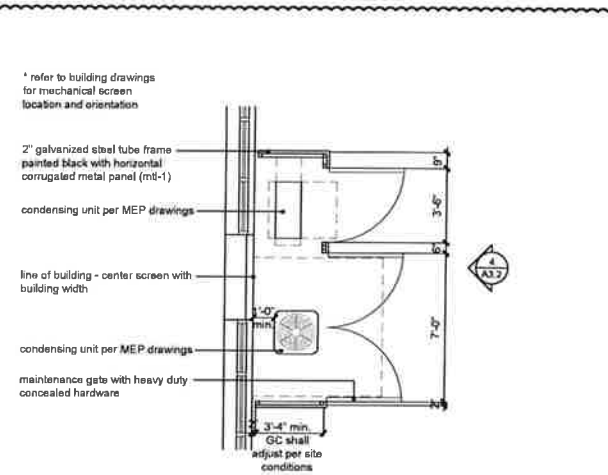
sheet number
A3.1
drawing type
FDP
project number
20212-02

Sign Specifications

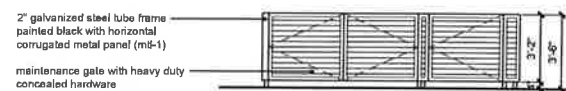
1. Building signs: provide conduit and wire from electrical panel to the sign. The conduit is to be 1" and have one set of 10/2 wire with ground.
2. Final electrical connections for sign shall be the sign vendors responsibility since the "J" box and wires are in place.
3. Pylon / monument signs: provide conduit from electrical panel to location of the pylon / monument sign base bury conduit under parking area. The conduit is to be 1" and have one set of 10/2 wire with ground.
4. Provide maximum allowable signage by the AHJ.

Signage Coverage			
elevation	elevation sqft	signage sqft	coverage %
front	3,061	0	1.63%
CW entry	1,057	47.2	4.46%
CW exit	1,245	47.2	3.79%
back	2,429	50	2.05%

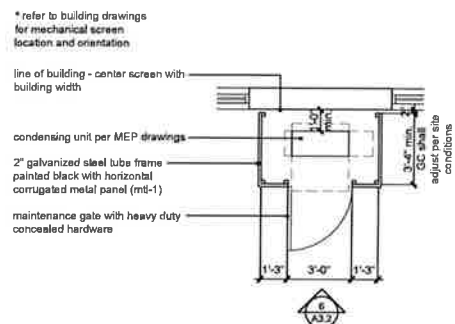
Building Signage (internally lit)		
sign	overall size	sign sqft
main logo w/ tagline (S1)	10'-3" X 6'-9"	47.2
McBee Coffee N' Carwash (S2)	10'-3" X 1'-11"	19.6
free vacuums (S3)	30'-0" X 1'-6"	50
monument sign	7'-8" X 4'-4"	30 / side
directional sign	2'-0" X 1'-0"	2



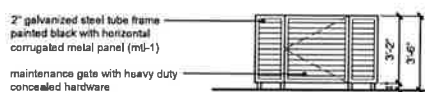
3 mechanical screen plan
scale: 1/4" = 1'-0"
north



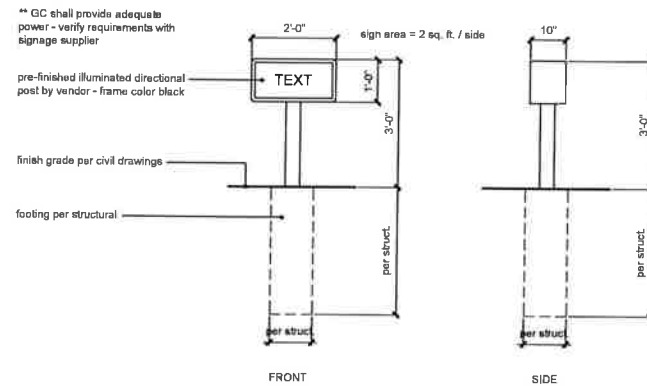
4 mechanical screen elevation
scale: 1/4" = 1'-0"



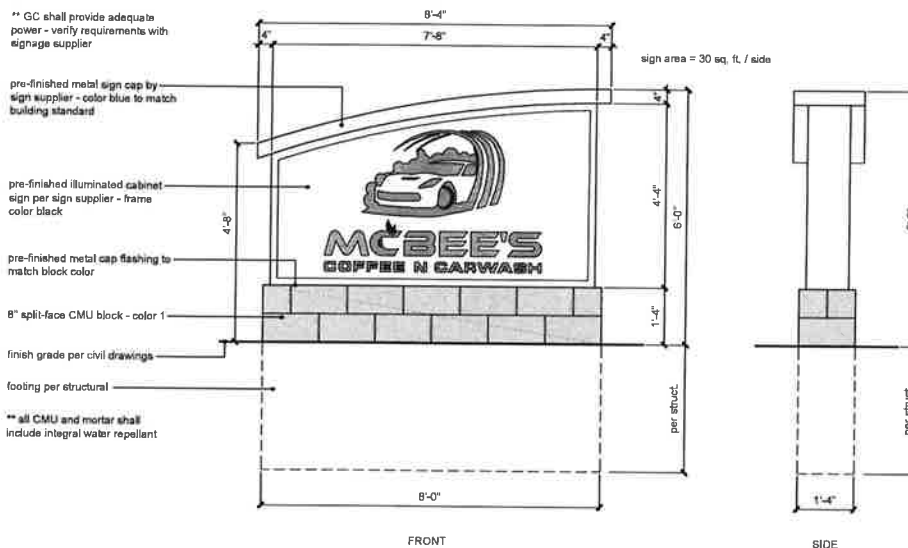
5 mechanical screen plan
scale: 1/4" = 1'-0"
north



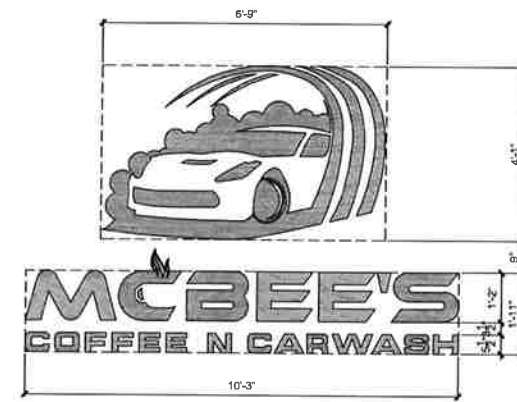
6 mechanical screen elevation
scale: 1/4" = 1'-0"



1 directional sign
scale: 1/2" = 1'-0"



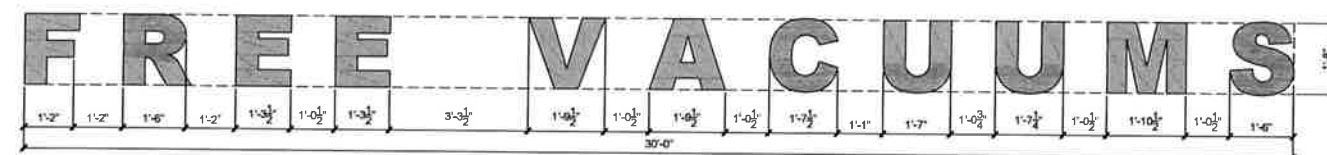
2 monument sign
scale: 1/2" = 1'-0"



S1: main logo with tagline - internally lit sign
scale: 1/2" = 1'-0"



S2: McBee Coffee N' Carwash - internally lit sign
scale: 1/2" = 1'-0"

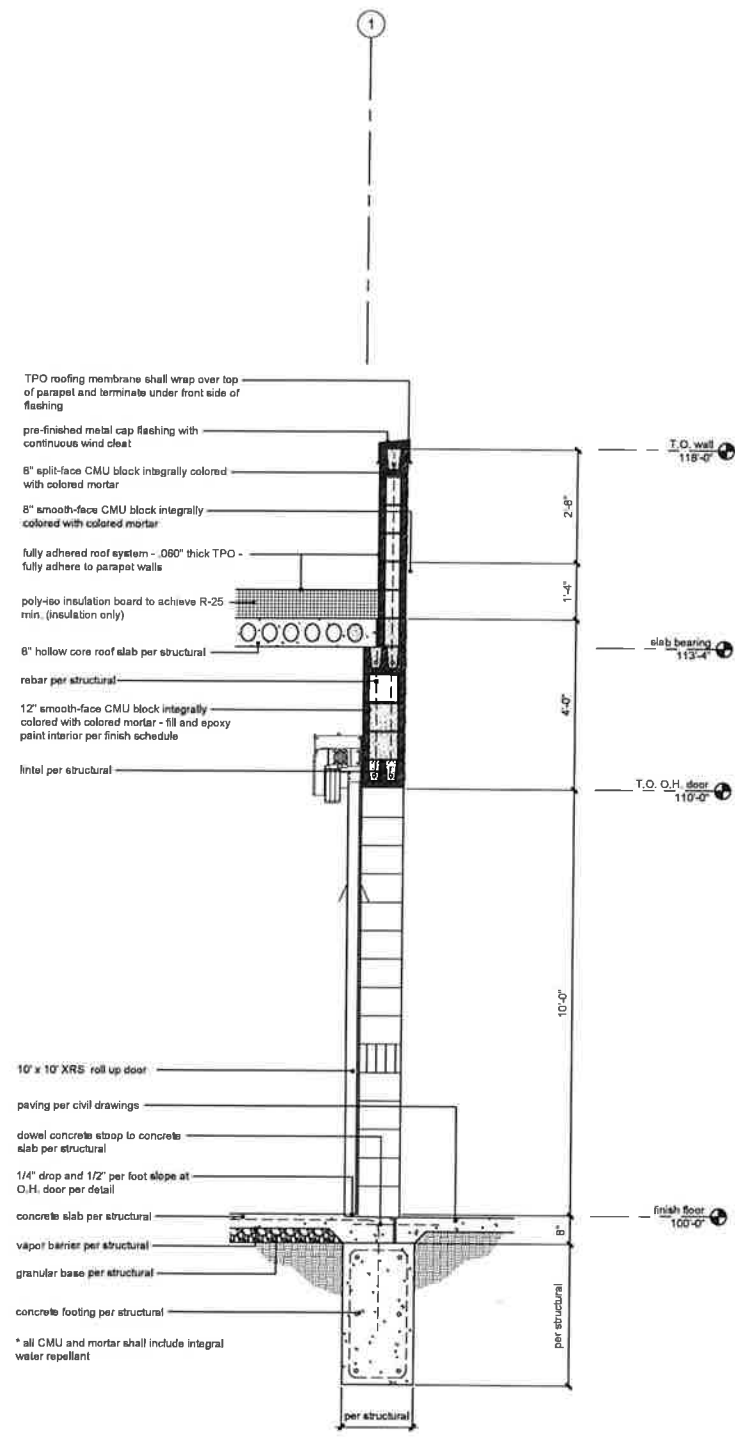


S2: McBee Coffee N' Carwash - internally lit sign
scale: 1/2" = 1'-0"

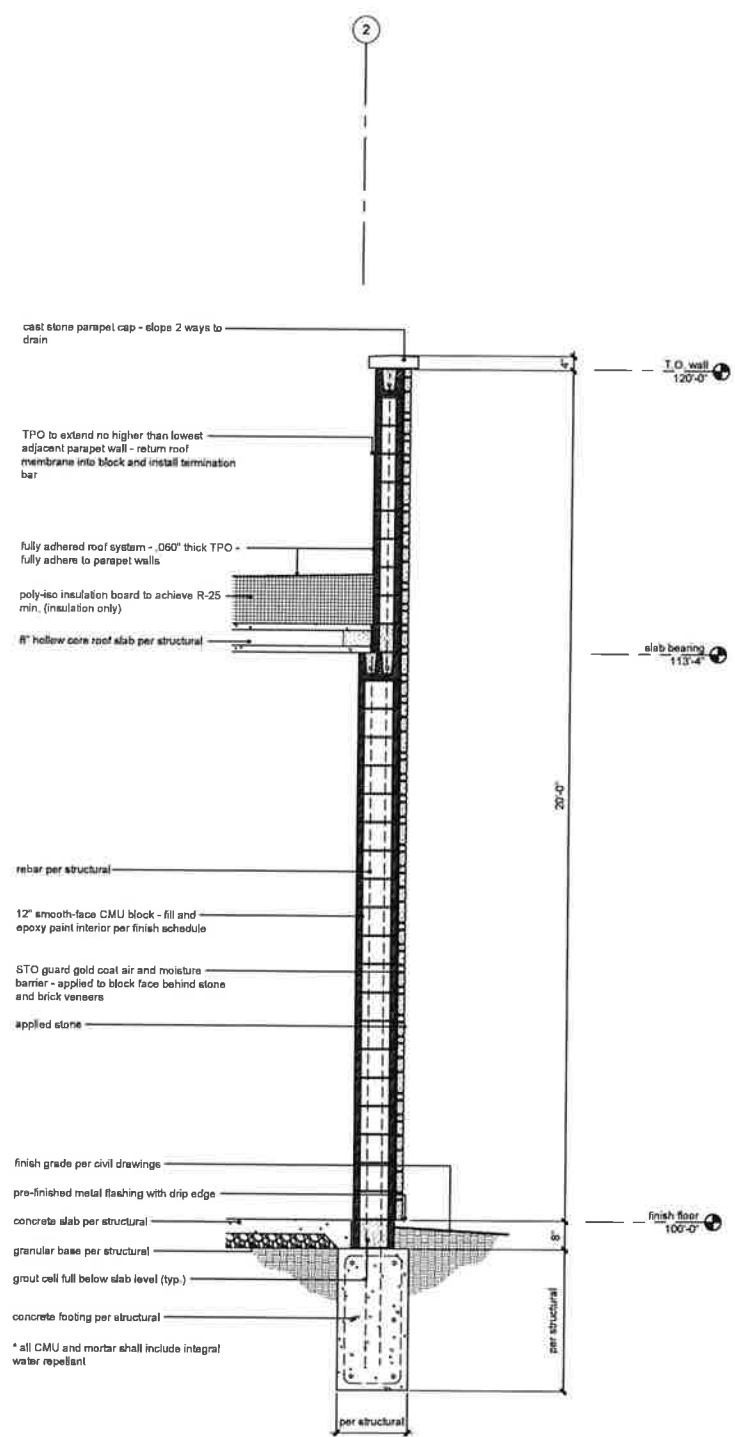
a new building for
McBee Coffee N' Carwash
510 E North Avenue
Belton, Missouri 64012

date
02.22.2021
drawn by
DAE
checked by
DAE
revisions
03.31.2021

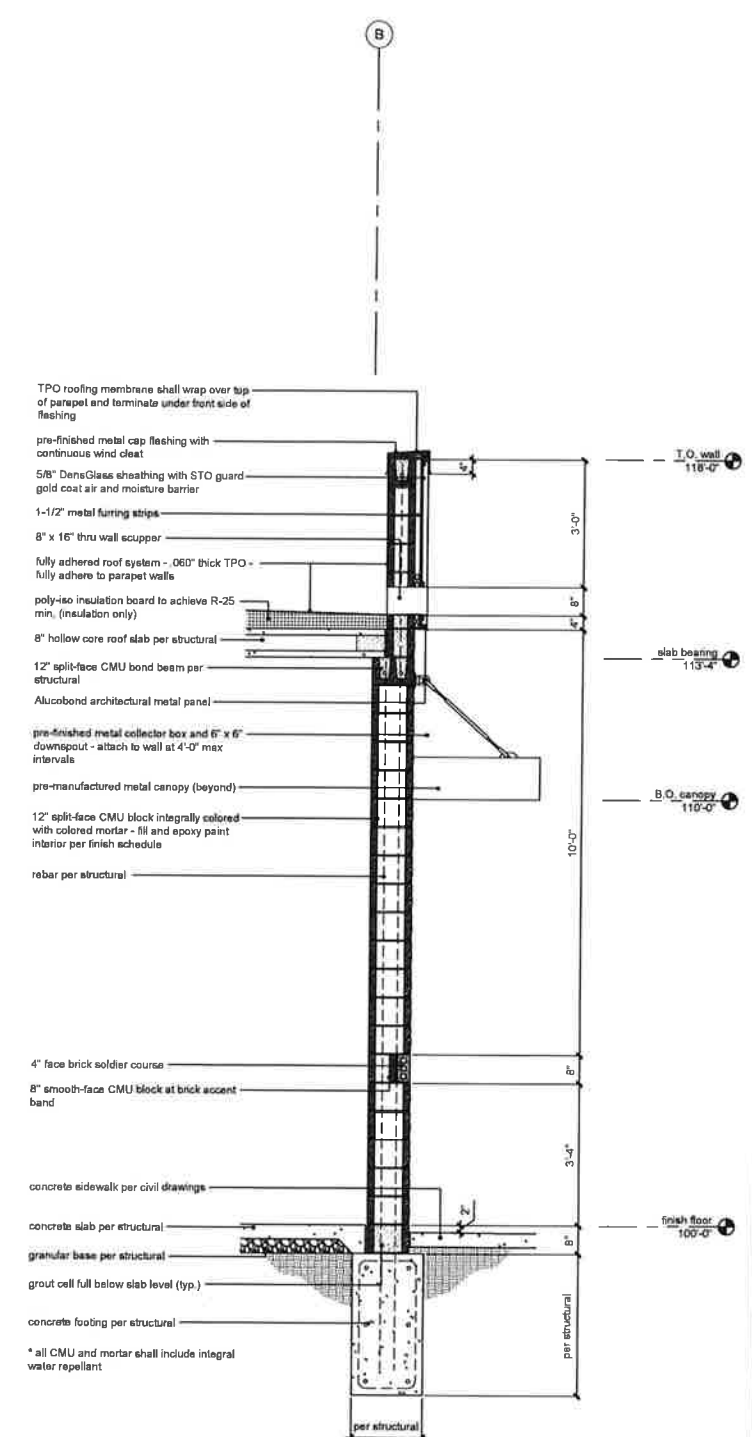
sheet number
A3.2
drawing type
FDP
project number
20212-02



3 wall section
scale: 1/2" = 1'-0"



2 wall section
scale: 1/2" = 1'-0"



1 wall section
scale: 1/2" = 1'-0"

a new building for
McBee Coffee N' Carwash
510 E North Avenue
Belton, Missouri 64012

date: 02.22.2021
drawn by: DAE
checked by: DAE
revisions:

sheet number
A4.2
drawing type: FDP
project number: 20212-02

2/19/2021



a new building for
McBee Coffee N' Carwash
510 E North Avenue
Belton, Missouri 64012

date
02.22.2021
drawn by
BH
checked by
DS
revisions

sheet number

PH1

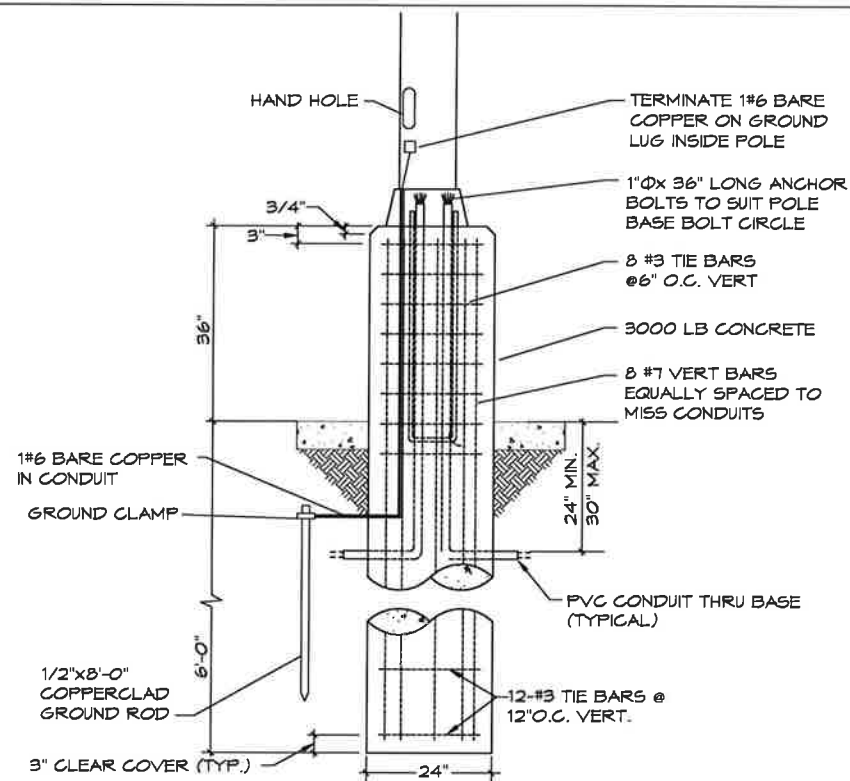
drawing type
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project number
20212-02

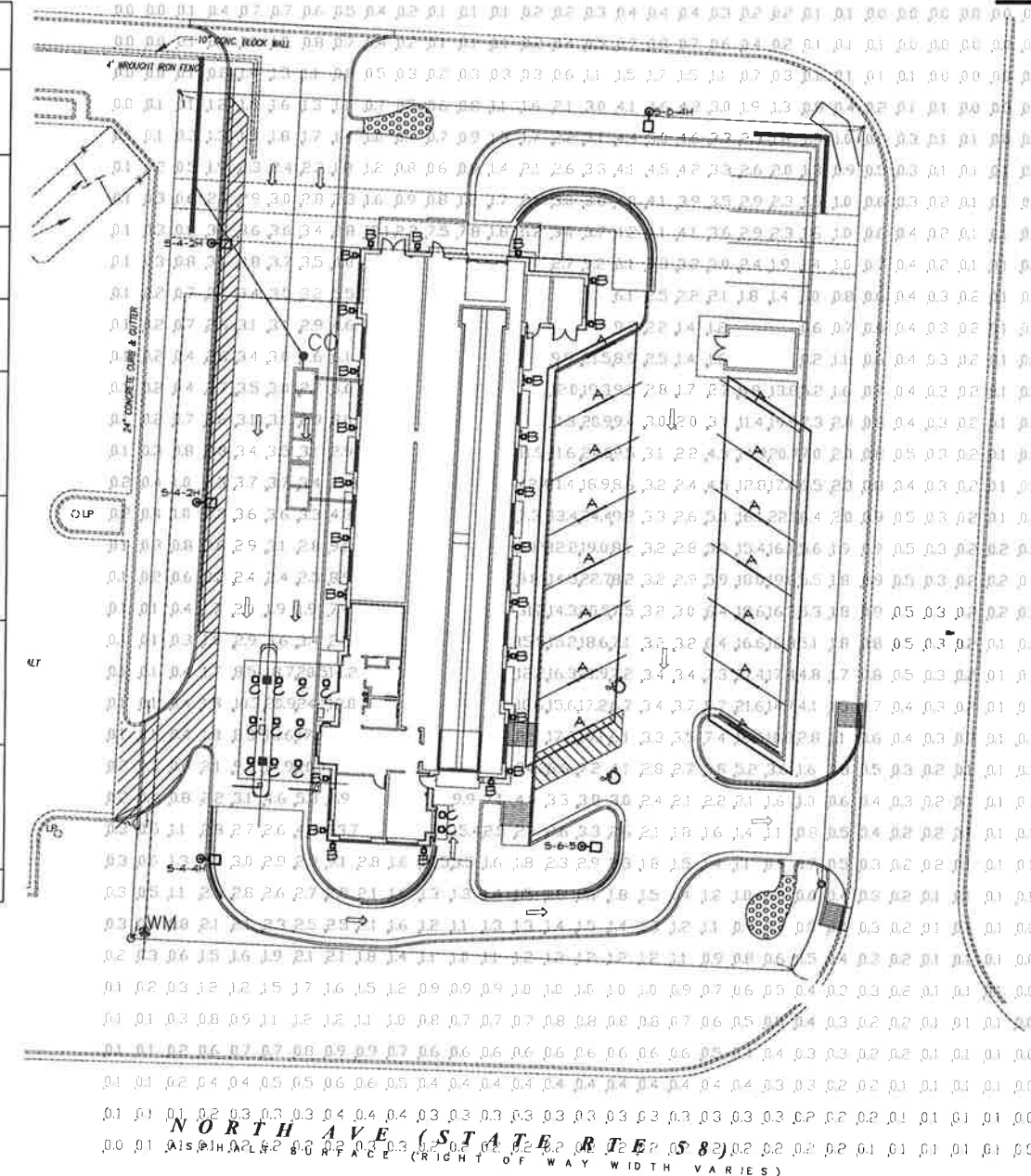
LIGHT FIXTURE SCHEDULE

MARK NO.	MANUFACTURER & CATALOG NUMBER	VOLTS WATTS	LIGHT SOURCE	DESCRIPTION	EQUIVALENT MANUFACTURERS
A	8' LED STRIP PROVIDED BY VACUUM CANOPY MANUFACTURER	277 60	LED 4000K	8' LED STRIP PROVIDED BY VACUUM CANOPY MANUFACTURER	-
B	LUMINIS L2L20/RGBW-R30-2T7-XXX	277 43	LED - 4000K 4315 LUMS	EXTERIOR RATED LED - RGBW UP/DOWN CYLINDER. VERIFY FINISH WITH ARCH/OWNER. REFER TO ARCH ELEVATIONS FOR MOUNTING HEIGHT	OR EQUAL APPROVED BY ARCH/ENGINEER
C	LITHONIA LDN6-40/15-LO4-CR-L55-MVOLT-GZ10-TRN	UNV 17.5	LED - 4000K 1500 LUMS	6" LED CAN LIGHT WITH CLEAR SEMI-SPECULAR REFLECTOR AND WHITE FLANGE. NET LOCATION LISTED	HEIN, SIGNIFY, OR EQUAL
S-4-2H	LITHONIA DSX1-P4-40K-T2M-MVOLT-SPA-H5-DDBXD W/ S55-20-4C-DM19AS-VD-DDBXD POLE	277 125	LED 4000K 13500 LUMS	POLE MOUNTED LED FIXTURE WITH TYPE 2 DISTRIBUTION, BRONZE FINISH. FIXTURE TO BE MOUNTED ON 20' SQUARE STEEL POLE W/ BRONZE FINISH AND VIBRATION DAMPER ON 3' CONCRETE BASE. SEE POLE BASE DETAIL ON THIS SHEET. HOUSE SIDE SHIELD	OR EQUAL APPROVED BY ARCH/ENGINEER
S-4-4H	LITHONIA DSX1-P4-40K-TFTM-MVOLT-SPA-H5-DDBXD W/ S55-20-4C-DM19AS-VD-DDBXD POLE	277 125	LED 4000K 13500 LUMS	POLE MOUNTED LED FIXTURE WITH TYPE 4 DISTRIBUTION, BRONZE FINISH. FIXTURE TO BE MOUNTED ON 20' SQUARE STEEL POLE W/ BRONZE FINISH AND VIBRATION DAMPER ON 3' CONCRETE BASE. SEE POLE BASE DETAIL ON THIS SHEET. HOUSE SIDE SHIELD	OR EQUAL APPROVED BY ARCH/ENGINEER
S-6-5	LITHONIA DSX1-P6-40K-T5W-MVOLT-SPA-DDBXD W/ S55-20-4C-DM19AS-VD-DDBXD POLE	277 163	LED 4000K 18000 LUMS	POLE MOUNTED LED FIXTURE WITH TYPE 5 DISTRIBUTION, BRONZE FINISH. FIXTURE TO BE MOUNTED ON 20' SQUARE STEEL POLE W/ BRONZE FINISH AND VIBRATION DAMPER ON 3' CONCRETE BASE. SEE POLE BASE DETAIL ON THIS SHEET.	OR EQUAL APPROVED BY ARCH/ENGINEER
S-8-4H	LITHONIA DSX1-P8-40K-TFTM-MVOLT-SPA-H5-DDBXD W/ S55-20-4C-DM19AS-VD-DDBXD POLE	277 207	LED 4000K 22500 LUMS	POLE MOUNTED LED FIXTURE WITH TYPE 4 DISTRIBUTION, BRONZE FINISH. FIXTURE TO BE MOUNTED ON 20' SQUARE STEEL POLE W/ BRONZE FINISH AND VIBRATION DAMPER ON 3' CONCRETE BASE. SEE POLE BASE DETAIL ON THIS SHEET. HOUSE SIDE SHIELD	OR EQUAL APPROVED BY ARCH/ENGINEER

NOTES: ALL LIGHT FIXTURES SHALL BE OWNER FURNISHED AND CONTRACTOR INSTALLED



POLE FOUNDATION DETAIL
SCALE: NONE



SITE PHOTOMETRIC PLAN
SCALE: 1"=20'
NORTH

STATISTICS					
Description	Avg	Max	Min	Max/Min	Avg/Min
Paved Surface	6.1	24.4	1.1	22.2/1	5.6/1
Paved Surface Excluding Under Canopies	2.9	15.4	1.1	14.0/1	2.6/1

BC PROJECT #: XXXXX
MISSOURI PE COA #2009003629
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BC ENGINEERS INCORPORATED

5720 Reeder Shawnee, Mo. 66203 (613)262-1772



McBee Coffee N' Carwash
510 E North Avenue
Belton, Missouri 64012

Date: 02.22.2021
Drawn by: BH
Checked by: DS
Revisions:

Sheet number

PH2

Drawing type
FDP

Project number
20212-02

BC PROJECT #: XXXX
MISSOURI PE COA #200803629
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5720 Reeder Shawnee, Ke. 66203 (813)262-1772

FEATURES & SPECIFICATIONS

INTRODUCTION - These specifications are for the SY802 Series SYRIOS - LED 8" WALL UP/DOWN LIGHT. The fixture is designed for use in commercial and residential applications. It is a high-quality, energy-efficient lighting fixture that provides excellent illumination and is easy to install. The fixture is made of high-quality materials and is designed to last for many years. It is a great choice for anyone looking for a reliable and efficient lighting solution.

CONSTRUCTION - The fixture is constructed from high-quality materials and is designed to be durable and long-lasting. It features a sleek, modern design that will complement any interior space. The fixture is easy to install and is suitable for use in a variety of environments.

OPERATION - The fixture is designed to provide excellent illumination and is easy to operate. It features a simple on/off switch and is suitable for use in a variety of environments. The fixture is designed to be energy-efficient and to provide long-lasting performance.

MAINTENANCE - The fixture is designed to be easy to maintain and is suitable for use in a variety of environments. It features a simple design that makes it easy to clean and maintain. The fixture is designed to be durable and long-lasting, so it will provide excellent performance for many years.

SY802 SERIES SYRIOS - LED 8" WALL UP/DOWN LIGHT

TYPE: QUANTITY: PROJECT:

CATALOG NUMBER: FIGURE: SUPPLY: REFLECTOR: VOLTAGE: FINISH: OPTION: OPTION: OPTION:

OPERATIONAL DATA

Color Temperature	Beam Angle	Foot Candles	Approximate Color	Finish	Height
25° 2700K	65° 500 lumens	25° 750 lumens	50% White	Black	11.5"
35° 3000K	67° 750 lumens	30° 1000 lumens	50% White	Black	12"
40° 4000K	70° 1000 lumens	40° 1500 lumens	50% White	Black	12.5"
50° 5000K	75° 1500 lumens	50° 2000 lumens	50% White	Black	13.5"

OPERATIONAL DATA (continued)

Color Temperature	Beam Angle	Foot Candles	Approximate Color	Finish	Height
60° 6000K	80° 2000 lumens	60° 2500 lumens	50% White	Black	14.5"
70° 7000K	85° 2500 lumens	70° 3000 lumens	50% White	Black	15.5"
80° 8000K	90° 3000 lumens	80° 3500 lumens	50% White	Black	16.5"
90° 9000K	95° 3500 lumens	90° 4000 lumens	50% White	Black	17.5"

FEATURES & SPECIFICATIONS

INTRODUCTION - These specifications are for the D-Series Size 1 LED Area Luminaire. The fixture is designed for use in commercial and residential applications. It is a high-quality, energy-efficient lighting fixture that provides excellent illumination and is easy to install. The fixture is made of high-quality materials and is designed to last for many years. It is a great choice for anyone looking for a reliable and efficient lighting solution.

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MAINTENANCE - The fixture is designed to be easy to maintain and is suitable for use in a variety of environments. It features a simple design that makes it easy to clean and maintain. The fixture is designed to be durable and long-lasting, so it will provide excellent performance for many years.

D-SERIES SIZE 1 LED AREA LUMINAIRE

TYPE: QUANTITY: PROJECT:

CATALOG NUMBER: FIGURE: SUPPLY: REFLECTOR: VOLTAGE: FINISH: OPTION: OPTION: OPTION:

OPERATIONAL DATA

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OPERATIONAL DATA (continued)

Color Temperature	Beam Angle	Foot Candles	Approximate Color	Finish	Height
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70° 7000K	85° 2500 lumens	70° 3000 lumens	50% White	Black	15.5"
80° 8000K	90° 3000 lumens	80° 3500 lumens	50% White	Black	16.5"
90° 9000K	95° 3500 lumens	90° 4000 lumens	50% White	Black	17.5"

CONTRACTOR SELECT™ XVML LED VAPOR TIGHT

TYPE: QUANTITY: PROJECT:

CATALOG NUMBER: FIGURE: SUPPLY: REFLECTOR: VOLTAGE: FINISH: OPTION: OPTION: OPTION:

OPERATIONAL DATA

Color Temperature	Beam Angle	Foot Candles	Approximate Color	Finish	Height
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50° 5000K	75° 1500 lumens	50° 2000 lumens	50% White	Black	13.5"

OPERATIONAL DATA (continued)

Color Temperature	Beam Angle	Foot Candles	Approximate Color	Finish	Height
60° 6000K	80° 2000 lumens	60° 2500 lumens	50% White	Black	14.5"
70° 7000K	85° 2500 lumens	70° 3000 lumens	50% White	Black	15.5"
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OPERATIONAL DATA (continued)

Color Temperature	Beam Angle	Foot Candles	Approximate Color	Finish	Height
60° 6000K	80° 2000 lumens	60° 2500 lumens	50% White	Black	14.5"
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80° 8000K	90° 3000 lumens	80° 3500 lumens	50% White	Black	16.5"
90° 9000K	95° 3500 lumens	90° 4000 lumens	50% White	Black	17.5"

FEATURES & SPECIFICATIONS

INTRODUCTION - These specifications are for the SSS Square Straight Steel. The fixture is designed for use in commercial and residential applications. It is a high-quality, energy-efficient lighting fixture that provides excellent illumination and is easy to install. The fixture is made of high-quality materials and is designed to last for many years. It is a great choice for anyone looking for a reliable and efficient lighting solution.

CONSTRUCTION - The fixture is constructed from high-quality materials and is designed to be durable and long-lasting. It features a sleek, modern design that will complement any interior space. The fixture is easy to install and is suitable for use in a variety of environments.

OPERATION - The fixture is designed to provide excellent illumination and is easy to operate. It features a simple on/off switch and is suitable for use in a variety of environments. The fixture is designed to be energy-efficient and to provide long-lasting performance.

MAINTENANCE - The fixture is designed to be easy to maintain and is suitable for use in a variety of environments. It features a simple design that makes it easy to clean and maintain. The fixture is designed to be durable and long-lasting, so it will provide excellent performance for many years.

SSS SQUARE STRAIGHT STEEL

TYPE: QUANTITY: PROJECT:

CATALOG NUMBER: FIGURE: SUPPLY: REFLECTOR: VOLTAGE: FINISH: OPTION: OPTION: OPTION:

OPERATIONAL DATA

Color Temperature	Beam Angle	Foot Candles	Approximate Color	Finish	Height
25° 2700K	65° 500 lumens	25° 750 lumens	50% White	Black	11.5"
35° 3000K	67° 750 lumens	30° 1000 lumens	50% White	Black	12"
40° 4000K	70° 1000 lumens	40° 1500 lumens	50% White	Black	12.5"
50° 5000K	75° 1500 lumens	50° 2000 lumens	50% White	Black	13.5"

OPERATIONAL DATA (continued)

Color Temperature	Beam Angle	Foot Candles	Approximate Color	Finish	Height
60° 6000K	80° 2000 lumens	60° 2500 lumens	50% White	Black	14.5"
70° 7000K	85° 2500 lumens	70° 3000 lumens	50% White	Black	15.5"
80° 8000K	90° 3000 lumens	80° 3500 lumens	50% White	Black	16.5"
90° 9000K	95° 3500 lumens	90° 4000 lumens	50% White	Black	17.5"

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TYPE: QUANTITY: PROJECT:

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OPERATIONAL DATA (continued)

Color Temperature	Beam Angle	Foot Candles	Approximate Color	Finish	Height
60° 6000K	80° 2000 lumens	60° 2500 lumens	50% White	Black	14.5"
70° 7000K	85° 2500 lumens	70° 3000 lumens	50% White	Black	15.5"
80° 8000K	90° 3000 lumens	80° 3500 lumens	50% White	Black	16.5"
90° 9000K	95° 3500 lumens	90° 4000 lumens	50% White	Black	17.5"

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40° 4000K	70° 1000 lumens	40° 1500 lumens	50% White	Black	12.5"
50° 5000K	75° 1500 lumens	50° 2000 lumens	50% White	Black	13.5"

OPERATIONAL DATA (continued)

Color Temperature	Beam Angle	Foot Candles	Approximate Color	Finish	Height
60° 6000K	80° 2000 lumens	60° 2500 lumens	50% White	Black	14.5"
70° 7000K	85° 2500 lumens	70° 3000 lumens	50% White	Black	15.5"
80° 8000K	90° 3000 lumens	80° 3500 lumens	50% White	Black	16.5"
90° 9000K	95° 3500 lumens	90° 4000 lumens	50% White	Black	17.5"



- T.O. arch high eave 120'-0"
- T.O. arch low eave 121'-1"
- T.O. plaster 120'-0"
- T.O. wall 118'-0"
- roof slab bearing 113'-4"
- B.O. canopy 110'-0"
- finish floor 100'-0"

1 front elevation
scale: 1/8" = 1'-0"



- T.O. arch high eave 120'-0"
- T.O. arch low eave 121'-1"
- T.O. plaster 120'-0"
- T.O. wall 118'-0"
- roof slab bearing 113'-4"
- B.O. canopy 108'-0"
- finish floor 100'-0"

3 CW exit elevation
scale: 1/8" = 1'-0"



- T.O. arch high eave 120'-0"
- T.O. arch low eave 121'-1"
- T.O. plaster 120'-0"
- T.O. wall 118'-0"
- roof slab bearing 113'-4"
- B.O. canopy 110'-0"
- finish floor 100'-0"

2 CW entry elevation
scale: 1/8" = 1'-0"



- T.O. arch high eave 120'-0"
- T.O. arch low eave 121'-1"
- T.O. plaster 120'-0"
- T.O. wall 118'-0"
- roof slab bearing 113'-4"
- B.O. canopy 110'-0"
- finish floor 100'-0"

4 back elevation
scale: 1/8" = 1'-0"

a new building for
McBee's Coffee N' Carwash

510 E North Avenue
Belton, Missouri 64012

date
02.22.2021
drawn by
DAE
checked by
DAE
revisions

sheet number

A3.1

drawing type
FDP
project number
20212-02



PROJECT NARRATIVE

For:

McBee's Coffee N' Carwash at 510 E North Ave, Belton, MO 64012

Applicants:

Steve McBee McBee's Coffee N' Carwash 816-985-3822 smcbee@mcbeescnc.com

Steven McBee McBee's Coffee N' Carwash 816-805-7580 stmcbec@mcbeescnc.com

Galyna Saltkovska McBee's Coffee N' Carwash 407-982-0524 gsaltkovska@mcbeescnc.com

Tenant/Developer:

McBee's Coffee N' Carwash, 103 Industrial Pkwy, Gallatin, Mo 64640

gsaltkovska@mcbeescnc.com stmcbec@mcbeescnc.com

April 12th, 2021

GENERAL INTRODUCTION & SITE DESIGN STANDARDS

McBee's Coffee N' Carwash, LLC hereby submits this Site Plan and Special Use Permit application for a commercial land use to include a high-end express tunnel car wash operation known as McBee's Coffee N' Carwash. The .86- acre (37,597 square feet) site is legally described as Lot 6, Crest Plaza, second plat, a subdivision in the City of Belton, Cass County, Missouri. The site is located on the north side of North Avenue (State RTE 58) - The site is currently vacant.

A site plan is included as part of this application, depicting a proposed 130 foot express tunnel car wash known as McBee's Coffee N' Carwash, which consists of a 6,378 square foot car wash building. The site design incorporates a customer queuing lane that is accessed internally to the site on the west side of the parcel, which systematically allows patrons to form a que before approaching a two-lane pay station. Once the customer has selected and completed payment for the level of car wash service, the customer will then alternately advance their way through the tunnel wash while remaining within their vehicle. The site plan provides for a "bail-out lane" located immediately before entering the tunnel entrance in the event of a wash complication or declined payment. Free vacuum stations are located on the east side of the car wash facility where patrons can personally detail their vehicles after they have completed the washing cycle.

McBee's Coffee N' Carwash corporate business policy is to have 2 to 6 employees, including a business manager on site at all times of operation. Anticipated hours of business operations shall be between 7 am and 8 pm in the winter months and 7 am to 9 pm in the summer. Employees shall be responsible for directing traffic on the lot, assisting customers and attending the upkeep of the facility throughout all hours of operation. Trash and debris generated by general customers shall consistently be monitored by the employees. Individual trash bins shall be provided at all vacuum stations, which will be routinely emptied and transferred to a trash enclosure located on the south end of the development that is easily accessible for servicing from the centralized customer drive lane.

The Conceptual Site Plan provides in accordance with City Codes for adequate parking spaces, consisting of two (2) handicap spaces, one (1) for employees and one (1) for vacuum spaces, 12 (twelve) vacuum bays and five (5) spaces to be utilized by customers and employees, totaling 19 (nineteen) spaces provided. Significant architectural and landscape buffering measures have been applied to minimize off site noise levels, which include strategic selection of car wash equipment elements, vacuum motor placement internally enclosed within the building structure, internal orientation of vacuum stations and landscape buffering to diffuse any operational noise.

McBee's Coffee N' Carwash is committed to a development that upholds high quality and innovative site designs compatible with the surrounding business community. This proposal supports contiguous and orderly growth, and presents no burdens on roadway infrastructure, City of Belton services and or the

environment. The tunnel car wash facility is consistent with the goals, policies, standards and maps of the City of Belton Zoning Code. The lawful conditions stated in the application are understood to be necessary for the protection of the public health safety and general welfare of the City of Belton.

April 14, 2021

City of Belton
506 Main Street
Belton, Missouri 64012

RE: McBee's Coffee 'N Carwash
510 East North Avenue
Belton, Missouri 64012

Dear Planning Commission Staff,

We are requesting variance approval for a minor reduction of the front building setback line along North Avenue for the McBee's Coffee 'N Carwash development at 510 East North Avenue. Per the Unified Development Code, section 12-2, the front setback required is 30'. Our request is to reduce the setback by 3'-0" to a new setback of 27'-0". As the McBee's CNC site is designed we are limited from shifting the building any further north due to an existing underground electrical line located along the north edge of the building. Refer to the civil site layout plan (sheet C200) for the utility line and easement location. To limit the impact of a reduced building setback line additional landscaping has been provided along the front of the building facing North Avenue.

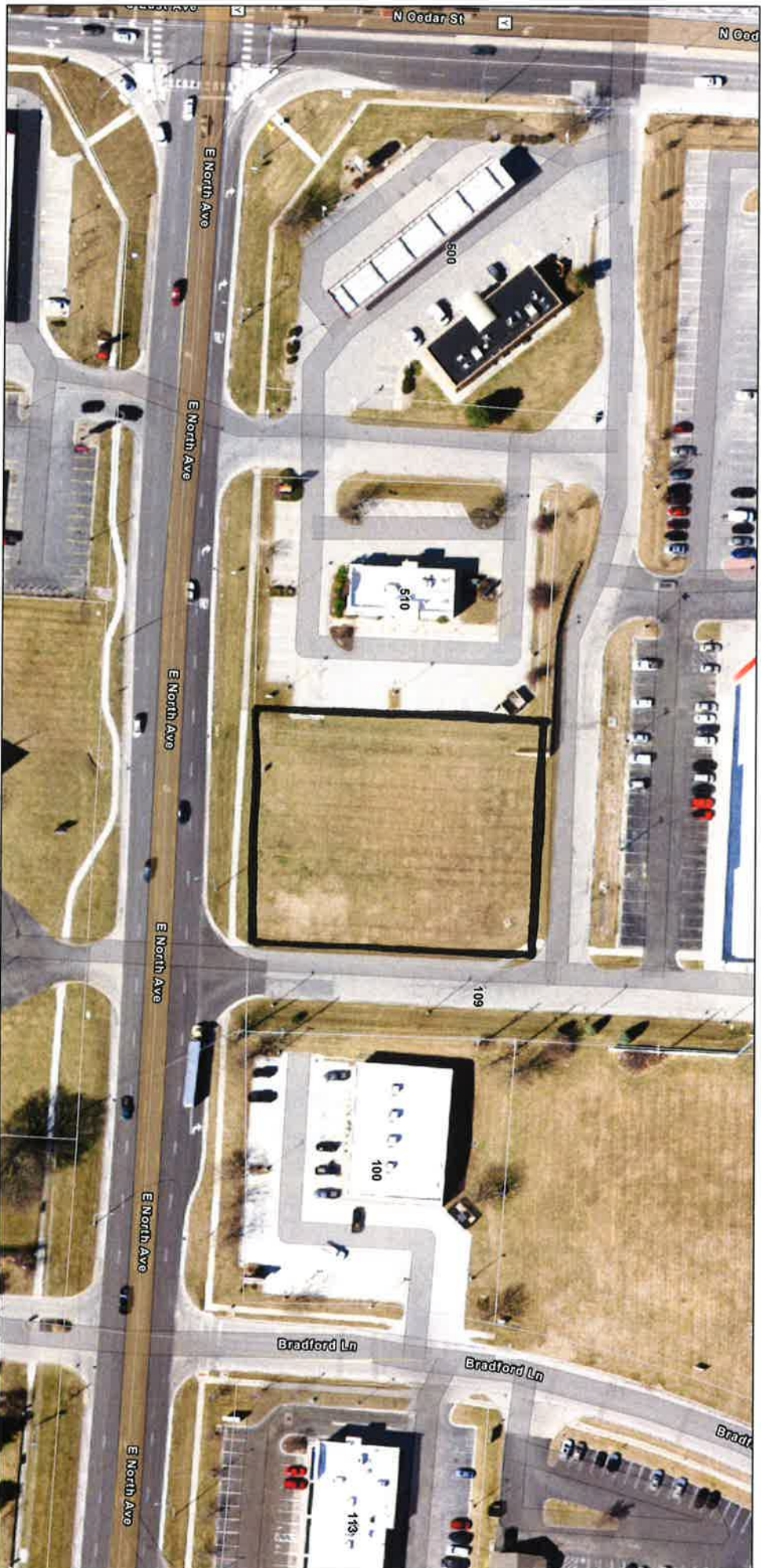
In conclusion, we are asking for staff approval for reduction in the front building setback requirement. The combination of the minor depth reduction and increased landscaping at the front of the building will have no adverse impact to the North Avenue corridor or to the surrounding developments. Please accept our site design variance request for approval. If there are any questions or further clarifications required, please do not hesitate to contact my office.

Sincerely,



Johnathon Phillips
daavidson architecture & engineering

ArcGIS Web Map



4/16/2021, 10:03:41 AM
Aerial_MARC_2020_6in.tif

Streets
Belton_Parcels

Red: Band_1
Green: Band_2
Blue: Band_3

1:1,128
0 0.01 0.02 0.04 mi
0 0.01 0.03 0.06 km

Maxar, Microsoft | Esri Community Maps Contributors, Kansas City, MO, County of Cass, MO, Missouri Dept. of Conservation, Missouri DNR, BuildingFootprintUSA, Esri, HERE, Garmin, SafeGraph, INCREMENT P, METNUSA, USGS, EPA, NPS, US Census Bureau, USDA | ArcGIS Web AppBuilder

SECTION V.
FINAL DEVELOPMENT PLAN – CENTER 301
APARTMENTS

**FINAL DEVELOPMENT PLAN
CENTER 301 APARTMENTS
BELTON PLANNING COMMISSION
MONDAY, APRIL 19, 2021 – 6:00 P.M.
CITY HALL ANNEX BUILDING – 520 MAIN STREET**

APPLICATION

Property Owner/Applicant-Case Development Services, LLC. /Scott Case

Engineer-Tanner Consulting/Dan Tanner

Architect-Architects Collective/Larry Kester

Location-The property is located at the southeast corner of Towne Center Drive and Markey Parkway.

Request-The application was filed for approval of a Final Development Plan to permit the development of the Center 301 Apartments, consisting of 306 units on 17.15 acres.

BACKGROUND

This application was filed for a Final Development Plan, as a follow-up to the rezoning and preliminary development plan application reviewed by the Planning Commission on September 21, 2020.

The proposed Final Development Plan is in full compliance with the preliminary plan.

Case & Associates are an experienced apartment developer, having constructed over 13,000 units in the past 20 years, throughout Kansas, Texas, and Oklahoma. For more information on the company and to see examples of their apartment communities, please see www.caseuse.com.

The Final Development Plan provides for 306 apartments on the 17.15-acre site. There are several different styles of buildings proposed on the site, summarized below:

- Five (5), three story enclosed walkups with 24 units.
- Six (6), three story enclosed walkups with first floor garages, with 22 units.
- Two (2), three story enclosed walkups with first floor garages, 11 units.
- Ten (10), two-and three-story walkups with first floor garages, 2 and 4 units each, arranged around the perimeter of the site.

There will be 154 one bedroom/one bath units with four different floor plans, and 152 two bedroom/two baths units with five different floor plans. The architectural plan set includes floor plans and building elevations.

The site plan also includes a 3,600 square foot clubhouse that features an outdoor swimming pool, cabana with outdoor kitchen, business center and fitness facility. There is also a dog exercise area.

The applicant states that rental rates will range from approximately \$965.00 for a smaller one-bedroom unit to \$1420.00 for the larger two-bedroom homes, depending on actual market conditions upon completion.

The applicant believes the property is well suited for multi-family development. The development will provide luxury rental units that will offer new housing choices for residents of Belton and surrounding communities. The location is along two arterial streets with nearby highway access. The site is not directly adjacent to any existing single-family homes. Development of the site will help support existing retail and nearby employment centers.

FINAL DEVELOPMENT PLAN

The subject property is a 17.15-acre site located the southeast corner of Towne Center Drive and Markey Parkway.

Compliance with R-3A Standards and Planned Unit Development (PUD) requirements of the Unified Development Code (UDC):

The plan generally meets all requirements of the R-3A Community Residential District. The R-3A district is intended for multiple-family residential development adjacent to arterial streets, to and serve as a transition from commercial development to lower density residential development.

Parking: 1.5 parking spaces per unit for multi-family development or 459 spaces are required for the 306 units. There are 476 parking spaces proposed, including 96 first floor garage spaces. The parking spaces meet all dimensional requirements for length, width and maneuvering.

Required Yards/setbacks:

Front yard- 30-foot setback required. Varies, exceeds minimum requirement.

Rear yard-30-foot setback required. Varies, generally exceeds minimum requirement.

A 27-foot setback is proposed for the rear yard of buildings 118 and 119 on the east portion of the plan.

Side yard-5-foot setback required. Varies, exceeds minimum requirement.

Maximum Building Height-35-foot maximum. The plan indicates a mean height of 37-foot mean height of tallest structure.

Maximum Building Coverage-25% maximum. The plan provides 19% total building coverage.

Required Open Space-30% of total land area required. 48.82% open space provided.

A land-use analysis and site data table are found on Sheet P-1, Development Plan, for all project specifics.

Building Design: There are no specific building design requirements for the R-3A Multiple-Family Residence District. The building design proposed by the developer provides a quality mix of building materials and an attractive architectural design. The ground floor is differentiated from other the upper stories by changes in building materials, columns, balconies, offsets, and other methods of articulation that provide a variety of design. The buildings are designed to have a visually distinct top, middle and first floor.

Final Development Plan-Center 301 Apartments

Primary materials are full masonry brick and stone, cement siding and transparent glass.

The clubhouse will be of an architectural style with materials compatible with the apartment buildings.

There are locations of shared trash enclosures on the plan. These enclosures will be constructed of masonry materials to match the buildings, with appropriate screening/landscaping.

Landscaping: A landscape plan was submitted with the Final Development Plan. The landscape plan meets the requirements of the UDC. The plan provides 48.82 percent open space, exceeding the required 30 percent total landscape area. The property abuts the Towne Center Shopping Center and a Type A buffer is provided to provide dense screening from these adjoining commercial uses. The proposed buffer includes 10-foot full screen evergreens. The landscape plan also provides the required shade trees, parking lot landscaping, and street trees.

The landscape plan and site plan also include a 5-foot ornamental perimeter fence and controlled access gates at the main entries. The fence height should be revised to 4-feet, as was shown with the preliminary plan.

Trails and sidewalks: The Final Plan includes an extensive sidewalk and trail system. Sidewalks are provided to and from all buildings with pedestrian access to all areas of the plan including the clubhouse, dog park and main open space areas. An 8-foot trail from Markey Parkway west to Towne Center Drive provides connectivity to the Nexus Trail and access to Memorial Park, Wallace Park, and the High View Wellness Center. The sidewalk plan also provides a more direct pedestrian connection to Towne Center Drive and the Towne Center Shopping Center.

Streets/access: Access to the site would be from two existing driveway entrances on Towne Center Drive. There is also an existing driveway entrance on Markey Parkway. These entrances were designed and constructed along with the Markey Parkway and Towne Center Drive road improvements.

Utilities: The plan includes a utility plan for water and sanitary sewer to serve the site. Staff has reviewed the utility plan and determined that the plan provides adequate public facilities.

Detention: The property is in the Markey Regional Detention Watershed. Payment of a fee in lieu of providing on-site detention is provided in the UDC. The site plan also provides areas of stormwater best management practices (BMP) to lessen run-off and filter storm drainage.

STAFF RECOMMENDATION

The staff recommends approval of the request for a Final Development Plan for Center 301 Apartments, as the plan fully complies with the preliminary development plan. The recommendation is subject to the following conditions:

1. The Final Development Plan for Center 301 Apartments is hereby approved, as shown on Site Development Plan by Tanner Consulting, including building elevations, materials, and floor plans by Architects Collective, dated 2/12/2021.
2. Landscape Ordinance Plan LSO-1, by PDG, dated 3/21/2021.
3. The ornamental perimeter fence is limited to a 4-height.

4. The Final Development Plan shall include a Development Agreement to be executed between the applicant and the City of Belton.

PLANNING COMMISSION ALTERNATIVES

1. Motion to **approve** a Final Development Plan for Center 301 Apartments.
2. Motion to **deny** a Final Development Plan for Center 301 Apartments.
3. Motion to continue the application for further information.

ATTACHMENTS

1. Final Development Plan, Engineering/Architectural- 46 pages
2. Area Map.

Legal Description

ALL THAT PART OF THE SOUTHEAST QUARTER OF SECTION 12, TOWNSHIP 46 NORTH, RANGE 33 WEST OF THE FIFTH PRINCIPAL MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHEAST QUARTER; THENCE NORTH 02° 35' 24" EAST, ALONG THE EAST LINE OF SAID SOUTHEAST QUARTER, A DISTANCE OF 1,179.01 FEET; THENCE NORTH 87° 24' 39" WEST, A DISTANCE OF 251.59 FEET TO THE SOUTHEAST CORNER OF TRACT "A", AVID HOTEL BELTON, A SUBDIVISION RECORDED APRIL 29, 2019 AS INSTRUMENT #843766 IN PLAT BOOK 23 AT PAGE 75, CASS COUNTY RECORDER OF DEEDS, BELTON, CASS COUNTY, MISSOURI, SAID CORNER ALSO BEING ON THE NORTH LINE OF LOT 1, BLOCK 1, BELTON TOWN CENTRE ADDITION, A SUBDIVISION RECORDED NOVEMBER 20, 2001, AS INSTRUMENT #216688 IN PLAT BOOK 17 AT PAGE 45, CASS COUNTY RECORDER OF DEEDS, SAID CORNER ALSO BEING THE TRUE POINT OF BEGINNING;

THENCE CONTINUING NORTH 87° 24' 39" WEST, ALONG THE NORTH LINE OF SAID LOT 1 AND THE NORTH LINE OF LOT 2, SAID BLOCK 1, BELTON TOWN CENTRE ADDITION, A DISTANCE OF 1140.80 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF TOWNE CENTER DRIVE, AS NOW ESTABLISHED; THENCE NORTH 03° 03' 35" EAST, ALONG SAID EASTERLY RIGHT-OF-WAY LINE A DISTANCE OF 115.20 FEET; THENCE NORTH 03° 45' 58" EAST, CONTINUING ALONG SAID EASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 181.18 FEET; THENCE NORTH 12° 28' 56" EAST, CONTINUING ALONG SAID EASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 154.41 FEET; THENCE NORTH 31° 41' 40" EAST, CONTINUING ALONG SAID EASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 72.06 FEET; THENCE ON A CURVE TO THE RIGHT, NOT TANGENT TO THE LAST DESCRIBED COURSE, HAVING AN INITIAL TANGENT BEARING OF NORTH 36° 57' 38" EAST, WITH A RADIUS OF 365.00 FEET, CONTINUING ALONG SAID EASTERLY RIGHT-OF-WAY LINE, AN ARC LENGTH OF 54.22 FEET TO A POINT OF TANGENCY; THENCE NORTH 45° 28' 19" EAST, CONTINUING ALONG SAID EASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 111.58 FEET; THENCE ON A CURVE TO THE LEFT, TANGENT TO THE LAST DESCRIBED COURSE, WITH A RADIUS OF 435.00 FEET, CONTINUING ALONG SAID EASTERLY RIGHT-OF-WAY LINE, AN ARC LENGTH OF 197.17 FEET; THENCE NORTH 64° 29' 52" EAST, NOT BEING TANGENT TO THE LAST DESCRIBED COURSE, A DISTANCE OF 49.10 FEET TO A POINT ON THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF MARKEY PARKWAY, AS NOW ESTABLISHED; THENCE SOUTH 70° 30' 08" EAST, ALONG SAID SOUTHWESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 622.91 FEET; THENCE NORTH 19° 34' 36" EAST, A DISTANCE OF 6.00 FEET TO A POINT ON SAID SOUTHWESTERLY RIGHT-OF-WAY LINE; THENCE ON A CURVE TO THE RIGHT, HAVING AN INITIAL TANGENT BEARING OF SOUTH 70° 25' 24" EAST, WITH A RADIUS OF 589.00 FEET, CONTINUING ALONG SAID SOUTHWESTERLY RIGHT-OF-WAY LINE, AN ARC LENGTH OF 324.43 FEET TO THE NORTHEASTLY CORNER OF LOT 1, SAID AVID HOTEL BELTON; THENCE ON A CURVE TO THE RIGHT, HAVING AN INITIAL TANGENT BEARING OF SOUTH 24° 22' 41" WEST, WITH A RADIUS OF 39.00 FEET, ALONG THE NORTHERLY LINE OF HERETOFORE SAID LOT 1, AN ARC LENGTH OF 16.58 FEET; THENCE ON A CURVE TO THE RIGHT, HAVING AN INITIAL TANGENT BEARING OF SOUTH 55° 54' 06" WEST, WITH A RADIUS OF 179.50 FEET, CONTINUING ALONG SAID NORTHERLY LINE, AN ARC LENGTH OF 45.00 FEET TO A POINT OF TANGENCY; THENCE SOUTH 70° 15' 51" WEST, CONTINUING ALONG SAID NORTHERLY LINE, A DISTANCE OF 94.84 FEET; THENCE ON A CURVE TO THE RIGHT, TANGENT TO THE LAST DESCRIBED COURSE, WITH A RADIUS OF 229.50 FEET, CONTINUING ALONG SAID NORTHERLY LINE, AN ARC LENGTH OF 42.73 FEET TO THE NORTHWEST CORNER OF HERETOFORE SAID LOT 1; THENCE SOUTH 19° 11' 07" EAST, NOT TANGENT TO THE LAST DESCRIBED COURSE, ALONG THE WESTERLY LINE OF HERETOFORE SAID LOT 1, A DISTANCE OF 360.45 FEET TO THE SOUTHWEST CORNER OF HERETOFORE SAID LOT 1; THENCE SOUTH 02°33'43" WEST, AND ALONG THE WEST LINE OF SAID TRACT "A", AVID HOTEL BELTON, FOR A DISTANCE OF 60.29 FEET TO THE POINT OF BEGINNING;

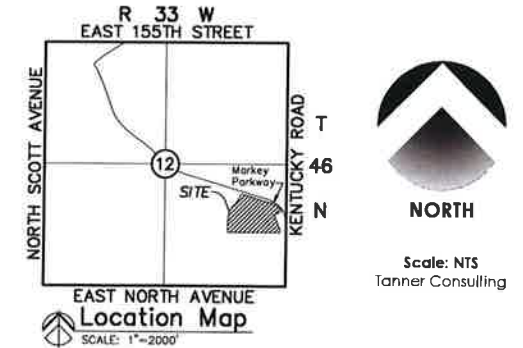
CONTAINING 747,409 SQUARE FEET OR 17.158 ACRES, MORE OR LESS.

General Notes

- SP.1 REQUIRED PERMITS:**
- A. CITY OF BELTON COMMERCIAL BUILDING PERMIT FOR THE FOLLOWING:
 - (1) PUBLICLY MAINTAINED MASTER WATER METER.
 - (2) PRIVATE FIRE AND DOMESTIC WATER LINES.
 - (3) PRIVATE INTERIOR SANITARY SEWER COLLECTION LINES.
 - (4) PRIVATE GRADING, SEDIMENTATION AND EROSION CONTROL.
 - (5) CONNECTION OF PRIVATE STORM SEWER LINES TO THE PUBLIC SYSTEM.
 - (6) PRIVATE PAVING AND SIDEWALKS.
 - B. MISSOURI STATE DNR APPLICATION FORM G - APPLICATION FOR LAND DISTURBANCE (MDRA).
 - C. MISSOURI STATE DNR APPLICATION 780-1632-F FOR THE CONSTRUCTION OF THE OFFSITE PUBLIC SANITARY SEWER EXTENSION.
- SP.2 APPLICABLE CODES:**
- A. ICC 2015 WITH LOCAL AMENDMENTS.
 - B. 2012 MARC MANUAL OF BEST MANAGEMENT PRACTICES FOR STORMWATER QUALITY - SECTION 5601.5.A.4.B.3 - SPECIAL LOCALLY-DEFINED STRATEGIES WITH CONSIDERATION FOR PREVIOUSLY DISTURBED SITES.
 - C. 2011 KANSAS CITY METROPOLITAN CHAPTER OF APWA SECTION 5600.
- SP.3 SPECIFICATIONS:**
- A. THE CITY OF BELTON HAS ADOPTED THE KANSAS CITY METROPOLITAN CHAPTER OF APWA SPECIFICATIONS FOR PUBLIC UTILITY CONSTRUCTION WITH LOCAL AMENDMENTS.
 - (1) SECTION 2500 - SANITARY SEWERS
 - (2) SECTION 2600 - STORM SEWERS
 - (3) SECTION 2900 - WATER LINES
 - (4) GRADING - MODOT DIVISION 200
 - (5) PAVING - MODOT SECTION 401
- SP.4** WHEREVER THE WORD "CITY" APPEARS HEREIN SHALL CONCLUSIVELY BE DEEMED TO MEAN THE CITY OF BELTON, MISSOURI UNLESS THE CONTEXT CLEARLY DICTATES OTHERWISE.
- SP.5** THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY WORK ORDERS AND PERMITS FROM THE CITY, INCLUDING PROVISION OF BONDS AND INSURANCE AS REQUIRED.
- SP.6** THE CONTRACTOR SHALL NOTIFY THE CITY PUBLIC WORKS DEPARTMENT AT LEAST 24 HOURS PRIOR TO START OF CONSTRUCTION.

CENTER 301 - Final Development Plan

Belton, Cass County, Missouri



Final Development Plans Sheet Index

- SHEET NUMBER - NAME
- C1.0 - FINAL DEVELOPMENT PLAN COVER
- C2.0 - EXISTING CONDITIONS
- C3.0 - DIMENSIONED SITE PLAN
- C4.0 - GRADING PLAN 1
- C5.0 - GRADING PLAN 2
- C6.0 - GRADING PLAN 3
- C7.0 - GRADING PLAN 4
- C8.0 - DRAINAGE AREAS
- C9.0 - UTILITIES PLAN
- C10.0 - BMP PLAN
- C11.0 - EROSION CONTROL PHASE I
- C12.0 - EROSION CONTROL PHASE II
- C13.0 - EROSION CONTROL PHASE III

APPLICANT:
Case Belton Holding, LLC
 CONTACT: R. SCOTT CASE
 4200 East Skelly Dr
 Tulsa, Oklahoma 74135
 Phone: (918) 492-1983

ENGINEER:
Tanner Consulting, LLC
 CONTACT: DAN TANNER
 5323 South Lewis Avenue
 Tulsa, Oklahoma 74105
 Phone: (918) 745-9929

Site Data

- A. PROPOSED IMPERVIOUS AREA: 8,284 ACRES
- B. THE PROPERTY SHALL PAY \$5,100 PER IMPERVIOUS ACRE INTO THE MARKEY PARKWAY REGIONAL DETENTION PROGRAM.
- C. EXISTING ZONING: R-3A

UNIFIED DEVELOPMENT CODE SECTION 26-2 (A) REQUIRES 1.5 SPACES PER DWELLING UNIT.
 PROVIDED PARKING: **588 SPACES**

Contact List

BELTON PUBLIC WORKS	AT&T
GREG ROKOS	PHONE: (816) 275-1640
NIKIA FREIBERGER	KANSAS CITY POWER & LIGHT
PHONE: (816) 331-4331	PHONE: (816) 471-5275
BELTON FIRE DEPARTMENT	KCPL BUSINESS OFFICE
CHRIS BEALE	PHONE: (816) 221-2323
PHONE: (816) 331-7969	
TIME WARNER CABLE	SOUTHERN START CENTRAL GAS
GREG THOMAS	PHONE: (913) 310-7615
8221 W. 119TH ST.	
OVERLAND PARK, KS 66213	MISSOURI GAS ENERGY
PHONE: (816) 358-5360	PHONE: (800) 582-1234
	MGE EMERGENCY/CUSTOMER SERVICE
	PHONE: (800) 582-0000

P:\2021\2021\2021\Civil\Sheets\2007 FDP cd.dwg - F:\P\01_2112\2021_7:30:15 AM - I.PATTERSON - I.TANNER CONSULTING, LLC - OK CA 7661 EXP 6/30/2021



State Plane Calibration Points

MISSOURI WEST ZONE
NAD 1983

POINT	NORTH	EAST	ELEVATION	MONUMENT
5	968,522.80	2,782,029.00	1,088.91	CA25 ALUM CAP
25	959,439.00	2,784,987.00	1,054.46	CA25 ALUM CAP

Benchmark 1

IRON PIN WITH RED CAP SET APPROX. 593'
EAST OF INTERSECTION OF MARKEY PKWY.
& TOWNE CENTER DR. & 15' SOUTH OF
SOUTH CURB

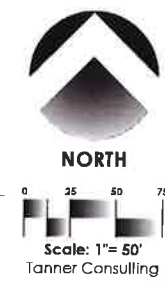
(965613.66N, 2784731.83E)
ELEVATION = 1074.55 (NAVD 88)

Benchmark 2

NORTH CORNER OF CURB INLET, APPROX.
376' SOUTH OF INTERSECTION OF MARKEY
PKWY. & TOWNE CENTER DR. & 18' EAST.

(965531.46N, 2784007.15E)
ELEVATION = 1062.66 (NAVD 88)

UNPLATTED
PAVILLION PROPERTIES, LLC



Notes

- BOUNDARY AND EASEMENTS SHOWN ARE TAKEN FROM ALTA/HSFS LAND TITLE SURVEY PREPARED BY MICHAEL J. HUFFMAN DATED APRIL 3, 2020.
- TOPOGRAPHIC INFORMATION SHOWN HEREON WAS PREPARED BY TANNER CONSULTING, LLC, TULSA, OKLAHOMA.
- ALL GRADES ARE BASED ON NORTH AMERICAN DATUM 1988 (NAVD 88).
- COORDINATES ARE BASED ON THE MISSOURI STATE PLANE COORDINATE SYSTEM NAD93 WEST ZONE WITH GRID FACTOR OF 0.9998942 HELD AT LOCAL CONTROL STATION CA-05.
- BORE LOCATIONS SHOWN ARE TAKEN FROM THE GEOTECHNICAL REPORT NO. 1205014 PREPARED BY BELONGIA CONSULTANTS AND EBE ENGINEERING & ASSOCIATES, LLC DATED APRIL 21, 2020.



1-28-2021
Tanner Consulting
LLC
CIVIL ENGINEERING |

3323 SOUTH LEWIS AVENUE
TULSA OKLAHOMA 74105-6539
OFFICE: 918.745.9929
www.tannerballshop.com
MISSOURI CERTIFICATE OF AUTHORITY
2007025524 EXP. 12/31/2021



BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF TANNER CONSULTING, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT WRITTEN PERMISSION AND CONSENT. ANY CHANGES MADE FROM THESE PLANS WITHOUT CONSENT OF TANNER CONSULTING ARE UNAUTHORIZED AND SHALL RELIEVE TANNER CONSULTING OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

MILESTONE	DATE

PLOT DATE: 2/12/21

ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF BELTON STANDARDS AND SPECIFICATIONS

Center 301
301 Towne Centre Drive
Belton, MO

PROJECT: 20007
ISSUE DATE: N/A
ATLAS PAGE NO: N/A
PLAN SCALE: (H) 1" = 50'
(V) N/A

Existing Conditions

C2.0



Tanner Consulting LLC
CIVIL ENGINEERING I

5323 SOUTH LEWIS AVENUE
TULSA OKLAHOMA 74105-6539
OFFICE: 918.745.9929
www.tannerbaitshop.com
MISSOURI CERTIFICATE OF AUTHORITY
200702524 EXP. 12/31/2021

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MILESTONE DATE
PLOT DATE: 2/12/21
ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF BELTON STANDARDS AND SPECIFICATIONS

Center 301
301 Towne Centre Drive
Belton, MO

PROJECT: 20007
ISSUE DATE: N/A
ATLAS PAGE NO: N/A
PLAN SCALE: (H) 1"=100'
(V) N/A

Dimensioned Site Plan

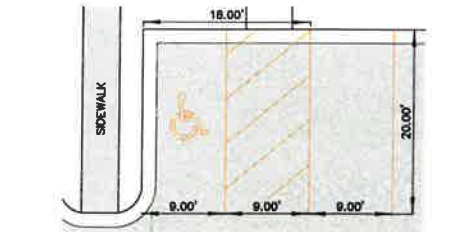
C3.0
OF 00

Site Metrics

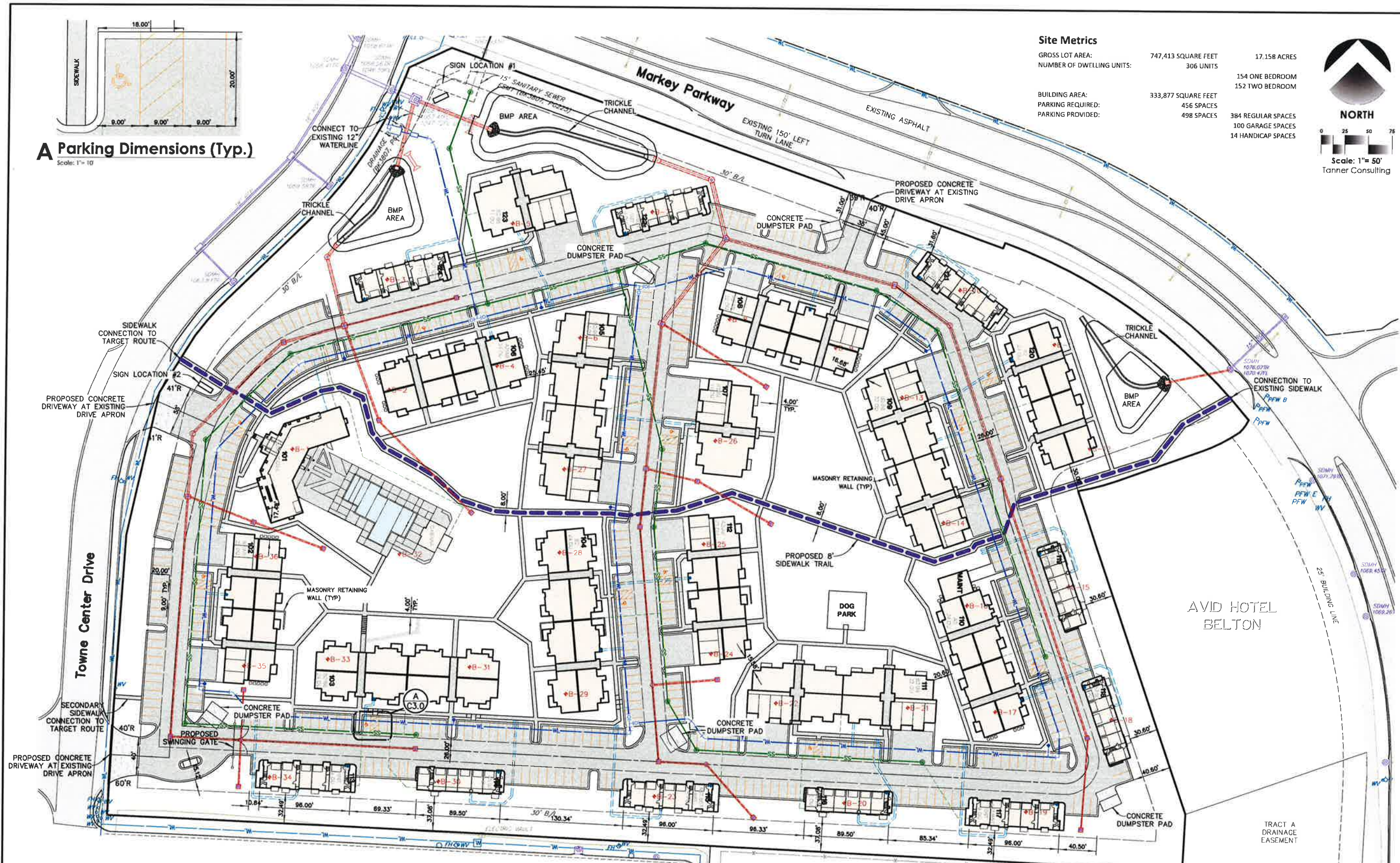
GROSS LOT AREA:	747,413 SQUARE FEET	17.158 ACRES
NUMBER OF DWELLING UNITS:	306 UNITS	
		154 ONE BEDROOM
		152 TWO BEDROOM
BUILDING AREA:	333,877 SQUARE FEET	
PARKING REQUIRED:	456 SPACES	384 REGULAR SPACES
PARKING PROVIDED:	498 SPACES	100 GARAGE SPACES
		14 HANDICAP SPACES



NORTH
Scale: 1"= 50'
Tanner Consulting



A Parking Dimensions (Typ.)
Scale: 1"= 10'



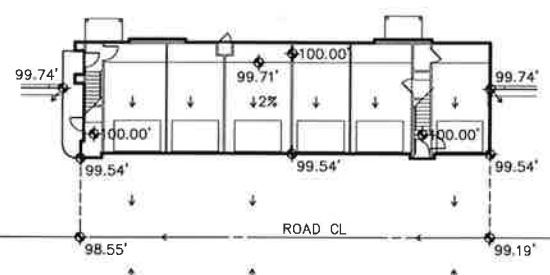
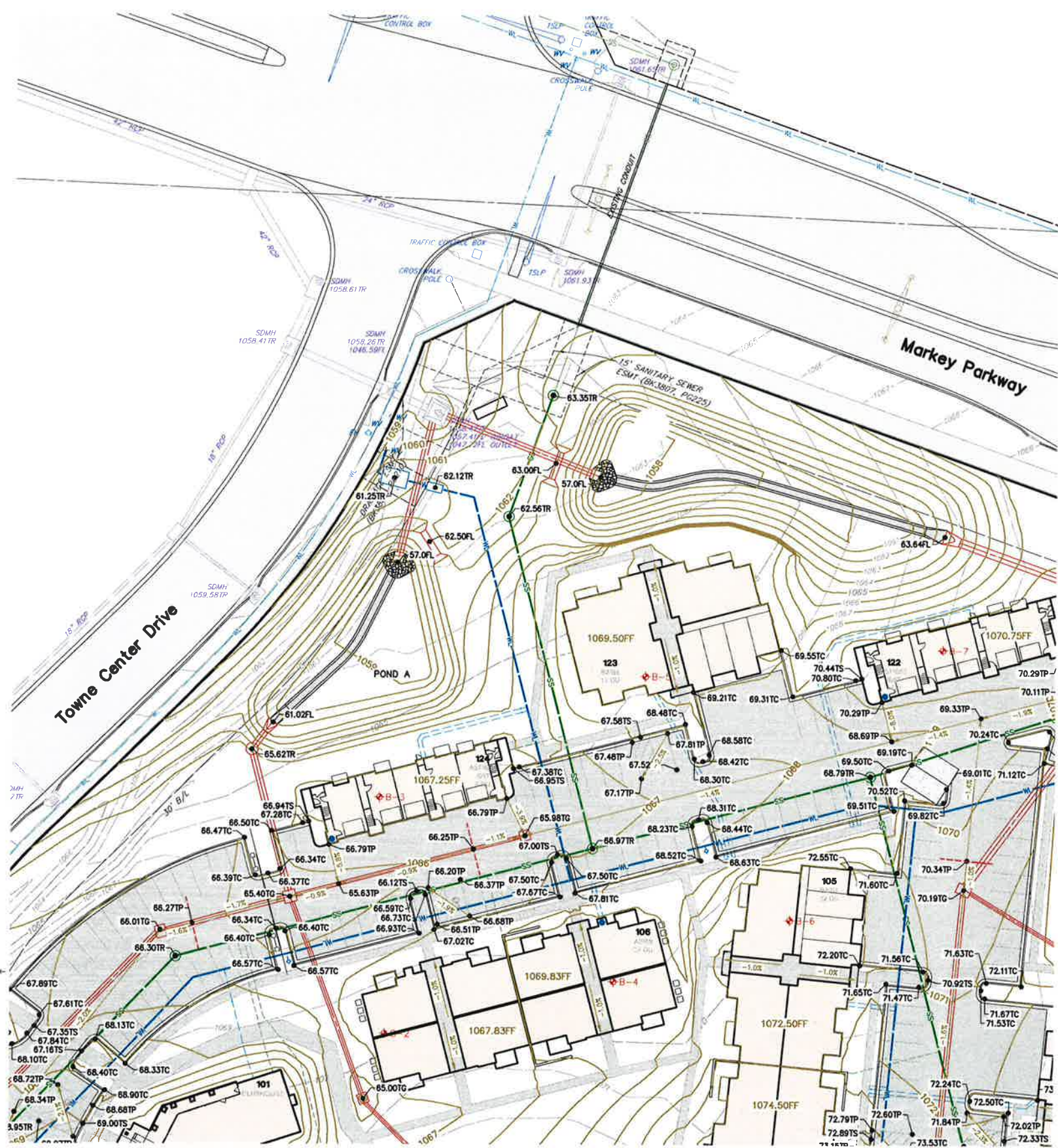
Site Notes

- 2.1 ALL DIMENSIONS SHOWN HEREON ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS SHOWN OTHERWISE ON PLANS.
- 2.2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL CONDUITS PRIOR TO PAVING WHETHER OR NOT SHOWN ON CIVIL PLANS.
- 2.3 BUILDINGS SHOWN HEREON ARE REPRESENTATIVE ONLY AND NOT FOR CONSTRUCTION. REFER TO ARCHITECTURAL PLANS FOR COMPLETE BUILDING DIMENSIONS, DETAILS AND SPECIFICATIONS.
- 2.4 CONTRACTOR SHALL COORDINATE ALL UTILITY SERVICES WITH UTILITY SUPPLIER. LAYOUT MAY BE MODIFIED AS NEEDED.
- 2.5 COORDINATE ALL BUILDING CONNECTIONS AND LINE/METER SIZING WITH THE MECHANICAL, ELECTRICAL, AND PLUMBING PLANS.
- 2.6 UTILITY SERVICE CONNECTIONS SHALL BE INSTALLED AS PER APPLICABLE CITY CODES AND SPECIFICATIONS.
- 2.7 ELECTRICAL CONDUIT SHALL BE 4" PVC SCH40 (GRAY), TELEPHONE CONDUIT SHALL BE 4" PVC SCH40 (WHITE) AND CABLE TELEVISION CONDUIT SHALL BE 4" SDR 35 PVC (WHITE). ALL ARE TO BE INSTALLED WITH A PULL STRING.
- 2.8 MAXIMUM FINISHED LONGITUDINAL SLOPE FOR SIDEWALK MUST NOT EXCEED 5%, UNLESS OTHERWISE SPECIFIED HEREIN. MAXIMUM FINISHED CROSS SLOPE FOR SIDEWALKS MUST NOT EXCEED 2%. ALL WORK MUST MEET APPLICABLE ADA REQUIREMENTS. ANY CONSTRUCTED SLOPES EXCEEDING ADA REQUIREMENTS MUST BE REPLACED PRIOR TO ACCEPTANCE.

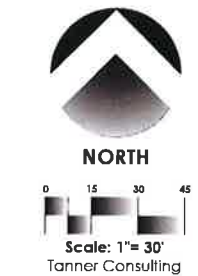
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Sediment Control General Notes

- THE DEVELOPMENT IS REQUIRED TO MEET THE 2012 MARC MANUAL OF BEST MANAGEMENT PRACTICES FOR STORMWATER QUALITY AND THE KANSAS CITY METROPOLITAN CHAPTER OF APWA SECTION 5601.5.A.A.B.3 - SPECIAL LOCALLY-DEFINED STRATEGIES WITH CONSIDERATION FOR PREVIOUSLY DISTURBED SITES.
- THE THREE PHASES OF EROSION CONTROL ARE:
 - INITIAL SITE INSTALLATION OF EROSION CONTROL MEASURES
 - MASS GRADING AND INTEREM CONSTRUCTION EROSION CONTROL MEASURES
 - FINAL AND PERMANENT EROSION CONTROL MEASURES
- THE CONTRACTOR SHALL MAINTAIN A COPY OF THE MISSOURI DEPARTMENT OF NATURAL RESOURCES PERMIT AND THE COMPLETE EROSION CONTROL PLAN ONSITE IN A LOCATION READILY ACCESSIBLE FOR REVIEW AND DEMONSTRATION OF COMPLIANCE.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PREPARE DOCUMENTS CONVEYING THE INTENDED WORK SCHEDULE AND PROPOSED TASK SEQUENCING FOR THE PROJECT AND THE CONTRACTOR MUST IDENTIFY THE PERSON RESPONSIBLE AND CAPABLE OF MEETING ALL EROSION CONTROL REQUIREMENTS RELATED TO THE DEVELOPMENT.
- EXCEPT WHERE NECESSARY TO INSTALL EROSION AND SEDIMENT CONTROL DEVICES, CLEARING ACTIVITIES SHALL NOT BEGIN UNTIL ALL EROSION AND SEDIMENT CONTROL DEVICES HAVE BEEN INSTALLED AND THE SOIL HAS BEEN STABILIZED.
- THE CONTRACTOR SHALL PROVIDE FOR CONTROL OF SURFACE EROSION AND SEDIMENT DEPOSITION DURING ALL PHASES OF CONSTRUCTION UNTIL THE OWNER ACCEPTS THE WORK AS COMPLETE. THE CONTRACTOR SHALL PROVIDE TEMPORARY SEEDING, BERMS, SILT FENCE SEDIMENT TRAPS OR OTHER MEANS TO PREVENT SEDIMENT FROM REACHING THE PUBLIC RIGHT-OF-WAY, STREAMS OR ADJACENT PROPERTY. IN THE EVENT THE PREVENTION MEASURES ARE NOT EFFECTIVE, THE CONTRACTOR SHALL REMOVE ANY DEBRIS OR SEDIMENT AND RESTORE THE RIGHT-OF-WAY AND ADJACENT PROPERTY TO ITS ORIGINAL OR BETTER CONDITION.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL PUBLIC ROADWAYS ADJACENT TO THE CONSTRUCTION SITE FREE OF DEBRIS OR SEDIMENT RESULTING FROM ACTIVITIES RELATED TO THE CONSTRUCTION OF THIS DEVELOPMENT.
- SEDIMENT CONTROL SHALL BE COMPLETED WITHIN FOURTEEN (14) CALENDAR DAYS ON ALL OTHER DISTURBED OR GRADED AREAS. THIS REQUIREMENT DOES NOT APPLY TO THOSE AREAS THAT ARE SHOWN ON THE PLANS THAT ARE CURRENTLY BEING USED FOR MATERIAL STORAGE OR FOR THOSE AREAS, WHICH ACTUAL CONSTRUCTION ACTIVITIES ARE CURRENTLY BEING PERFORMED.
- THE CONTRACTOR SHALL INSPECT THE LAND DISTURBANCE SITE AT LEAST ONCE EVERY SEVEN (7) DAYS AND WITHIN TWENTY-FOUR (24) HOURS FOLLOWING EACH RAINFALL EVENT OF 1/2" OR MORE WITHIN ANY TWENTY-FOUR (24) HOUR PERIOD. THE CONTRACTOR SHALL ALSO INSPECT AND ASSURE THAT ALL SEDIMENT CONTROL DEVICES ARE IN WORKING CONDITION PRIOR TO ANY FORECASTED RAINFALL.
- THE CONTRACTOR SHALL REMOVE SEDIMENT FROM THE FLOW AREAS AND MAKE ALL NECESSARY REPAIRS TO MAINTAIN THE INTEGRITY OF THE SEDIMENT CONTROL MEASURES. SEDIMENT SHALL BE REMOVED ONCE IT REACHES 1/2 THE INSTALLED HEIGHT OF MEASURE.
- SEDIMENT CONTROL MEASURES SHALL BE REMOVED ONCE 70 PERCENT OF THE PERMANENT COVER IS ESTABLISHED OVER 100 PERCENT OF THE TRIBUTARY AREA.
- SOME OF THE EROSION AND SEDIMENT CONTROL MEASURES, SUCH AS DIVERSION DIKES AND SEDIMENT TRAPS, WILL REQUIRE THE CONTRACTOR TO INSTALL, REMOVE, AND REINSTALL THE MEASURES AS CONSTRUCTION PROCEEDS. THE PHASING OF THIS WORK IS DEPENDENT ENTIRELY ON THE CONTRACTOR'S SCHEDULE AND IS NOT SPECIFIED HEREIN. HOWEVER, THE CONTRACTOR SHALL COORDINATE THESE ACTIONS AT THE TIMES ADJUSTMENTS ARE NEEDED.



A Typical Grading A3/B3
Scale: NONE



Benchmark 1 \diamond
IRON PIN WITH RED CAP SET APPROX. 593'
EAST OF INTERSECTION OF MARKEY PKWY.
& TOWNE CENTER DR. & 15' SOUTH OF
SOUTH CURB

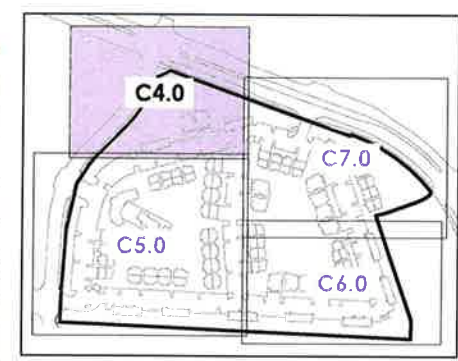
(965613.66N, 2784731.83E)
ELEVATION = 1074.55 (NAVD 88)

Benchmark 2 \diamond
NORTH CORNER OF CURB INLET, APPROX.
376' SOUTH OF INTERSECTION OF MARKEY
PKWY. & TOWNE CENTER DR. & 18' EAST.

(965531.46N, 2784007.15E)
ELEVATION = 1062.66 (NAVD 88)

Legend

- BW BASE OF WALL FINISH GRADE
- CTRN CURB TRANSITION
- EP EDGE OF PAVING
- EX EXISTING GROUND
- FF FINISH FLOOR
- FG FINISH GRADE
- FL FLOWLINE
- GU GUTTER
- TC TOP OF CURB
- TG TOP OF GRATE
- TP TOP OF PAVING
- TR TOP OF RIM
- TS TOP OF SIDEWALK OR STEP
- TW TOP OF WALL FINISH GRADE



STATE OF MISSOURI
DAN EDWIN
TANNER
NUMBER
PF-21427
PROFESSIONAL
ENGINEER
1-28-2021
Tanner Consulting LLC
CIVIL ENGINEERING |
5323 SOUTH LEWIS AVENUE
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MILESTONE	DATE
PLOT DATE:	2/12/21

ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF BELTON STANDARDS AND SPECIFICATIONS

Center 301
301 Towne Centre Drive
Belton, MO

PROJECT: 20007
ISSUE DATE: N/A
ATLAS PAGE NO: N/A
PLAN SCALE: (H) 1" = 30'
(V) N/A

Grading Plan 1

C4.0
OF 00

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MATCH SHEET C4.0

Towne Center Drive

MATCH SHEET C6.0



NORTH
Scale: 1" = 30'
Tanner Consulting

Benchmark 1

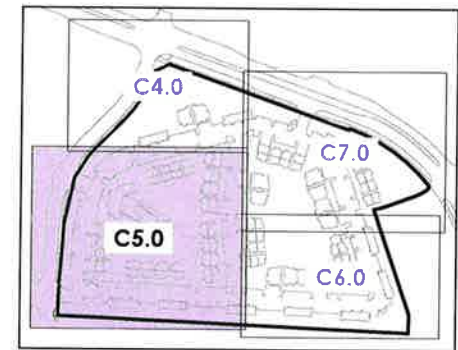
IRON PIN WITH RED CAP SET APPROX. 593' EAST OF INTERSECTION OF MARKEY PKWY. & TOWNE CENTER DR. & 15' SOUTH OF SOUTH CURB
(965613.66N, 2784731.83E)
ELEVATION = 1074.55 (NAVD 88)

Benchmark 2

NORTH CORNER OF CURB INLET APPROX. 376' SOUTH OF INTERSECTION OF MARKEY PKWY. & TOWNE CENTER DR. & 18' EAST.
(965531.46N, 2784007.15E)
ELEVATION = 1062.66 (NAVD 88)

Legend

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Center 301
301 Towne Centre Drive
Belton, MO

PROJECT: 20007
ISSUE DATE:
ATLAS PAGE NO: N/A
PLAN SCALE: (H) 1" = 30'
(V) N/A

Grading Plan 2

C5.0

OF 00

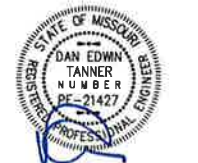
STATE OF MISSOURI
DAN EDWIN TANNER
NUMBER 21427
PROFESSIONAL ENGINEER
1-28-2021
Tanner Consulting LLC
CIVIL ENGINEERING |
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MILESTONE	DATE

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NORTH
Scale: 1" = 30'
Tanner Consulting

Benchmark 1

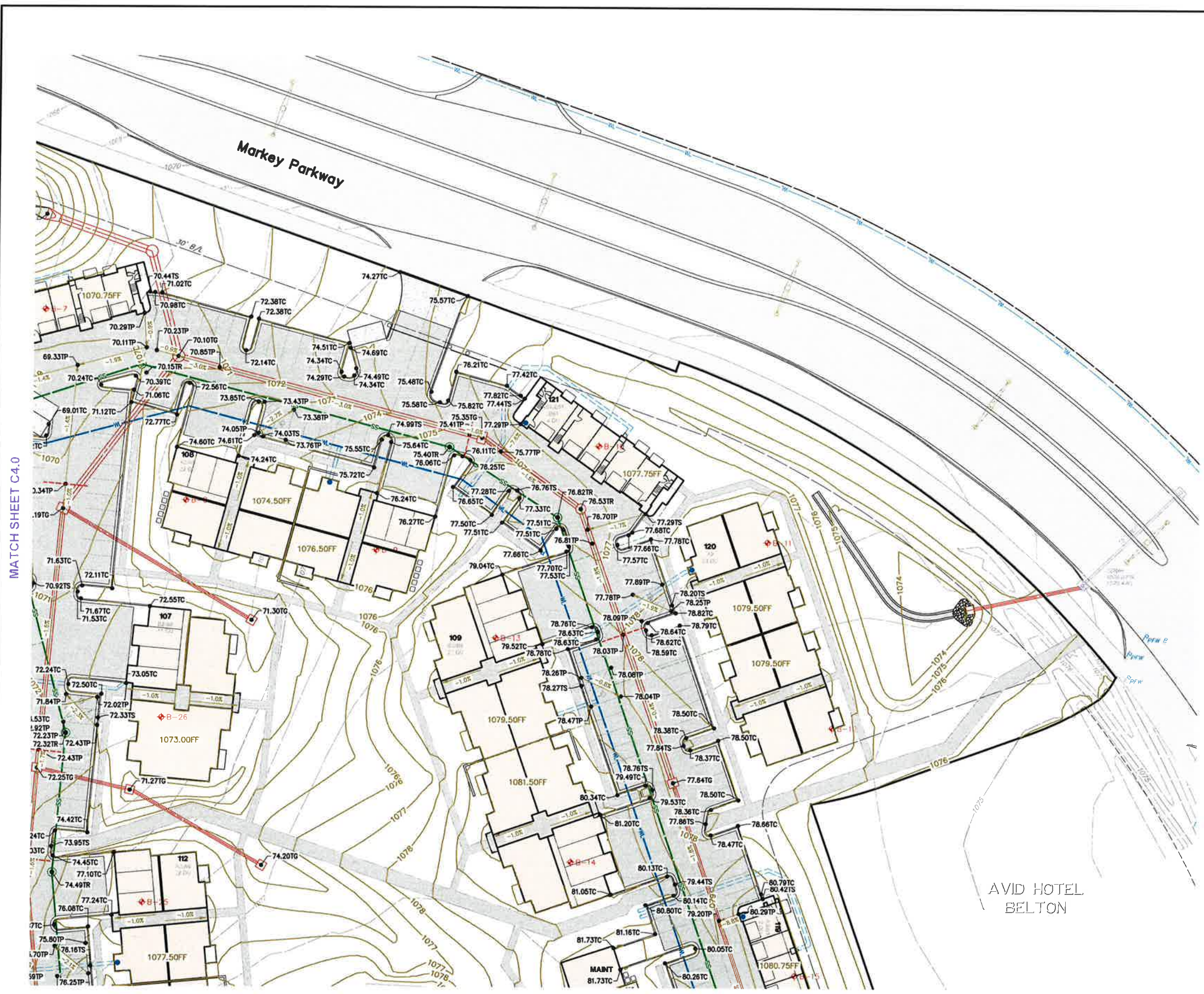
IRON PIN WITH RED CAP SET APPROX. 593' EAST OF INTERSECTION OF MARKEY PKWY. & TOWNE CENTER DR. & 15' SOUTH OF SOUTH CURB
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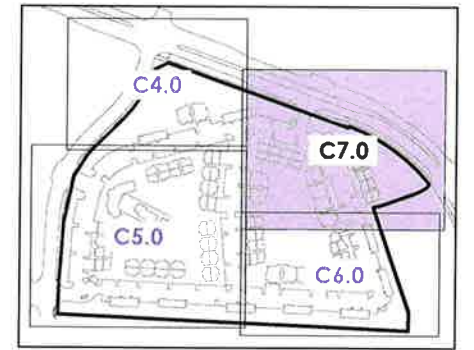
Legend

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- TW TOP OF WALL FINISH GRADE



MATCH SHEET C4.0

MATCH SHEET C6.0



Center 301
301 Towne Centre Drive
Belton, MO

PROJECT: 20007
ISSUE DATE: N/A
ATLAS PAGE NO: N/A
PLAN SCALE: (H) 1" = 30'
(V) N/A

Grading Plan 4

C7.0

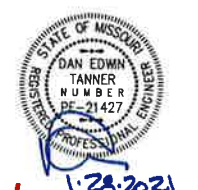
OFFSITE DETENTION

NOTE: ALL INTERIOR WATER LINES, HYDRANTS, AND DOMESTIC FIRE PROTECTION LINES ARE PRIVATE.

UNPLATTED
PAVILLION PROPERTIES, LLC



NORTH
Scale: 1" = 50'
Tanner Consulting



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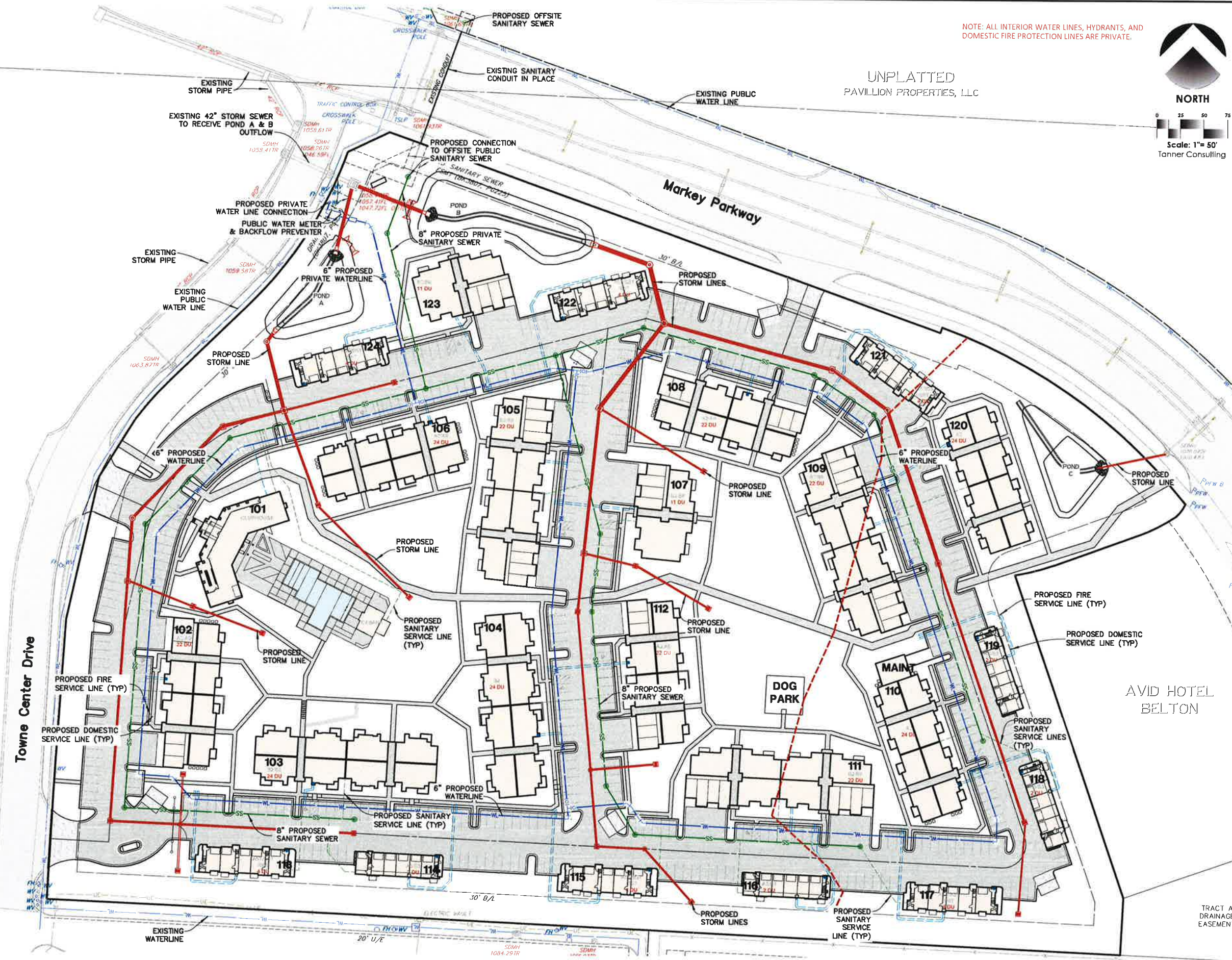
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MILESTONE	DATE

PLOT DATE: 2/12/21

ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF BELTON STANDARDS AND SPECIFICATIONS

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Center 301
301 Towne Centre Drive
Belton, MO

PROJECT: 20007
ISSUE DATE: N/A
ATLAS PAGE NO: N/A
PLAN SCALE: (H) 1" = 50'
(V) N/A

Utilities Plan







C9.0
OF 00

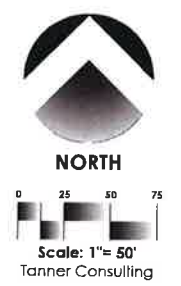
TRACT A DRAINAGE EASEMENT

OFFSITE
DETENTION
AREA

UNPLATTED
PAVILLION PROPERTIES, LLC

Erosion Control Legend

-  INLET PROTECTION (APWA ESC-06)
-  SILT FENCE (APWA ESC-03)
-  LIMITS OF DISTURBANCE
-  STABILIZED CONSTRUCTION ENTRANCE/CROSSING
-  SOD
-  CHECK DAM



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____ MILESTONE _____ DATE

PLOT DATE: 2/12/21

ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF BELTON STANDARDS AND SPECIFICATIONS

Towne Center Drive

Markey Parkway

AVID HOTEL
BELTON



TRACT A
DRAINAGE
EASEMENT

Center 301
 301 Towne Centre Drive
 Belton, MO

PROJECT: 20007
 ISSUE DATE: N/A
 ATLAS PAGE NO: N/A
 PLAN SCALE: (H) 1" = 50'
 (V) N/A

**Erosion Control
Phase II**

C12.0
 OF 00







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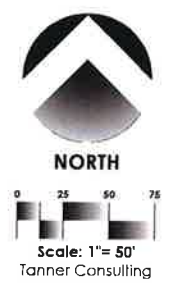
OFFSITE DETENTION AREA

UNPLATTED
PAVILLION PROPERTIES, LLC

NOTE: ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED AND MULCHED, OR SODDED, IN ACCORDANCE WITH KCMO/APWA 2406. APPLICATION OF SEEDING/SOD SHALL BE IN ACCORDANCE WITH KCMO/APWA 2406.4 THIS SHALL BE COMPLETED WITHIN FOURTEEN (14) DAYS AFTER COMPLETING THE WORK, IN ANY AREA, IF THIS IS OUTSIDE OF THE SEEDING PERIOD. SILT BARRIERS OR OTHER SIMILARLY EFFECTIVE MEASURES SHALL BE PROVIDED UNTIL SUCH TIME THAT THE AREAS CAN BE SEEDED. THE SITE DISTURBANCE PERMIT SHALL BE MAINTAINED IN AN "OPEN" STATUS UNTIL FINAL ACCEPTANCE PER KCMO/APWA 2407. SEE SHEET GE13 FOR ADDITIONAL EROSION CONTROL NOTES

Erosion Control Legend

-  INLET PROTECTION (APWA ESC-06)
-  SILT FENCE (APWA ESC-03)
-  LIMITS OF DISTURBANCE
-  STABILIZED CONSTRUCTION ENTRANCE/CROSSING
-  SOD
-  CHECK DAM



1-28-2021
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PLOT DATE: 2/12/21

ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF BELTON STANDARDS AND SPECIFICATIONS

Towne Center Drive

Markey Parkway

AVID HOTEL BELTON

DOG PARK

MAIN

TRACT A DRAINAGE EASEMENT

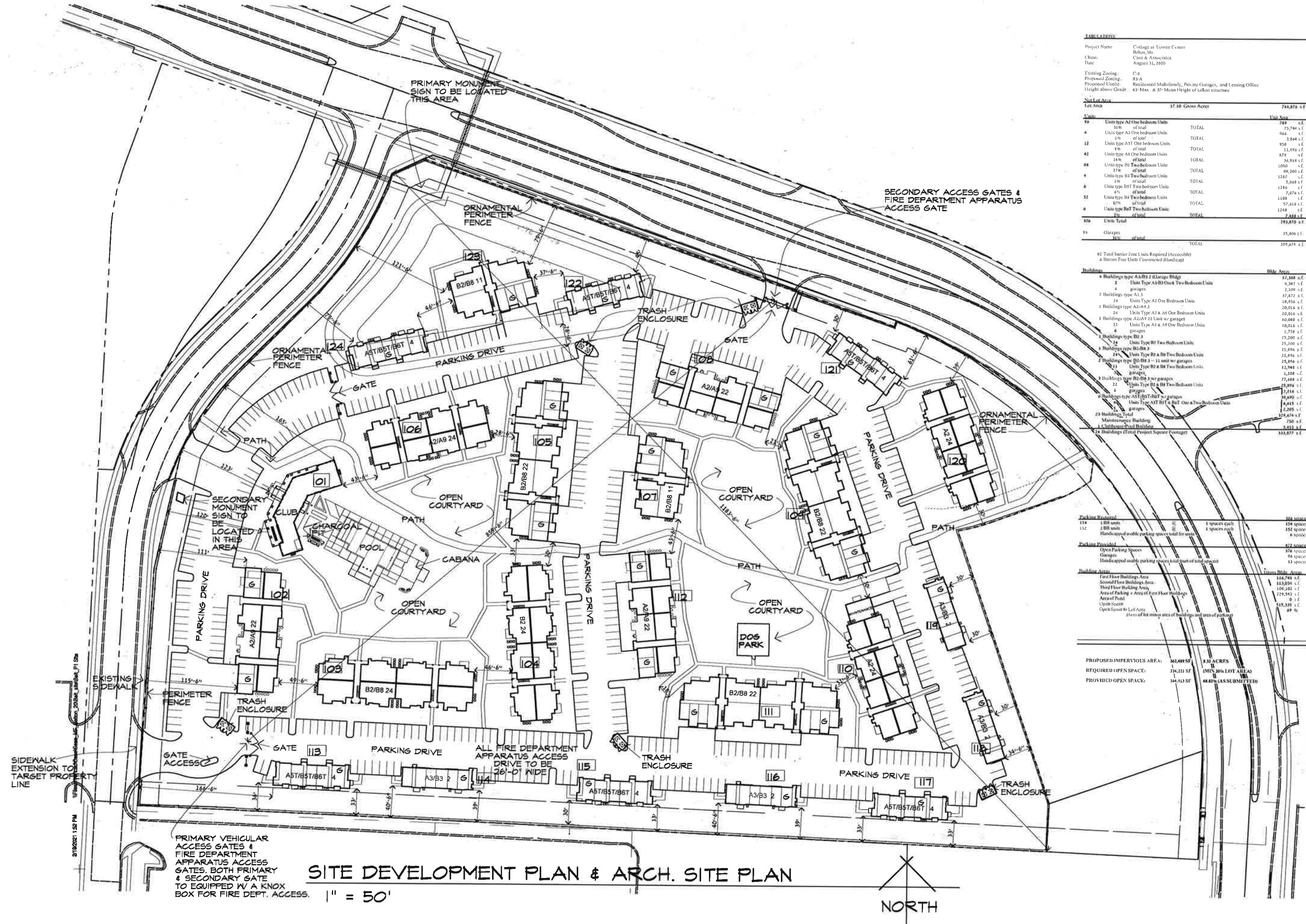
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Belton, MO

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(V) N/A

Erosion Control Phase III

C13.0
OF 00



TABLETIVE

Project Name: Collage at Towne Center
 Client: Babson, Mc Case & Associates
 Date: August 31, 2020

Existing Zoning: C-2
 Proposed Zoning: R-3A
 Proposed Use: Residential Multifamily, Private Garages, and Leasing Office
 Height above Grade: 43' Max. & 27' Mean Height of tallest structure

Unit	Unit Area	Unit Area
99	Units type A2 One bedroom Units 31% of total	289 s.f.
	TOTAL	75,744 s.f.
4	Units type A3 One bedroom Units 14% of total	966 s.f.
	TOTAL	3,844 s.f.
12	Units type A5T One bedroom Units 4% of total	958 s.f.
	TOTAL	11,496 s.f.
42	Units type A3 One bedroom Units 14% of total	879 s.f.
	TOTAL	36,918 s.f.
88	Units type B2 Two bedroom Units 27% of total	1,050 s.f.
	TOTAL	49,200 s.f.
4	Units type B3 Two bedroom Units 1% of total	1,267 s.f.
	TOTAL	5,688 s.f.
6	Units type B5T Two bedroom Units 6% of total	1,249 s.f.
	TOTAL	7,474 s.f.
32	Units type B3 Two bedroom Units 8% of total	1,108 s.f.
	TOTAL	57,618 s.f.
4	Units type B4T Two bedroom Units 2% of total	1,270 s.f.
	TOTAL	7,488 s.f.
306	Units Total	393,470 s.f.
96	Garages 11% of total	35,804 s.f.
	TOTAL	329,674 s.f.

82 Total barrier Free Units Required (Accessible)
 & Barrier Free Units Constructed (Handicap)

Buildings	Blk. Area
1 Buildings type A3/B3 2 Garage Bldg	12,348 s.f.
2 Units Type A3-B3 One Bedroom Units	4,342 s.f.
4 garages	2,109 s.f.
2 Buildings type A3-3	37,872 s.f.
24 Units Type A2 One Bedroom Units	18,936 s.f.
1 Buildings type A2/A3-3	20,016 s.f.
24 Units Type A2 & A3 One Bedroom Units	20,016 s.f.
3 Buildings type A2/A3 22 Unit w/ garages	40,048 s.f.
22 Units Type A2 & A3 One Bedroom Units	20,016 s.f.
4 garages	1,758 s.f.
1 Buildings type B2-3	25,200 s.f.
24 Units Type B2 Two Bedroom Units	25,200 s.f.
1 Buildings type B2/B8-3	25,896 s.f.
24 Units Type B2 & B8 Two Bedroom Units	25,896 s.f.
7 Buildings type B2/B8-3 - 11 unit w/ garages	25,896 s.f.
23 Units Type B2 & B8 Two Bedroom Units	12,244 s.f.
4 garages	1,108 s.f.
3 Buildings type B2/B8-3 w/ garages	77,688 s.f.
22 Units Type B2 & B8 Two Bedroom Units	25,896 s.f.
4 garages	1,214 s.f.
6 Buildings type A5T/B5T w/ garages	39,690 s.f.
22 Units Type A5T & B5T One & Two Bedroom Units	39,690 s.f.
23 Buildings w/ Maintenance Building	379,474 s.f.
1 Clubhouse/Pool Building	750 s.f.
14 Buildings (Total Project Square Footage)	333,877 s.f.

Parking Provided	Units	Blk. Area
114 1 BR units	114 spaces each	124 spaces
152 2 BR units	152 spaces each	152 spaces
Handicapped/mobility parking spaces total for units	8 spaces	8 spaces
Parking Provided		372 spaces
Open Parking Spaces		378 spaces
Garages		94 spaces
Handicapped/mobility parking spaces total (out of total spaces)		43 spaces

Building Area	Units	Blk. Area
First Floor Buildings Area		116,741 s.f.
Second Floor Buildings Area		113,039 s.f.
Third Floor Buildings Area		104,102 s.f.
Area of Parking + Area of First Floor Buildings		229,541 s.f.
Area of Pool		0 s.f.
Clubhouse		750 s.f.
Open Space w/ Lot Area		89 s.f.
Area of lot minus area of buildings and area of parking		

PROPOSED IMPERVIOUS AREA: 362,489 SF 8.32 ACRES
 REQUIRED OPEN SPACE: 224,221 SF 5.11 ACRES
 PROVIDED OPEN SPACE: 344,913 SF 7.82 ACRES (AS SUBMITTED)

REVISIONS

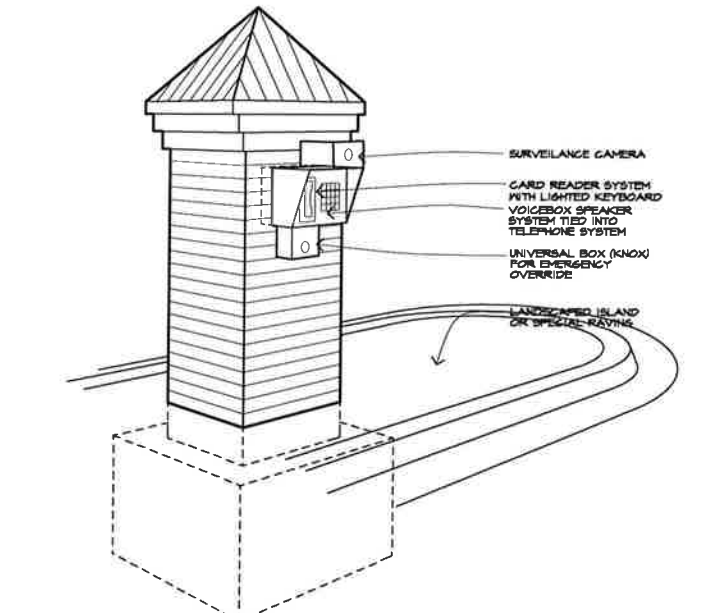
Center 301 Apartment Homes
 PROJECT: Center 301 Apartment Homes
 LOCATION: Belton, Missouri
 CLIENT: Case Development Services

SEAL: [Architect Seal]

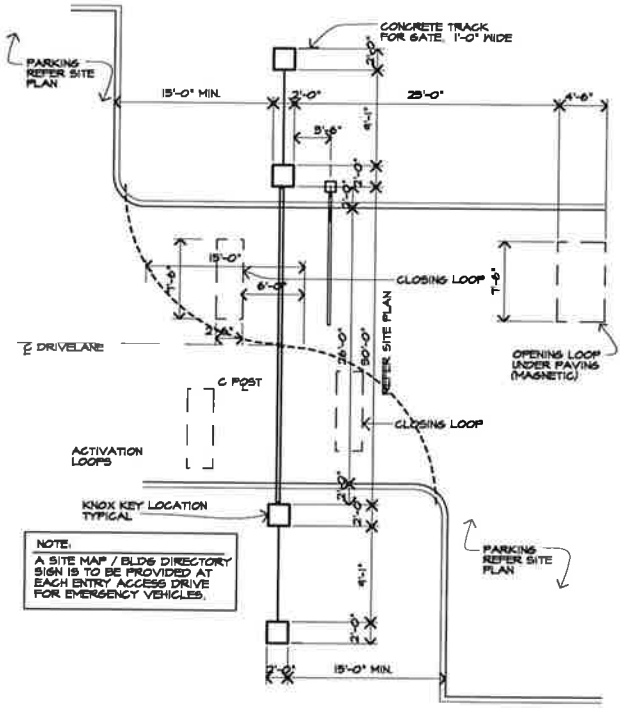
Architects Collective
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 TULSA, OKLAHOMA 74135
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PROJECT NUMBER: []
 DATE: []
 SHEET TITLE: DEVELOPMENT PLAN
 SHEET NUMBER: P1

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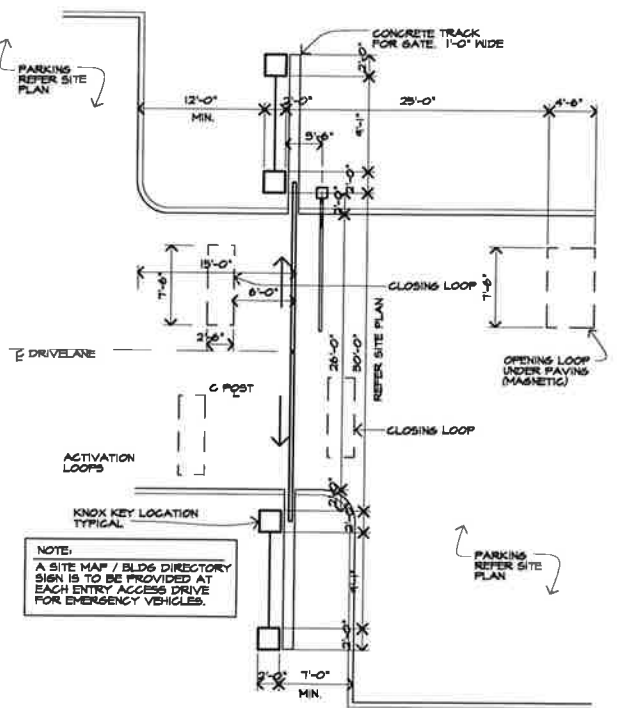


F ELECTRONIC ACCESS CONTROL BOX
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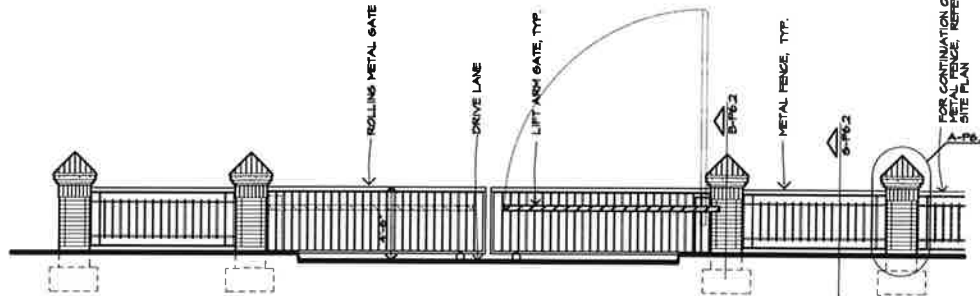
C ENTRY/ EXIT GATE PLAN
1/8" = 1'-0"

TENANT & GUEST
OPTIONAL REMOTE
LIFT ARM & SWINGING GATES

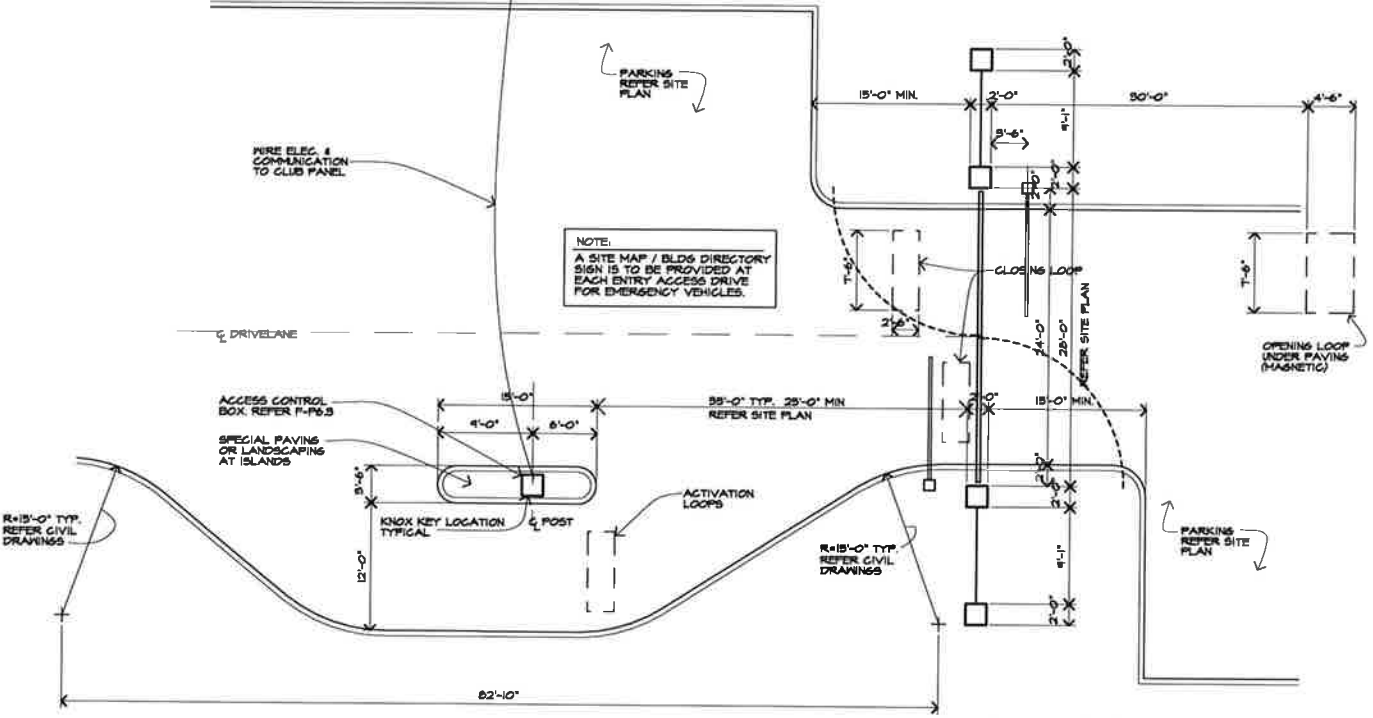


B ENTRY/ EXIT GATE PLAN
1/8" = 1'-0"

TENANT & GUEST
OPTIONAL REMOTE
LIFT ARM & SLIDING GATES



D MAIN ENTRY/ EXIT GATE PLAN
3/16" = 1'-0"



NOTE:
PROVIDE KNOX BOX AT ALL ENTRY GATES FOR FIRE DEPT. ACCESS
BOTH PANELS TO OPERATE UPON EMERGENCY OVERRIDE AND REMAIN OPEN.

A MAIN ENTRY/ EXIT GATE PLAN
1/8" = 1'-0"

REVISIONS

Center 301 Apartment Homes

Belton, Missouri
Case Development Services

PROJECT: LOCATION:
CLIENT:



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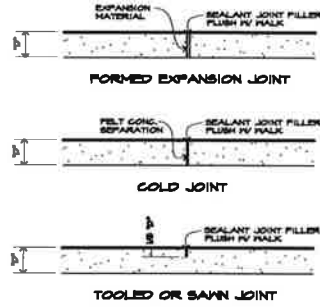


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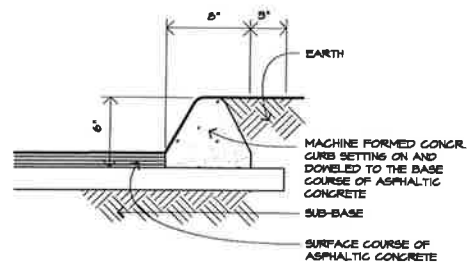
PROJECT NUMBER:
DATE:

SHEET TITLE:
ACCESS GATE

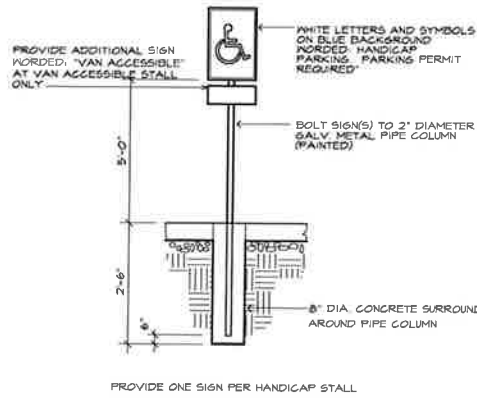
SHEET NUMBER:
P2



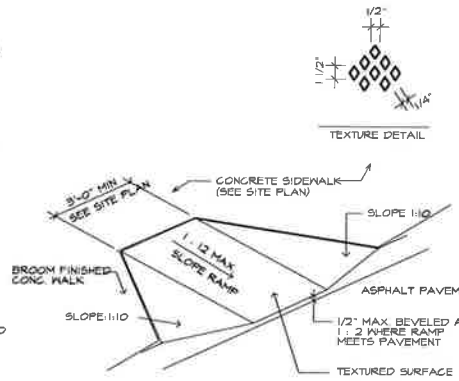
V SIDEWALK JOINT DETAILS
NOT TO SCALE



R CURB DETAIL
3/4"=1'-0"

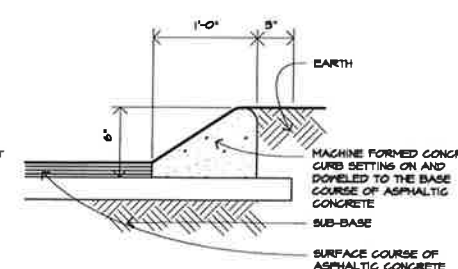


M HANDICAP SIGN
NOT TO SCALE

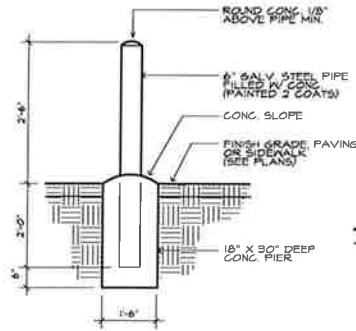


NOTE: RAMP TEXTURING IS TO BE DONE WITH AN EXPANDED METAL GRID PLACED AND REMOVED FROM P&T CONCRETE TO LEAVE A DIAMOND PATTERN 1/8" DEEP OR OTHER ADA APPROVED SURFACE TEXTURE

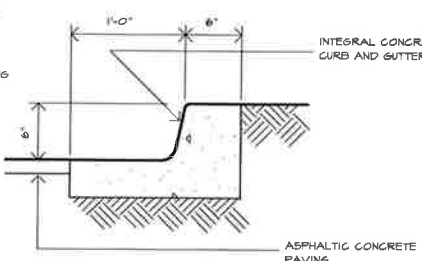
H HANDICAP CURB CUT
NOT TO SCALE



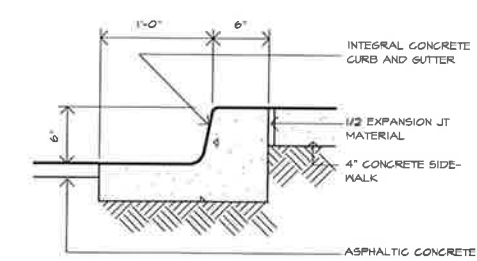
D CURB DETAIL
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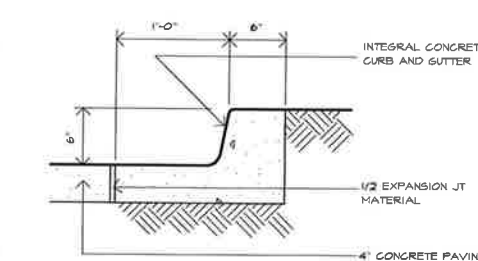
U BOLLARD DETAIL
NOT TO SCALE



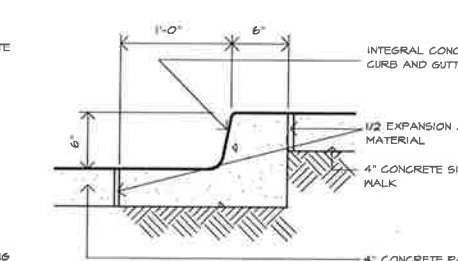
Q CURB DETAIL
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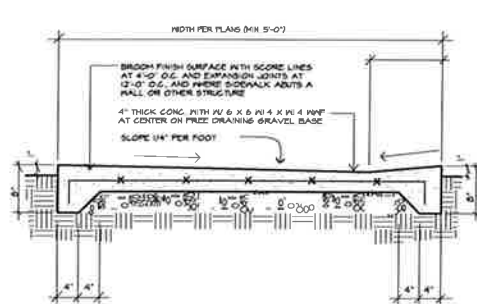
L CURB DETAIL
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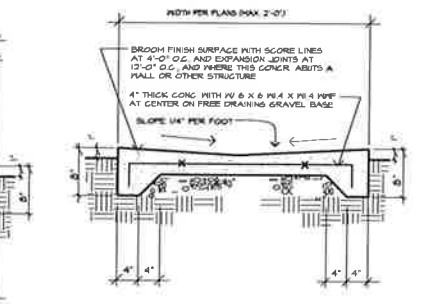
G CURB DETAIL
NOT TO SCALE



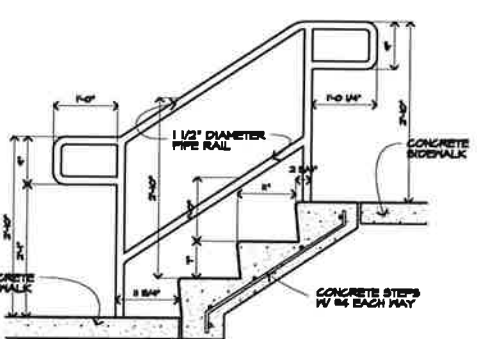
C CURB DETAIL
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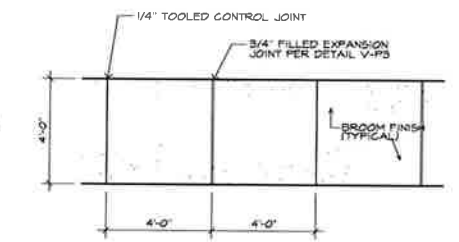
T SIDEWALK SECTION
NOT TO SCALE



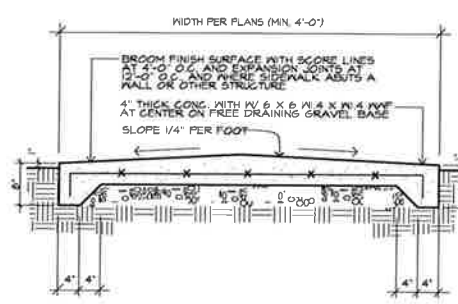
P DRAINAGE PATH
NOT TO SCALE



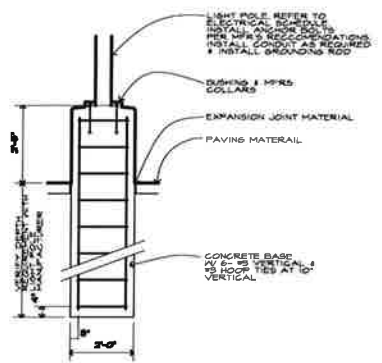
K EXTERIOR CONCRETE STAIR
NOT TO SCALE



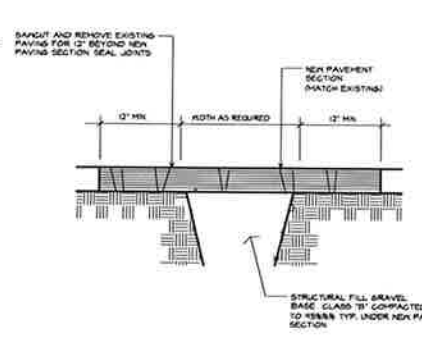
F CONCRETE SIDEWALK PLAN
NOT TO SCALE



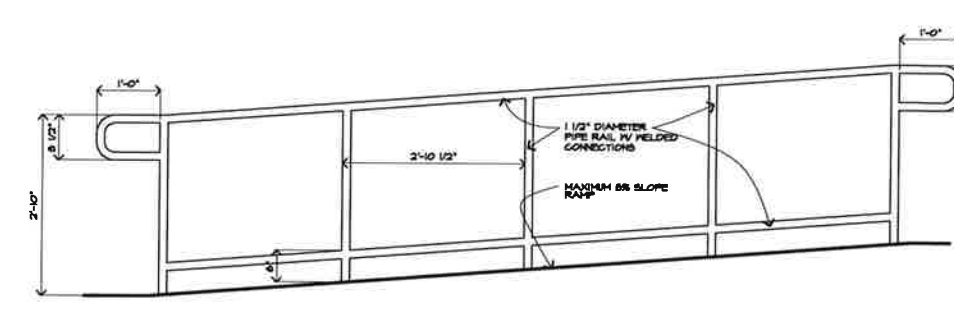
B SIDEWALK SECTION
NOT TO SCALE



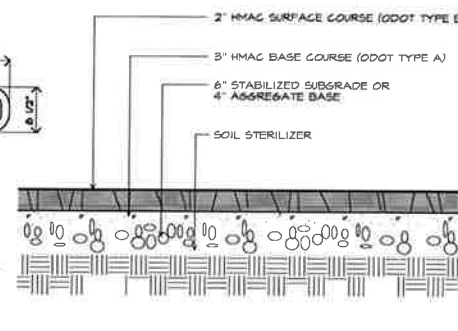
S LIGHT POLE BASE
3/8"=1'-0"



N PAVEMENT PATCH
NOT TO SCALE



E HANDRAIL DETAIL
NOT TO SCALE



A STD PAVEMENT SECTION
NOT TO SCALE

NOTE:
1. SEE CIVIL PLANS FOR LOCATIONS OF HEAVY DUTY PAVEMENT SECTION

REVISIONS

PROJECT: **Center 301 Apartment Homes**

LOCATION: **Belton, Missouri**

CLIENT: **Case Development Services**

SEAL:



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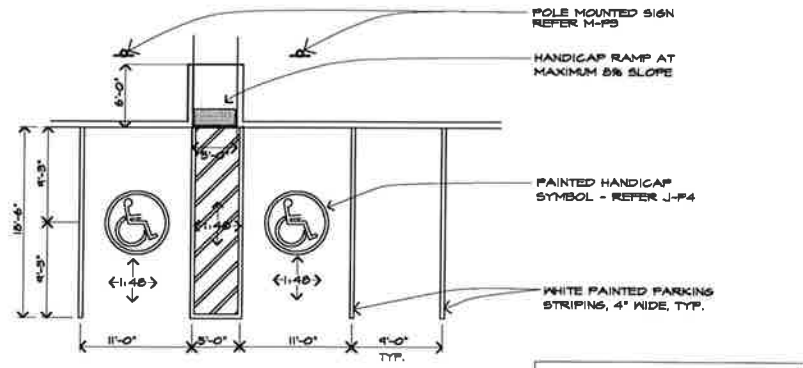
DATE

SHEET TITLE:

SITE DETAILS

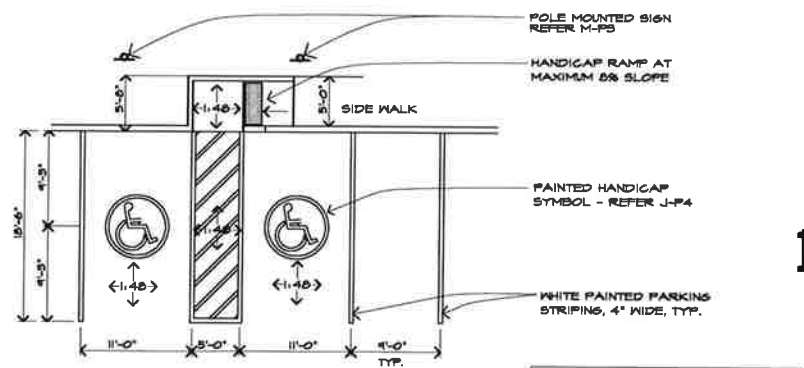
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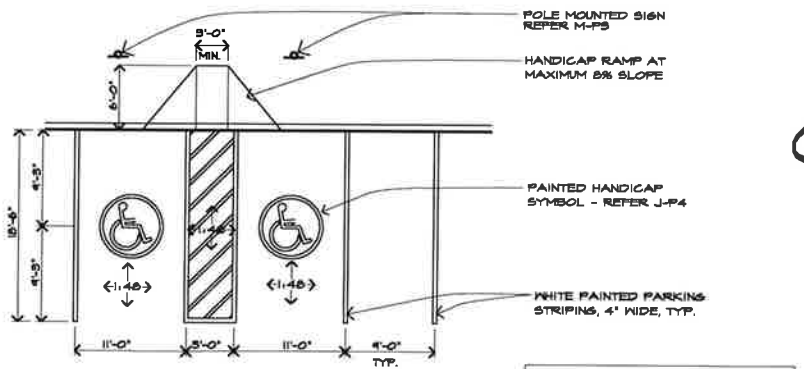
M HC PARKING SPACES
N.T.S.

REFER LOCAL ZONING CODE FOR PARKING SPACE SIZE.



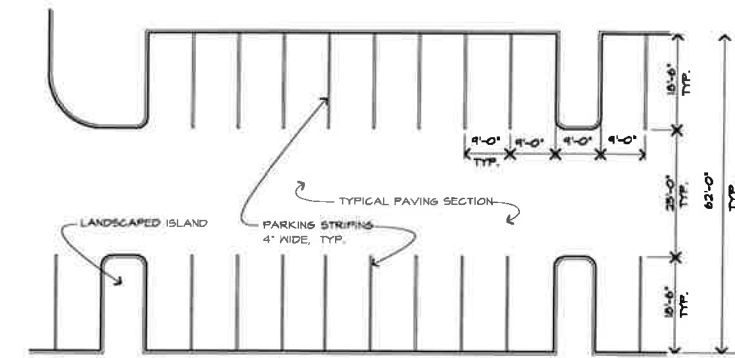
H HC PARKING SPACES
N.T.S.

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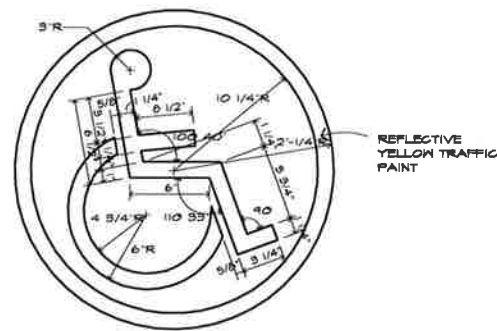
G HC PARKING SPACES
N.T.S.

REFER LOCAL ZONING CODE FOR PARKING SPACE SIZE.

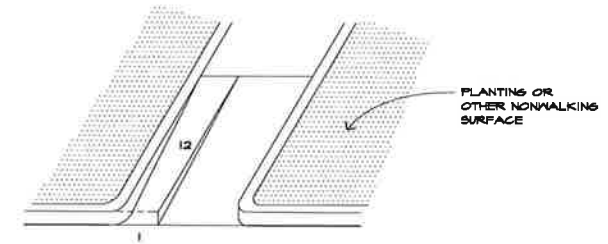


L TYP. 90 DEGREE PARKING
1/16\"/>

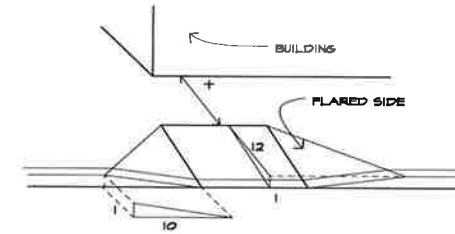
PARKING SHOWN FOR MUNICIPALITIES 8'-6\"/>



J HANDICAP SYMBOL
N.T.S.

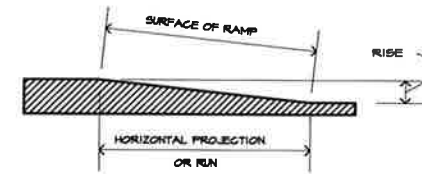


D RETURNED CURB RAMP
N.T.S.



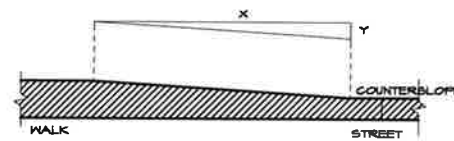
C FLARED SIDED RAMPS
N.T.S.

NOTE: IF X 40° SLOPE MUST BE 1:12



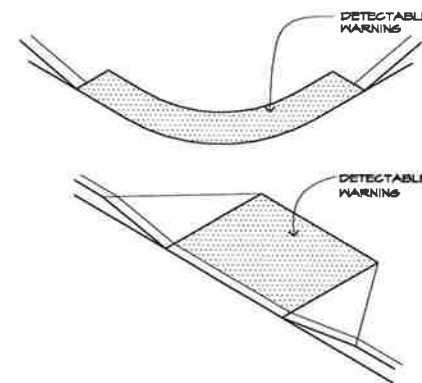
SLOPE	MAXIMUM RISE			
	IN	MM	FT	M
1:12 TO 1:15	30	760	30	9
1:16 TO 1:18	30	760	40	12
1:20	30	760	50	15

B RAMP SLOPES
N.T.S.



F BUILT UP CURB RAMP
N.T.S.

NOTE: SLOPE = Y:X (X IS A LEVEL SURFACE) COUNTER SLOPE MUST BE 1:20.



A DETECTABLE WARNINGS AT RAMPS
N.T.S.

REVISIONS

PROJECT: **Center 301 Apartment Homes**

LOCATION: **Belton, Missouri**

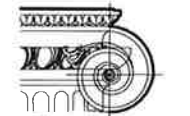
CLIENT: **Case Development Services**

SEAL:



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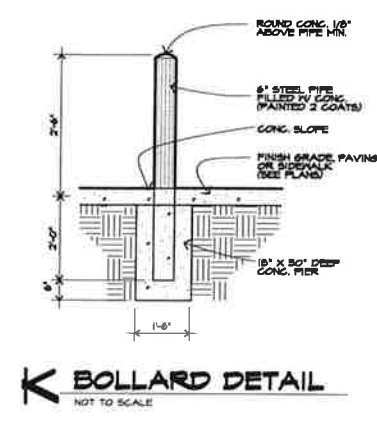
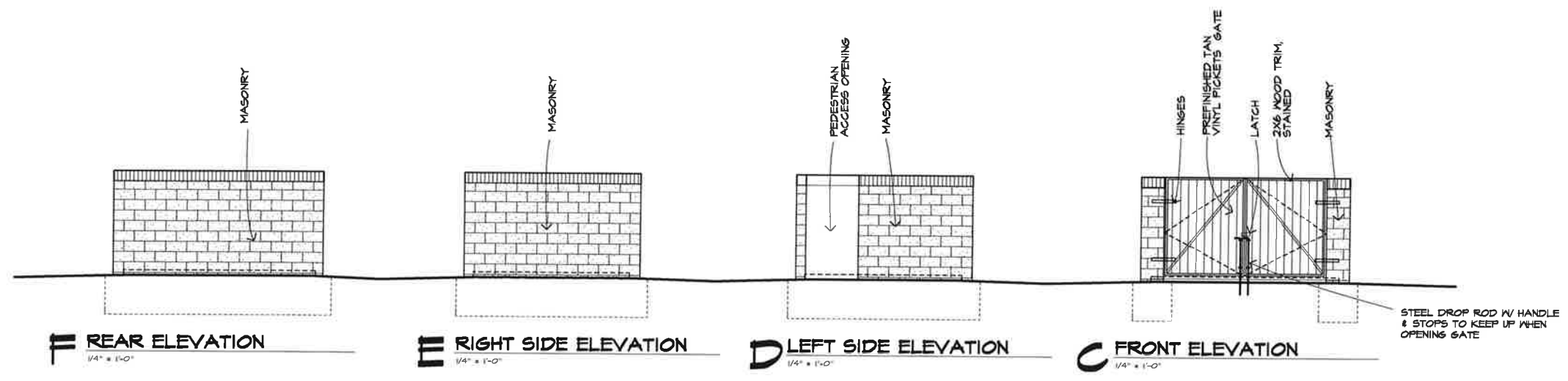
DATE:

SHEET TITLE:

H.C. SITE DTLS.

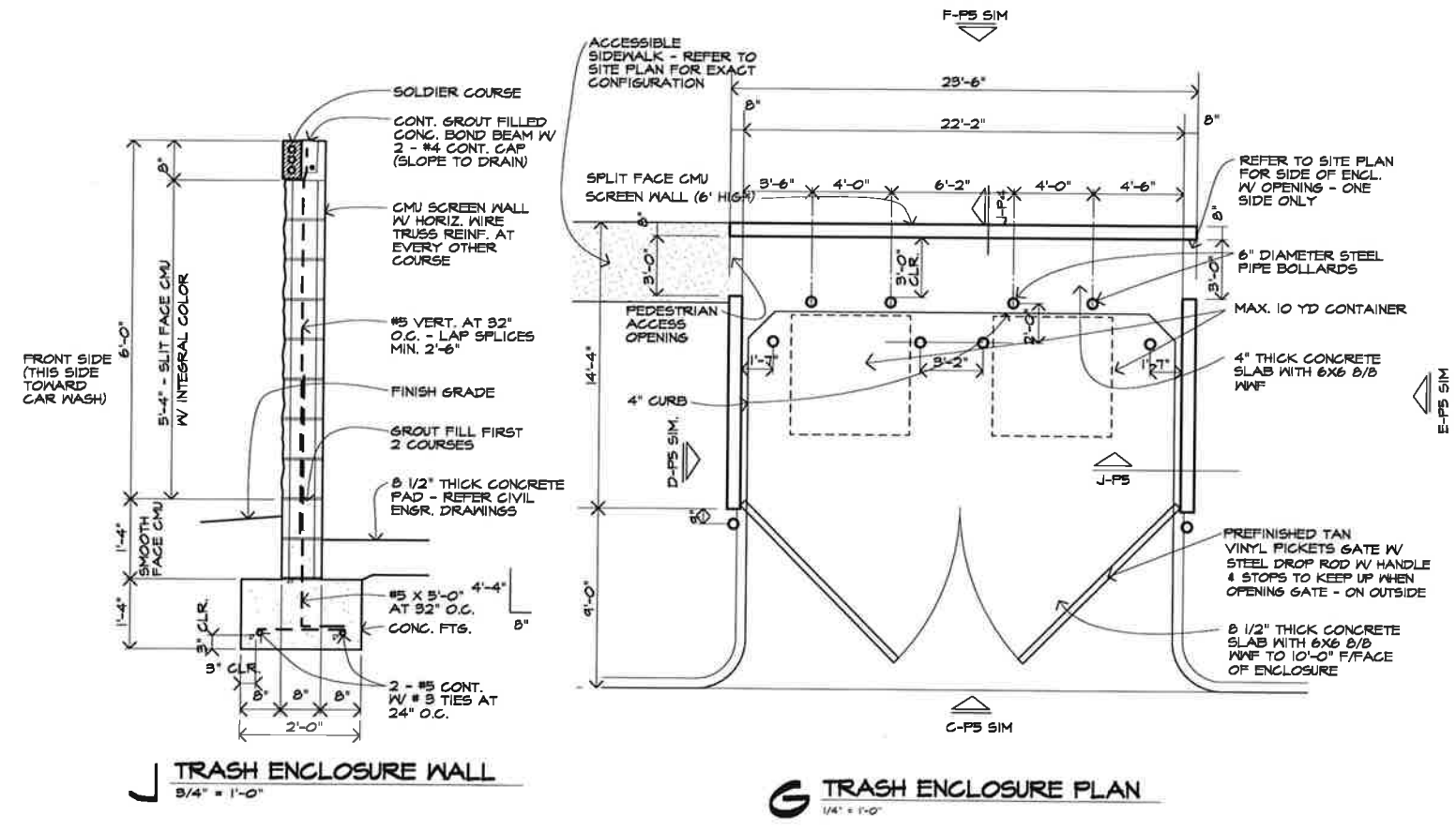
SHEET NUMBER:

P4



CONTAINERS (BASED UPON BFI)

CONTAINER DESCRIPTION	CONTAINER DIMENSIONS		
	LENGTH	WIDTH	HEIGHT
TWO YARD	6'-0"	3'-0"	3'-4-1/4"
THREE YARD	6'-0"	3'-6"	4'-0-1/2"
FOUR YARD (TOP LOADING)	6'-0"	4'-6"	4'-0-1/2"
FOUR YARD (APARTMENT)	6'-0"	3'-6"	5'-3"
FIVE YARD (TOP/END LOADING)	6'-0"	4'-6"	5'-0-3/4"
SIX YARD (LOW TOP/END LOADING)	6'-0"	5'-6"	5'-0"
SIX YARD (HIGH TOP/END LOADING)	6'-0"	4'-6"	6'-0-1/2"
EIGHT YARD (TOP/END LOADING)	6'-0"	5'-6"	6'-8"
TEN YARD (TOP/END LOADING)	6'-0"	6'-0"	7'-8"



Center 301
Apartment Homes

PROJECT

Belton, Missouri

LOCATION

Case Development Services

C/E/INT



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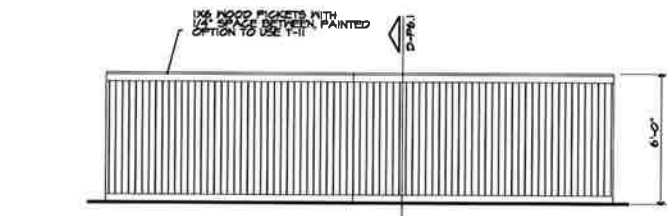
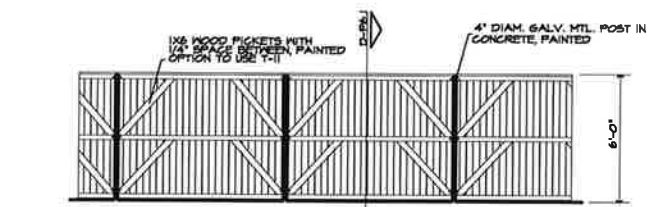
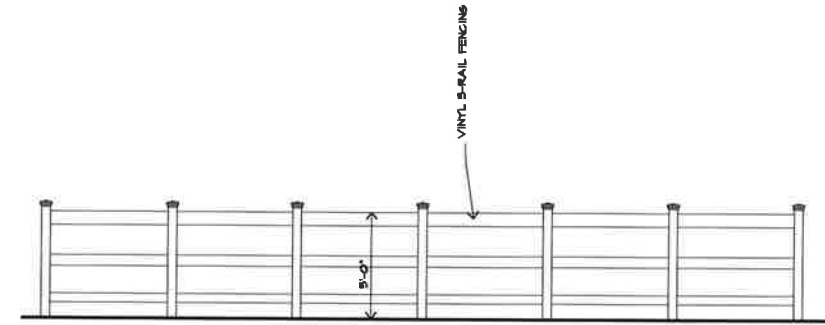
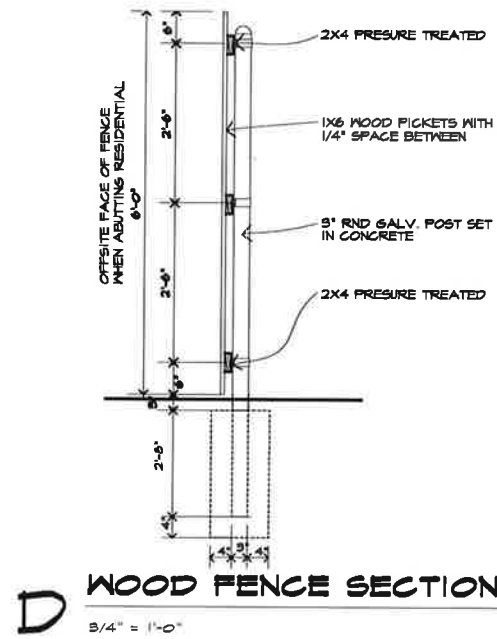
PROJECT NUMBER

DATE

SHEET TITLE:

TRASH ENCLOSURE

SHEET NUMBER



REVISIONS

PROJECT: **Center 301 Apartment Homes**

LOCATION: **Belton, Missouri**
 CLIENT: **Case Development Services**

LOCATION: **Belton, Missouri**
 CLIENT: **Case Development Services**

SEAL:



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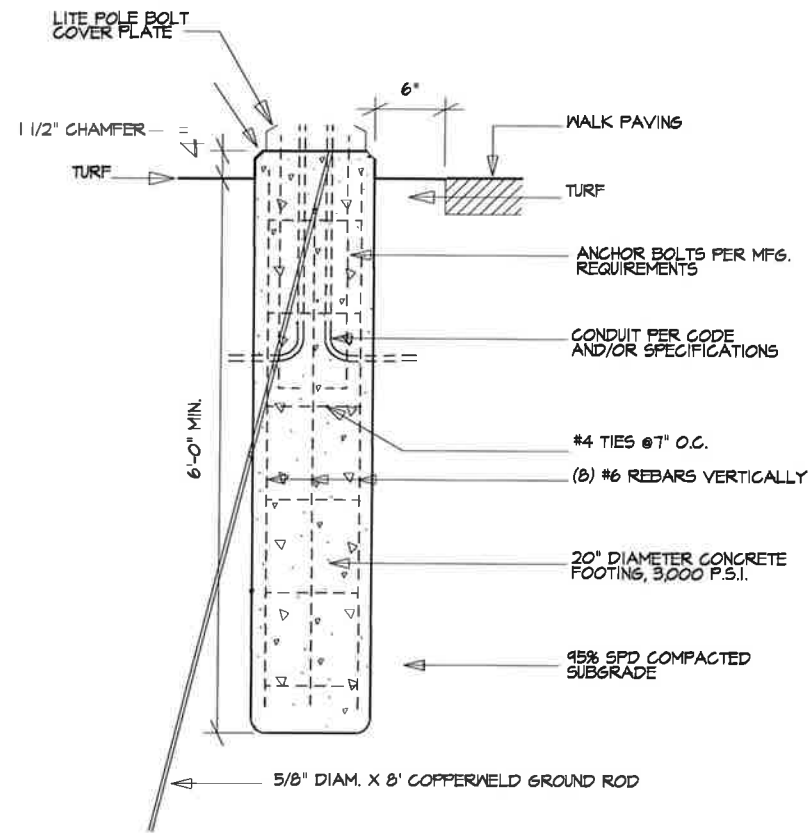
Architects Collective
 4200 EAST SKELLY DRIVE SUITE 750
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PROJECT NUMBER:
 DATE:

SHEET TITLE:
VARIES FENCES

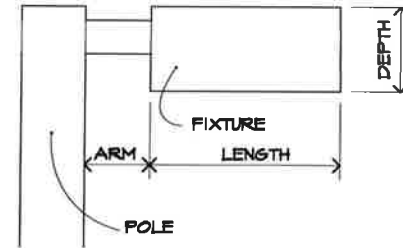
SHEET NUMBER:

P6.1



F ACORN LIGHT POLE BASE ADJACENT TO WALK

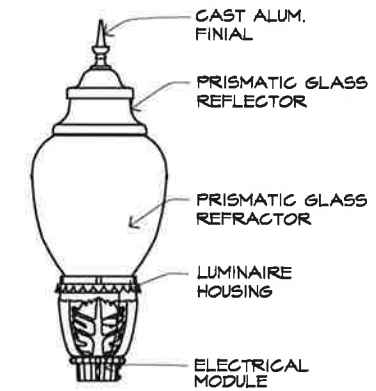
NTS



MONARCH BY LITHONIA KSFI 250M

D POLE LITE

1/2" = 1'-0"

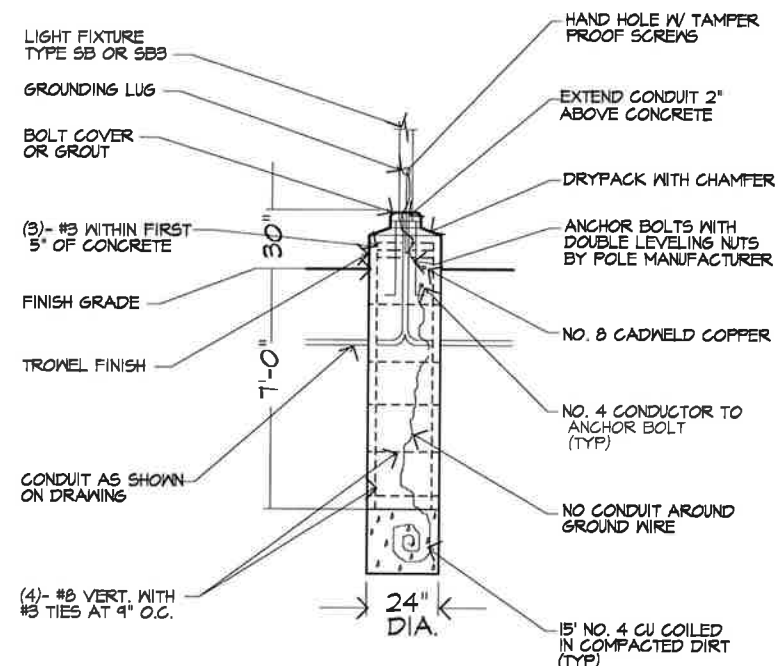


43 7/8"
17 1/4"
MAX. WATT 175
175MHMTB5K

B ACORN LITE

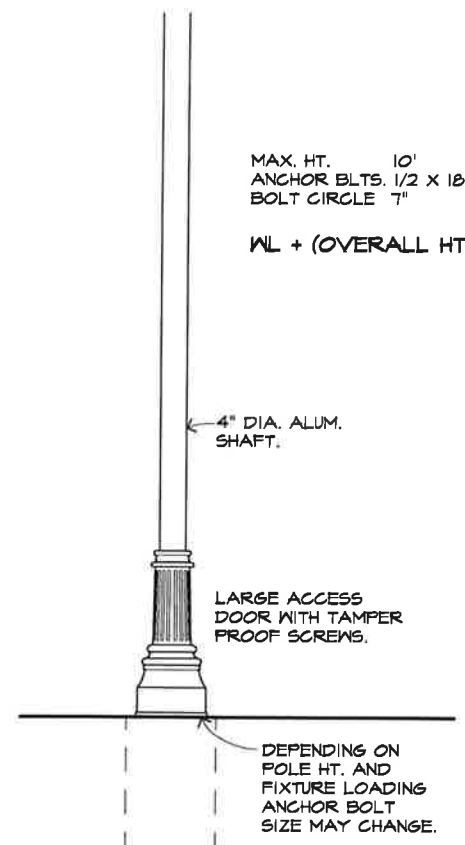
1/2" = 1'-0"

NOTE:
USE UNIQUE SOLUTIONS NORTH YORKSHIRE NY12F/17 10'-0" 4" DIAM. ALUM. POST WITH ACORN LIGHT FIXT. WIRED TO HOUSE PANEL AS SHOWN



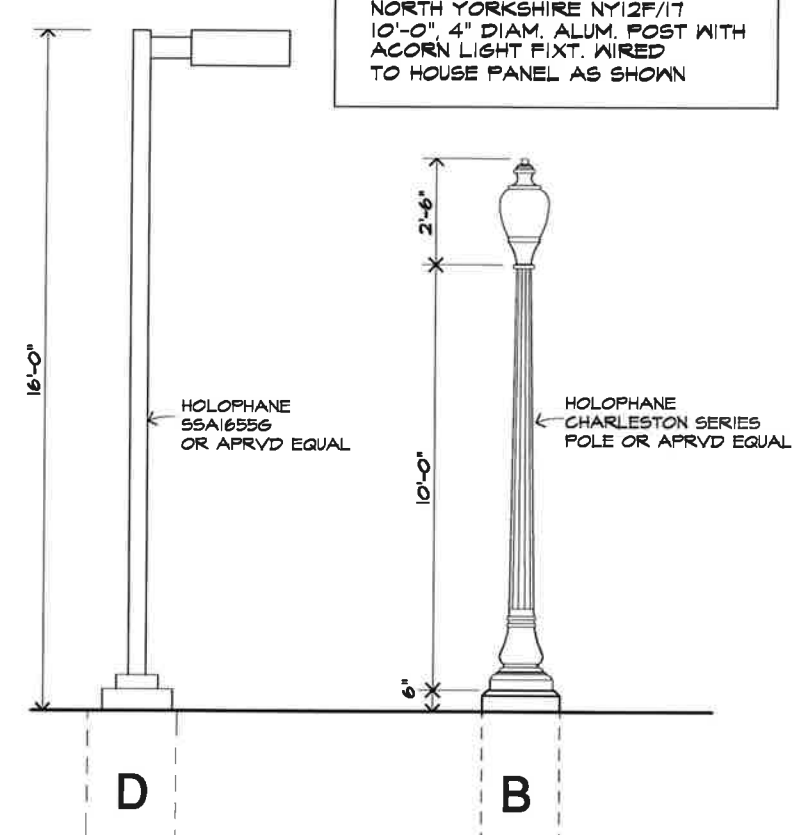
E PARKING LOT SHOEBOX LIGHT POLE BASE DETAIL

NTS



C ACORN POLE

1/2" = 1'-0"



A POLE LIGHTS

1/2" = 1'-0"

REVISIONS

PROJECT: **Center 301 Apartment Homes**
LOCATION: **Beaton, Missouri**
CLIENT: **Case Development Services**



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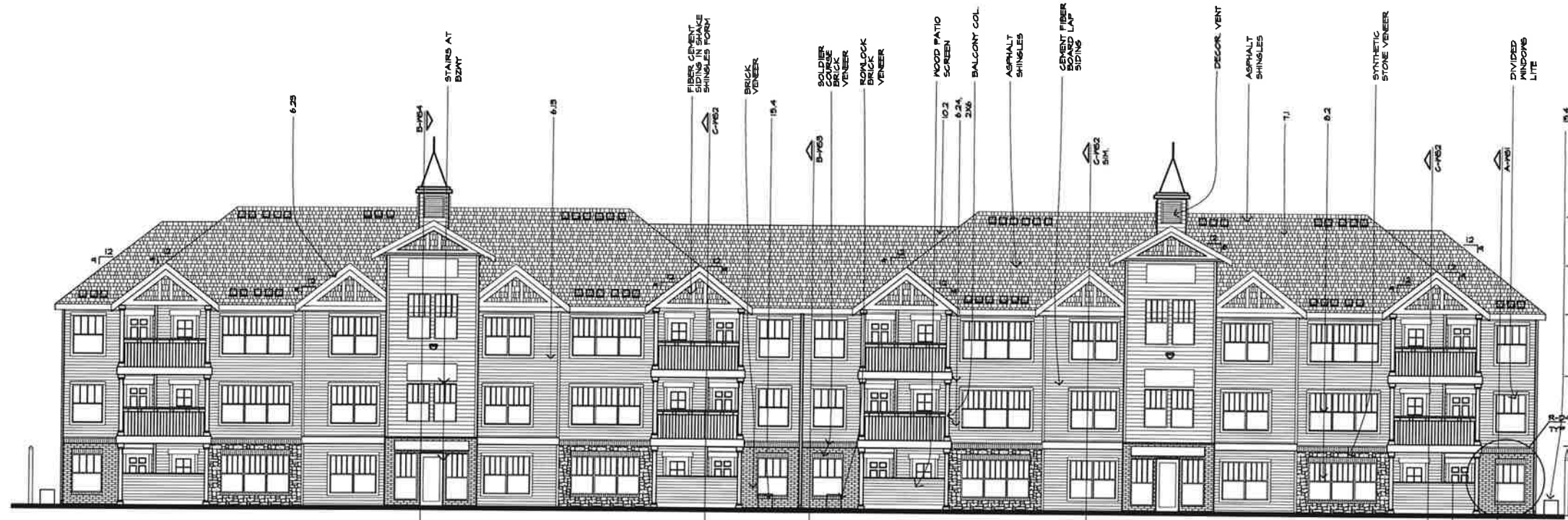
PROJECT NUMBER: _____
DATE: _____
SHEET TITLE: **EXTERIOR LIGHT FIXTURES**

SHEET NUMBER: **P8**

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KEYED NOTES:

- 3 SITE MARKS
- 3.1 NOT USED
- 3.2 CARBONITE SIDEWALK, WIDTH AS NOTED ON PLAN
- 4 CONCRETE
- 4.1 FOUNDATION SYSTEM REFER TO STRUCTURAL DRAWINGS
- 4.2 CONCRETE SLABS WITH 4" EPS INSULATED BELOW WITH OVER 2" MINIMUM REBAR ON
- 4.3 4" CONCRETE PATIO SLAB WITH 8#8 10" O.C. REBAR
- 4.4 FLOORING/CEILING ASSEMBLY - REFER ASSEMBLY LEGEND
- 4.5 BREZZIWAY FLOORING ASSEMBLY - REFER ASSEMBLY LEGEND
- 4.6 BRICK ROOFLOCK COURSE
- 4.7 METALS
- 4.8 STEEL FRAMED STAIR WITH PRECAST CONCRETE TREADS
- 4.9 FIBER CEMENT SIDING
- 4.10 BRICK VENEER
- 4.11 SOLID BRICK COURSE VENEER
- 4.12 BRICK ROOFLOCK COURSE
- 4.13 MOOD PATIO SCREEN
- 4.14 BALCONY COL.
- 4.15 ASPHALT SHINGLES
- 4.16 CEMENT FIBER BOARD LAP SIDING
- 4.17 DECOR. VENT
- 4.18 ASPHALT SHINGLES
- 4.19 SYNTHETIC STONE VENEER
- 4.20 DIVIDED WINDOW LITE
- 4.21 150'-0" FR.HT.
- 4.22 AVERAGE HT.
- 4.23 126'-0" FR.HT.
- 4.24 118'-0" FR.HT.
- 4.25 104'-0" FR.HT.
- 4.26 100'-0" F.F.F.
- 4.27 100'-0" F.F.F.
- 4.28 100'-0" F.F.F.
- 4.29 100'-0" F.F.F.
- 4.30 100'-0" F.F.F.
- 4.31 100'-0" F.F.F.
- 4.32 100'-0" F.F.F.
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- 4.40 100'-0" F.F.F.
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- 4.93 100'-0" F.F.F.
- 4.94 100'-0" F.F.F.
- 4.95 100'-0" F.F.F.
- 4.96 100'-0" F.F.F.
- 4.97 100'-0" F.F.F.
- 4.98 100'-0" F.F.F.
- 4.99 100'-0" F.F.F.
- 4.100 100'-0" F.F.F.



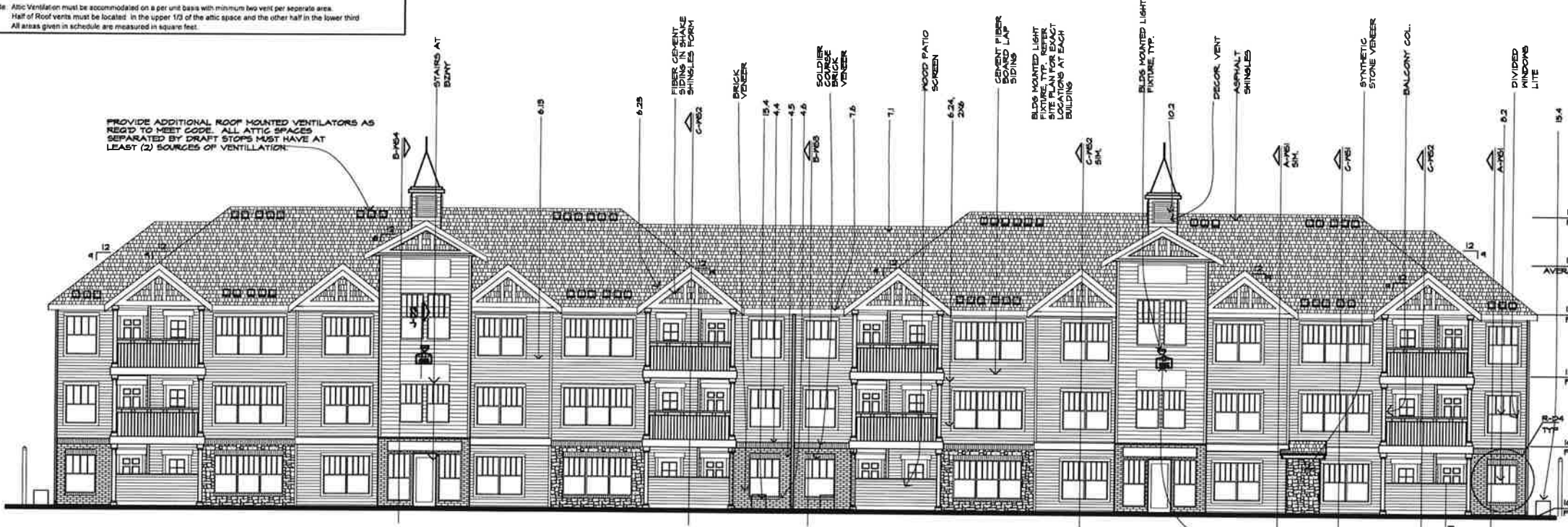
B BLDG. REAR ELEVATION - BLDG B2 - 24 UNITS
1/8"=1'-0"

ALL ROOF JACK & PENETRATIONS SHALL BE PAINTED TO MATCH ADJACENT ROOF COLOR.

Unit	Area	Attic Area	Total Area (1/200)	Lower Roof Clear Vent Area (1/200)	Upper Roof Vent Ck. Area (1/600)	LOWER Vent Quant.	UPPER Vent Quant.
A2 One Bedroom units	789	873	2,81	1,48	1,48	3	3
A3 One Bedroom units	850	891	2,97	1,48	1,48	4	4
A8 One Bedroom units	856	840	3,13	1,56	1,56	4	4
B2 Two Bedroom units	1050	1134	3,78	1,89	1,89	4	4
B3 Two Bedroom units	1176	1211	4,03	2,02	2,02	5	5
B8 Two Bedroom units	1108	1192	3,87	1,96	1,96	5	5

* Lamona roof vents (at 70 SQ. IN. NET FREE AREA EA.) are figured in the vent quantity above.
Note: Attic Ventilation must be accommodated on a per unit basis with minimum two vent per separate area. Half of Roof vents must be located in the upper 1/3 of the attic space and the other half in the lower third. All areas given in schedule are measured in square feet.

PROVIDE ADDITIONAL ROOF MOUNTED VENTILATORS AS REQ'D TO MEET CODE. ALL ATTIC SPACES SEPARATED BY DRAFT STOPS MUST HAVE AT LEAST (2) SOURCES OF VENTILATION.



A BLDG. FRONT ELEVATION - BLDG B2 - 24 UNITS
1/8"=1'-0"

Center 301
Apartment Homes
Beilton, Missouri
Case Development Services



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4200 EAST SKELLY DRIVE SUITE 750
TULSA, OKLAHOMA 74135
918/492-2987

PROJECT NUMBER
DATE

SHEET TITLE
**ELEVATIONS
BLDG B2**

SHEET NUMBER
A2.2

ASSEMBLY LEGEND - REFER STD

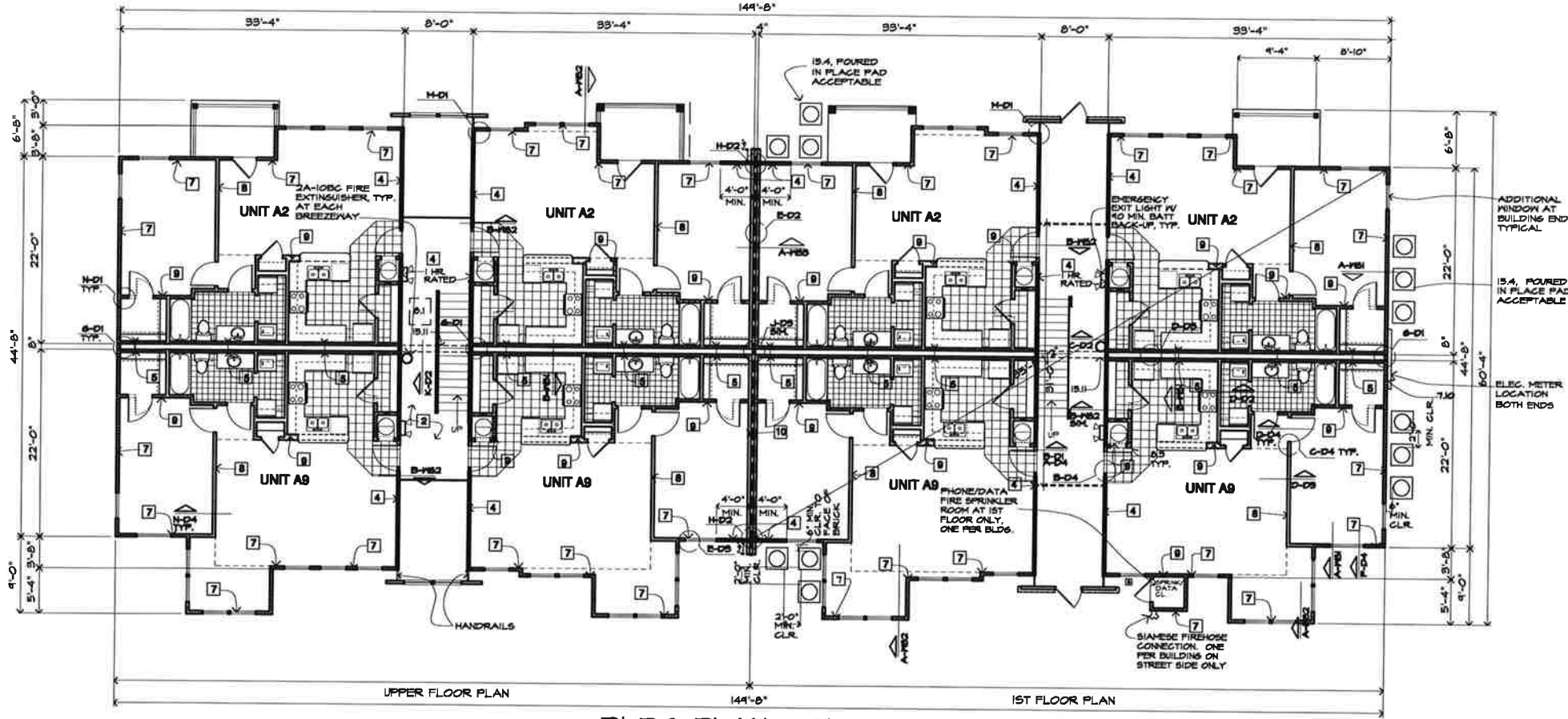
- 1 FLOORCEILING ASSEMBLY:**
3/4" GYP ORITE ON 5/8" PLYWOOD ON 2X12 FLOOR JOISTS SPACING AS SHOWN ON FRAMING PLAN WITH ONE LAYER OF 5/8" TYPE X GYP BOARD CEILING ON 3/4" RESILIENT FURRING CHANNELS AT 24" O.C. - ONE HOUR RATED ASSEMBLY - UL 1453
- 2 BRICK/CMU/CONCRETE FLOORCEILING ASSEMBLY:**
1 1/2" MIN. LIGHT WEIGHT CONCRETE ON SHEET MEMBRANE WATER PROOFING ON 3/4" PLYWOOD ON 2X12 JOISTS AS SHOWN ON FRAMING PLAN W/ 5/8" TYPE X GYP. BO. ON 3/4" RESILIENT FURRING CHANNELS AT 24" O.C. ONE HOUR RATED ASSEMBLY - UL 1453
- 3 ROOF CEILING ASSEMBLY:**
ASPHALT SHINGLES (MIN. CLASS B) ON 1/2" PLY ON 1" OSB DECKING ON WOOD TRUSSED STICK FRAMED RAFTERS AT 24" O.C. U.S.A. AND ONE LAYER OF 5/8" TYPE X GYP. BO. ON 3/4" RESILIENT FURRING CHANNELS ON BOTTOM CHORD OF ASSEMBLY ABOVE ONE HOUR RATED ASSEMBLY - UL 1453
- 4 EXTERIOR WALLS & EXTER. WALLS W/ EACH SIDE OF STAIR ASSEMBLY:**
SOUND ON ONE LAYER OF 5/8" FIBERGLASS GYP BOARD BREATHING OR 2X4 STUDS WITH R-13 BATT INSULATION AND WITH ONE LAYER OF 5/8" FIBERGLASS GYP BOARD ON INSIDE FACE. STUDS AT GRADE FLOOR WALLS IN ALL THREE STORY BUILDINGS TO BE AT 16" O.C. ONE HOUR RATED ASSEMBLY - UL 1453. GA 9 P 115
- 5 TENANT SEPARATION WALL ASSEMBLY:**
ONE LAYER 5/8" TYPE X GYP. BO. ON OUTSIDE FACE EACH OF DOUBLE 2X4 STUDS WITH 5/8" BATT INSULATION IN ONE SIDE ONLY. PLUMBING CHASE FOR PLUMBING WALLS LONGITUDINAL TO BUILDING. 1" SPACE BETWEEN WALLS FOR ALL OTHER TENANT SEPARATION WALLS (TRANSVERSE TO BUILDING). STUDS AT GRADE FLOOR WALLS IN ALL THREE STORY BUILDINGS TO BE AT 16" O.C. ONE HOUR RATED ASSEMBLY - UL 1453 (ITC 58)
- 6 NON-RATED EXTERIOR WALL ASSEMBLY:**
SOUND OR MASONRY VENEER ON ONE LAYER OF FIBERGLASS OR 1/2" OSB BREATHING OR 2X4 STUDS AT 16" O.C. WITH R-13 BATT INSULATION AND WITH 1/2" GYP BOARD ON INSIDE FACE OF WALL. STUDS AT GRADE FLOOR WALLS IN ALL THREE STORY BUILDINGS TO BE AT 16" O.C.
- 7 EXTERIOR PARTED WALL ASSEMBLY:**
SOUND OR MASONRY VENEER ON ONE LAYER OF STRUCTURAL GRADE FIBERGLASS OR 1/2" OSB BREATHING OR 2X4 STUDS AT 16" O.C. WITH R-13 BATT INSULATION AND WITH 5/8" TYPE X GYP. BO. ON INSIDE FACE OF WALL. STUDS AT GRADE FLOOR WALLS IN ALL THREE STORY BUILDINGS TO BE AT 16" O.C. ONE HOUR RATED ASSEMBLY - IN-LOUIS REPORT 717 (ASTM TEST E 118-81) - UL 1453
- 8 INTERIOR NON-LOAD BEARING WALL ASSEMBLY:**
1/2" GYP BOARD ON EACH FACE OF 2X4 STUDS AT 16" O.C. 5/8" FIBERGLASS GYP BOARD ON EACH FACE OF 2X4 STUDS AT 16" O.C. - NON-RATED
- 9 INTERIOR LOAD BEARING WALL ASSEMBLY:**
5/8" FIBERGLASS GYP BOARD ON EACH FACE OF 2X4 STUDS AT 16" O.C. STUDS IN GRADE FLOOR WALLS IN ALL THREE STORY BUILDINGS TO BE AT 16" O.C. ONE HOUR RATED ASSEMBLY - UL 1453
- 10 TWO HOUR RATED WALL ASSEMBLY:**
TWO LAYERS OF 1" SHAFPLINER GYP BOARD FORM RT INTO H-SHAPED METAL STUDS WITH ALUM. STABILITY CLIPS TO WOOD STUD WALL. TWO HOUR RATED ASSEMBLY - UL 1453

ALL BREEZEWAY WALLS SHALL BE A ONE-HOUR RATED ENCLOSURE AND HAVE SELF-CLOSING DOORS WITH A 60 MIN. RATED ASSEMBLY

PER IBC 703.5.2) BALCONIES SPRINKLER PROTECTION SHALL BE PROVIDED FOR EXTERIOR BALCONIES AND GROUND-FLOOR PATIOS OF DWELLING UNITS WHERE THE BUILDING IS OF TYPE V CONSTRUCTION. SIDEWALK SPRINKLERS THAT ARE USED TO PROTECT SUCH AREAS SHALL BE PERMITTED TO BE LOCATED SUCH THAT THEIR DEFLECTORS ARE WITHIN 1 INCH (25 MM) TO 6 INCHES (152 MM) BELOW THE STRUCTURAL MEMBERS AND A MAXIMUM DISTANCE OF 14 INCHES (356 MM) BELOW THE DECK OF THE EXTERIOR BALCONIES THAT ARE CONSTRUCTED OF OPEN WOOD JOIST CONSTRUCTION

KEYED NOTES:

- 1 SITE MARK
- 2 NOT USED
- 3 CONCRETE SIDEWALK, PERH AS NOTED ON PLAN
- 4 CONCRETE
- 5 FLOORCEILING SYSTEM REFER TO STRUCTURAL DRAWING
- 6 4" CONCRETE SLAB WITH 8# W/40 HELD OVER AREA OVER WATERPROOF MEMBRANE ON 4" CONCRETE PADDED WOOD
- 7 CONCRETE PADDED SLAB WITH 8# W/40 HELD OVER AREA OVER WATERPROOF MEMBRANE ON 4" CONCRETE PADDED WOOD
- 8 FLOORCEILING SYSTEM REFER TO STRUCTURAL DRAWING
- 9 BREEZEWAY FLOORCEILING ASSEMBLY - REFER ASSEMBLY LEGEND
- 10 MASONRY
- 11 CONCRETE RETAINMENT WALL WITH WATERPROOFING MEMBRANE 1" PLGK PROTECTIVE BOARD ON EXTERIOR FACE AND WITH 8" GYP BOARD ON 1/4" FURRING AT 24" O.C. WITH 3/4" ROAD INSULATION ON EXTERIOR FACE (SEE FOUNDATION DETAIL FOR REINFORCING)
- 12 CONCRETE STAIR HALL PAINT ALL EXPOSED SURFACES. ALL PORTIONS OF CONCRETE STAIR HALLS TO BE COVERED WITH 3/8" ON FURRING STRIPS FOR ALL ANGLES. FLOOR SHALL BE PROTECTIVE GRADE
- 13 BRICK VENEER EXTER. WALLS - REFER ASSEMBLY LEGEND
- 14 BRICK VENEER EXTER. WALLS - REFER ASSEMBLY LEGEND
- 15 BRICK VENEER EXTER. WALLS - REFER ASSEMBLY LEGEND
- 16 FRONT FIELD BRICK COLUMN ALT. 2X10 BRICK VENEER COURSE
- 17 METALS
- 18 STEEL FRAMED STAIR WITH PRECAST CONCRETE TREAD
- 19 FLOOR AND PLASTICS
- 20 TREATED 2X4 SOLE PLATE W/ 1/2" ROAD X 1/2" LONG A/B AT 48" O.C. OR APPLICABLE CODE APPROVED THE DOWN CLIP. INSTALL ANCHOR BOLT AT EACH END OF ALL SHORT WALLS WITH A MINIMUM OF TWO A/B PER SECTION OF WALL
- 21 STRUCTURAL GRADE THERMAL PLY SHEATHING
- 22 TYPICAL ALL LOCATIONS
- 23 TRUSSED RAFTERS AT 24" O.C.
- 24 2X4 TRUSS WITH TOP AND BOTTOM CHORDS AND X-BRACING AT 16" O.C.
- 25 X-BRACING BETWEEN FLOOR JOISTS AT HANDRAIL SPACINGS AT CONTRACTOR'S OPTION (SEE SOLID 2X BRACING)
- 26 2X10 BRACING (MOISTURE RESISTANT) 2X6
- 27 2X10 BRACING (MOISTURE RESISTANT) 2X6
- 28 5/8" PLYWOOD ON FLOOR JOISTS ON FLOOR TRUSSES WITH 5/8" BATT INSULATION DOUBLE FLOOR TRUSSES UNDER WALLS PARALLEL TO TRUSS
- 29 METAL LEADER TO HALL, NORTH OF OPENING AT OPENING ADJACENT TO EACH OTHER
- 30 CONTINUED FLOOR BLOCKING
- 31 2X6 RAFTER EXTENSION
- 32 EXTERIOR WALL ASSEMBLY - REFER ASSEMBLY LEGEND
- 33 SEALANT JOINT AT ALL INTERSECTIONS OF SIDING TO TRIM
- 34 1/2" PLYWOOD
- 35 3/8" ROUGH SAWN PLYWOOD SOFFIT WITH 1/4" TRIM
- 36 2 X 8 STUDS AT 16" O.C.
- 37 5/4" PLYWOOD FINE STOP OR 2X BLOCKING
- 38 3 X 12 SH JOIST OR EQUIVALENT
- 39 FLOOR CHANNEL AT DRINK ONLY
- 40 PREFAB WOOD FIREPLACE HANGING AND SURROUND
- 41 CONCRETE FIREBLOCK WITH COVER DAMP BARRIER SOFFIT. CO-DEPT FIREBLOCK
- 42 POOD TRIM
- 43 NOT USED
- 44 2X6 POK DECKING ALT.1. PRESSURE TREATED POOD DECK. ALT.2. KRYPTON 33
- 45 PAINTED POOD SILL X 10" DEEP AT PENON SILL HEIGHT
- 46 CEILING ASSEMBLY - REFER ASSEMBLY LEGEND, PER
- 47 NOT USED
- 48 2X2 STRIMMER
- 49 FINE COVER SHAVED ABOVE TO 1'-0" ABOVE FINISHED FLOOR, UDA
- 50 SLOPE CEILING WITH 3/8" PITCH TYPICAL AT ALL SLOPE DOWN LIVING ROOM CEILING AND BEDROOM CEILING AS SHOWN ON PLAN
- 51 LINE OF JOIST CHANNEL
- 52 STAIR HALL
- 53 CABINET AND SHELVES ABOVE
- 54 BASE CABINET AND SHELVES
- 55 3 HOOD BELIEVED 12" DEEP TYPICAL
- 56 HOOD FLOOR
- 57 BREEZEWAY WALL ASSEMBLY - REFER ASSEMBLY LEGEND PER
- 58 TERMINAL AND NON-TERMINAL
- 59 ROOF ASSEMBLY - REFER ASSEMBLY LEGEND PER
- 60 8" GYI OR BLOW INSULATION (R-38) TYPICAL ALL ROOF AREAS
- 61 SEALANT
- 62 2X4 INSULATION (R-38) TYPICAL ALL EXTERIOR WALLS
- 63 2X4 INSULATION (R-38) TYPICAL ALL EXTERIOR WALLS
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- 99 2X4 INSULATION (R-38) TYPICAL ALL EXTERIOR WALLS
- 100 2X4 INSULATION (R-38) TYPICAL ALL EXTERIOR WALLS



A BLDG PLAN - BLDG TYPE A2/A9-3 STORY

Center 301
Apartment Homes

Beaton, Missouri
Case Development Services



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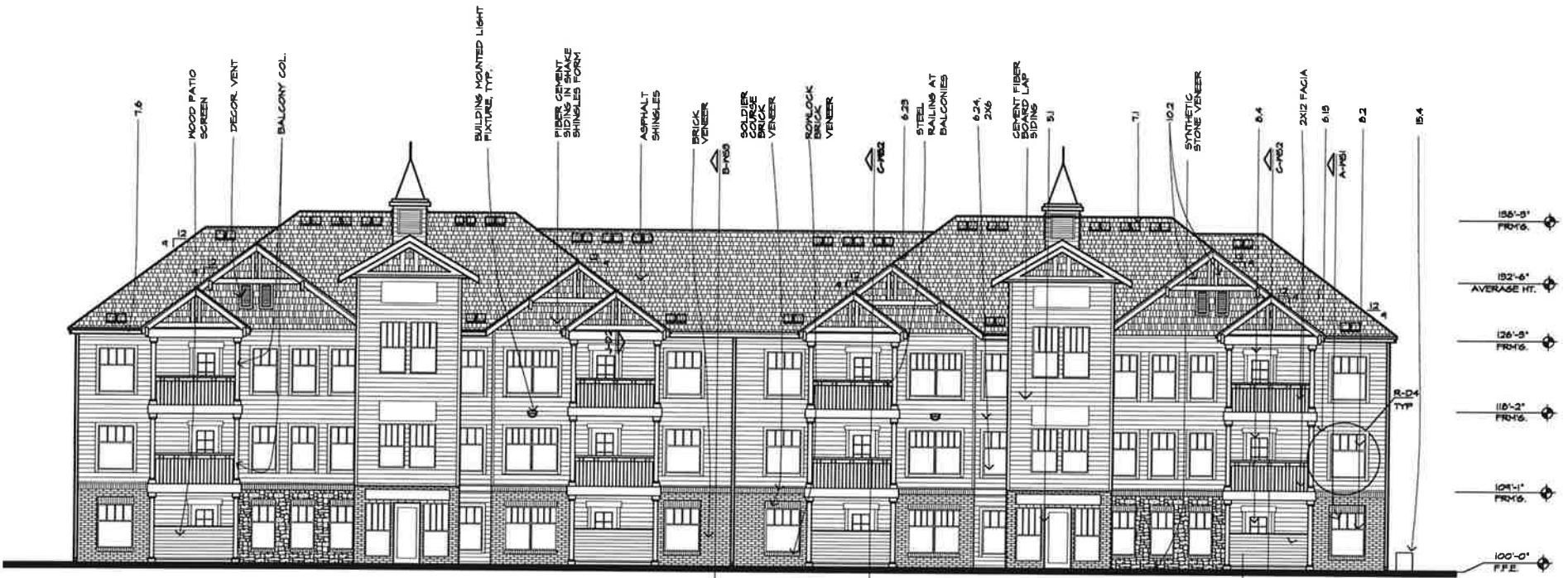
PROJECT NUMBER: **BUILDING PLAN**
DATE:

SHEET TITLE: **BUILDING PLAN**

SHEET NUMBER: **A3.1**

KEYED NOTES:

- 3 SITE WORK
- 3.1 NOT USED
- 3.2 CONCRETE SIDEWALK WITH AS NOTED ON PLAN DRAWING
- 3.3 FOUNDATION SYSTEM REFER TO STRUCTURAL DRAWING
- 3.4 4" CONCRETE SLAB WITH 4#10 ISD FLEED FIBER OVER IN ROOFTOP MEMBRANE IN PERIMETER
- 3.5 4" CONCRETE PATIO SLAB WITH 4#10 ISD PERIMETER
- 3.6 FLOORING ASSEMBLY - REFER ASSEMBLY LEGEND
- 3.7 BREZZENPAT FLOORING ASSEMBLY - REFER ASSEMBLY LEGEND
- 4 HANDWORK
- 4.1 8" CONCRETE RETAINING WALL WITH INTERIOR FINISH MEMBRANE & POLY PROTECTIVE BOARD ON EXTERIOR FACE AND WITH 5/8" Ø BT. BOARD ON IN FIBER AT 24" OC WITH 5/8" BT. INSULATOR ON EXTERIOR FACE (SEE FOUNDATION DETAIL FOR REVISIONS)
- 4.2 8" CONCRETE 5/8" WALL. PAINT ALL EXPOSED SURFACES. ALL PORTIONS OF CONCRETE BLOCK WITH WALLS TO BE COVERED WITH BRICK OR FIBER CEMENT SIDING IN SHAKE FORM
- 4.3 8" CONCRETE 5/8" WALL. PAINT ALL EXPOSED SURFACES. ALL PORTIONS OF CONCRETE BLOCK WITH WALLS TO BE COVERED WITH BRICK OR FIBER CEMENT SIDING IN SHAKE FORM
- 4.4 BRICK SOLIDER COURSE (COLOR MAY DIFFER FROM FIELD BRICK COLOR) ALT. 2X4
- 4.5 BRICK SOLIDER COURSE (COLOR MAY DIFFER FROM FIELD BRICK COLOR) ALT. 2X4
- 4.6 BRICK SOLIDER COURSE (COLOR MAY DIFFER FROM FIELD BRICK COLOR) ALT. 2X4
- 4.7 BRICK SOLIDER COURSE (COLOR MAY DIFFER FROM FIELD BRICK COLOR) ALT. 2X4
- 4.8 BRICK SOLIDER COURSE (COLOR MAY DIFFER FROM FIELD BRICK COLOR) ALT. 2X4
- 4.9 BRICK SOLIDER COURSE (COLOR MAY DIFFER FROM FIELD BRICK COLOR) ALT. 2X4
- 4.10 BRICK SOLIDER COURSE (COLOR MAY DIFFER FROM FIELD BRICK COLOR) ALT. 2X4
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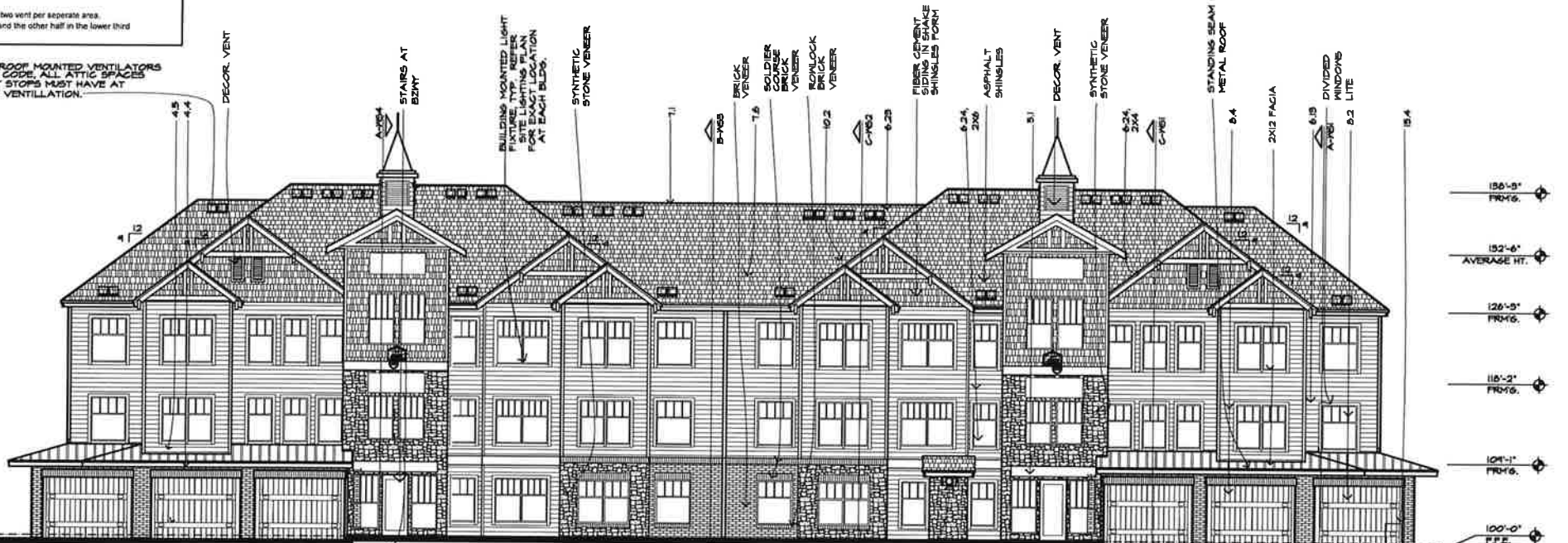
B REAR ELEVATION - BLDG TYPE A2-A9 - 22 UNITS
1/8" = 1'-0"

ALL ROOF JACK & PENETRATIONS SHALL BE PAINTED TO MATCH ADJACENT ROOF COLOR.

Unit	Attic Area	Total Attic Vent Req. (1/2000)	Lower Roof Clear Vent Area (1/500)	Upper Roof Vent. Area (1/500)	LOWER Vent. Quant. *	UPPER Vent. Quant. *
A2 One Bedroom units	789	873	2.91	1.46	1.46	3
A3 One Bedroom units	860	881	2.97	1.48	1.48	4
A8 One Bedroom units	856	840	3.13	1.56	1.56	4
B2 Two Bedroom units	1050	1134	3.78	1.89	1.89	4
B3 Two Bedroom units	1176	1211	4.03	2.02	2.02	5
B8 Two Bedroom units	1108	1192	3.97	1.96	1.96	5

* Laminate roof vents (at 70 SQ. IN. NET FREE AREA EA.) are figured in the vent quantity above.
Note: Attic Ventilation must be accommodated on a per unit basis with minimum two vent per separate area. Half of roof vents must be located in the upper 1/3 of the attic space and the other half in the lower third. All areas given in schedule are measured in square feet.

PROVIDE ADDITIONAL ROOF MOUNTED VENTILATORS AS REQUIRED TO MEET CODE. ALL ATTIC SPACES SEPARATED BY DRAFT STOPS MUST HAVE AT LEAST (2) SOURCES OF VENTILATION.



A FRONT ELEVATION - BLDG TYPE A2-A9 - 22 UNITS
1/8" = 1'-0"

ALL BREZZENPAT WALLS SHALL BE A ONE-HOUR RATED ENCLOSURE AND HAVE SELF-CLOSING DOORS WITH A 60 MIN. RATED ASSEMBLY.

BLDG. ADDRESS SIGN IN CONTRASTING BACKGROUND & MIN. 4" HIGH, ARABIC #S/ LETTERS IN 1/2" MIN. STRIKE WIDTH TYP.

WATER GONGS, TYP. TIED TO FLOOR SWITCH ON SPRINKLER RISER.

Center 301
Apartment Homes

Belton, Missouri
Case Development Services

PROJECT: Center 301
LOCATION: Belton, Missouri
CLIENT: Case Development Services



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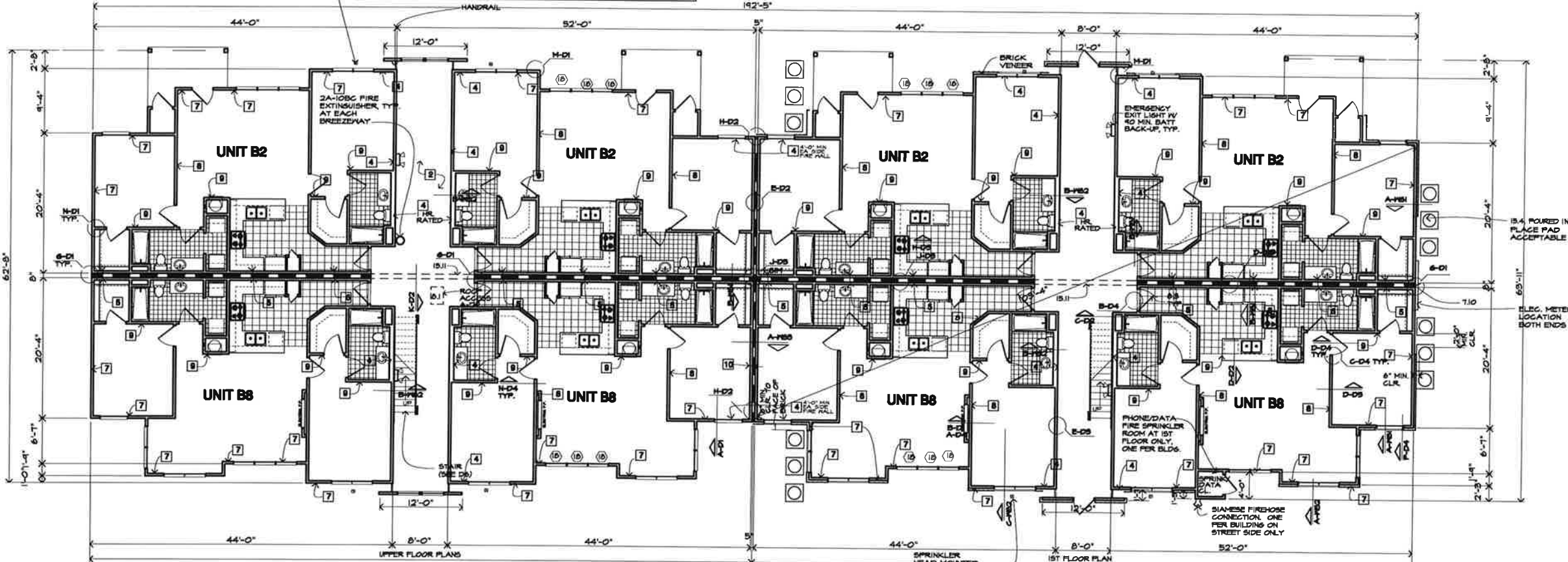
Architects Collective
4200 EAST SKELLY DRIVE SUITE 750
TULSA, OKLAHOMA 74135
918-492-2987

PROJECT NUMBER: _____
DATE: _____
SHEET TITLE: _____
ELEVATIONS: BLDG. A2-A4
SHEET NUMBER: **A3.4**

ASSEMBLY LEGEND - REFER STDs

- 1 FLOORCEILING ASSEMBLY:**
3/4" GYP CRETE ON 5/8" PLYWOOD ON 2X12 FLOOR JOISTS SPACING AS SHOWN ON FRAMING PLAN, WITH ONE LAYER OF 5/8" TYPE X GYP BOARD CEILING ON 3/4" RESILIENT FLOORING CHANNELS AT 24" O.C. - ONE HOUR RATED ASSEMBLY - UL # L333
- 2 BREASTING/WALL/CEILING ASSEMBLY:**
1" MIN LIGHT WEIGHT CONCRETE ON SHEET MEMBRANE WATER PROOFING ON 5/8" PLYWOOD ON 2X12 JOISTS AS SHOWN ON FRAMING PLAN W/ 5/8" TYPE X GYP BO ON 3/4" RESILIENT FLOORING CHANNELS AT 24" O.C. - ONE HOUR RATED ASSEMBLY - UL # L333
- 3 ROOF CEILING ASSEMBLY:**
ASPHALT/BYNDOLER (MIN. CLASS B) ON 1/2" FELT ON 1/2" OSB DECKING ON WOOD TRIMMED STICK FRAMED RAFTERS AT 24" O.C. U.G. AND ONE LAYER OF 5/8" TYPE X GYP BO. ON 3/4" RESILIENT FLOORING CHANNELS ON BOTTOM CHORDS OF ASSEMBLY ABOVE ONE HOUR RATED ASSEMBLY - UL # F302
- 4 INTERIOR WALLS & EXTERIOR WALLS OF EACH BUILD OF 2NDR ASSEMBLY:**
WORKS ON ONE LAYER OF 5/8" FIBROGLAND GYP BOARD SHEATHING ON 2X4 STUDS WITH R-13 BATT INSULATION AND WITH ONE LAYER OF 5/8" FIBROGLAND GYP BOARD ON INSIDE FACE. STUDS AT GRADE FLOOR WALLS IN ALL THREE STORY BUILDINGS TO BE AT 12" O.C. ONE HOUR RATED ASSEMBLY - UL # L333, OR A W/ F10
- 5 TENANT SEPARATION WALL ASSEMBLY:**
ONE LAYER 5/8" TYPE X GYP BO. ON OUTSIDE FACE EACH OF DOUBLE 2X4 STUDS WITH R-13 BATT INSULATION IN ONE SIDE ONLY. PLUMBING CHASE FOR PLUMBING WALLS (CONTIGUOUS TO BUILDING), 1" SPACE BETWEEN WALLS FOR ALL OTHER TENANT SEPARATION WALLS (TRANSVERSE TO BUILDING). STUDS AT GRADE FLOOR WALLS IN ALL THREE STORY BUILDINGS TO BE AT 12" O.C. ONE HOUR RATED ASSEMBLY - UL # L333 (ETC W)
- 6 NON-RATED EXTERIOR WALL ASSEMBLY:**
BRICK OR MASONRY VENEER ON ONE LAYER OF FIBROGLAND OR 1/2" OSB SHEATHING ON 2X4 STUDS AT 12" O.C. WITH R-13 BATT INSULATION AND WITH 5/8" TYPE X GYP BO. ON INSIDE FACE OF WALL. STUDS AT GRADE FLOOR WALLS IN ALL THREE STORY BUILDINGS TO BE AT 12" O.C. ONE HOUR RATED ASSEMBLY - UL # L333 (ETC W)
- 7 EXTERIOR PARTITION WALL ASSEMBLY:**
BRICK OR MASONRY VENEER ON ONE LAYER OF STRUCTURAL GRADE, FIBROGLAND OR 1/2" OSB SHEATHING ON 2X4 STUDS AT 12" O.C. WITH R-13 BATT INSULATION AND WITH 5/8" TYPE X GYP BO. ON INSIDE FACE OF WALL. STUDS AT GRADE FLOOR WALLS IN ALL THREE STORY BUILDINGS TO BE AT 12" O.C. ONE HOUR RATED ASSEMBLY - UL # L333 (ETC W)
- 8 INTERIOR NON-LOAD BEARING WALL ASSEMBLY:**
1/2" GYP BOARD ON EACH FACE OF 2X4 STUDS AT 12" O.C. 5/8" FIBROGLAND GYP BOARD ON EACH FACE OF 2X4 STUDS AT 12" O.C. - NON-RATED
- 9 INTERIOR LOAD BEARING WALL ASSEMBLY:**
5/8" FIBROGLAND GYP BOARD ON EACH FACE OF 2X4 STUDS AT 12" O.C. STUDS IN GRADE FLOOR WALLS IN ALL THREE STORY BUILDINGS TO BE AT 12" O.C. ONE HOUR RATED ASSEMBLY - UL # L333
- 10 TWO HOUR RATED WALL ASSEMBLY:**
TWO LAYERS OF 1" SHEATHING GYP BOARD FORM FIT INTO HEAVY METAL STUDS WITH ALUM. STABILITY CLIPS TO WOOD STUD WALL. TWO HOUR RATED ASSEMBLY - UL # L333

FIRE PROTECTIVE ASSEMBLIES ARE NOT REQUIRED WHERE OUTSIDE AUTOMATIC SPRINKLERS ARE INSTALLED FOR PROTECTION OF EXTERIOR OPENINGS. ALTERNATIVE COMPLIANCE MEANS REQUIRES TO PROVIDE FREEZE PROOF HEADS DESIGNED IN ACCORDANCE WITH NFPA 10 FOR SIZE, SPACING, AND FLW FOR THE REQUIREMENTS OF NFPA 10-R SEC 6.7.2 (SPRINKLERS OUTSIDE OF DWELLING UNITS).



ALL BREASTING WALLS SHALL BE A ONE-HOUR RATED ENCLOSURE AND HAVE SELF-CLOSING DOORS WITH A 60 MIN. RATED ASSEMBLY

A BUILDING PLAN - BLDG B2/B8-3 STORY
1/8" = 1'-0"

KEYED NOTES:

- 1 SITE MARK
- 2 NOT USED
- 3.3 CONCRETE SIDEWALK WITH AS NOTED ON PLAN
- 4 GROUND
- 5 FOUNDATION SYSTEM REFER TO STRUCTURAL DRAWINGS
- 6 CONCRETE SLAB WITH 4#10 GRID HELD HIGH OVER INSULATION MEMBRANE ON MINIMUM 4" COMBINED SLOPE
- 7 CONCRETE PATIO SLAB WITH 4#10 GRID HELD HIGH ON 4" SAND CATCHER
- 8 FLOORCEILING ASSEMBLY - REFER ASSEMBLY LEGEND
- 9 BREASTING/WALL/CEILING ASSEMBLY - REFER ASSEMBLY LEGEND
- 10 HANGROOF
- 11 CONCRETE RETAINMENT WALL WITH WATERPROOFING MEMBRANE & FACE PROTECTIVE BOARD ON EXTERIOR FACE AND WITH 5/8" GYP BOARD ON INTERIOR FACE (SEE FOUNDATION DETAIL FOR REINFORCING)
- 12 CONCRETE STEM WALL. PAINT ALL EXPOSED SURFACES. ALL PORTIONS OF CONCRETE BLOCK STEM WALLS TO BE COVERED WITH SOILING ON PARKING STRIPS FOR AND AREA FALLING WITHIN 5' PROTECTIVE RANGE
- 13 BRICK VENEER REFER BUILDING PLAN FOR FOOTING
- 14 BRICK AND GLASS CURSE. COLOR MAY DIFFER FROM FIELD BRICK COLOR. ALT. 2"X4 BRICK W/ 1/2" O.C. COURSE
- 15 METALS
- 16 STEEL FRAMED STAIR WITH PRECAST CONCRETE TREAD
- 17 FLOOR AND FINISHES
- 18 TREATED 2X4 JOIST PLATE IN USE. ROUND X 1/2" LONG AS AT 48" O.C. ON APPLICABLE GORE APPROVED THE DOWN GUY. INSTALL ANCHOR BOLT AT EACH END OF ALL SHORT WALLS WITH A MINIMUM OF TWO A.B.S PER SECTION OF WALL
- 19 STRUCTURAL BRIDGE MEMBRANE. PLY SHEATHING TYPICAL ALL LOCATIONS
- 20 TRUSS SPACING AT 24" O.C.
- 21 TRUSS BRACING. 2" X 4" AND BOTTOM CHORDS AND K BRACING AT LAST 8' SPAN
- 22 BRACING BETWEEN FLOOR JOISTS AT MAXIMUM 8' SPACING AT CONTRACTOR'S OPTION USE SOLID 2X4 BRACING
- 23 2"X4 BALCONY JOISTS. 2"X4 STAIR RESISTANT 2"X4
- 24 2"X4 DECKING. 2"X4 STAIR RESISTANT 2"X4
- 25 5/8" FIBROGLAND GYP BOARD ON 2"X4 STUDS AT 12" O.C.
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- 88 5/8" FIBROGLAND GYP BOARD ON 2"X4 STUDS AT 12" O.C.
- 89 5/8" FIBROGLAND GYP BOARD ON 2"X4 STUDS AT 12" O.C.
- 90 5/8" FIBROGLAND GYP BOARD ON 2"X4 STUDS AT 12" O.C.
- 91 5/8" FIBROGLAND GYP BOARD ON 2"X4 STUDS AT 12" O.C.
- 92 5/8" FIBROGLAND GYP BOARD ON 2"X4 STUDS AT 12" O.C.
- 93 5/8" FIBROGLAND GYP BOARD ON 2"X4 STUDS AT 12" O.C.
- 94 5/8" FIBROGLAND GYP BOARD ON 2"X4 STUDS AT 12" O.C.
- 95 5/8" FIBROGLAND GYP BOARD ON 2"X4 STUDS AT 12" O.C.
- 96 5/8" FIBROGLAND GYP BOARD ON 2"X4 STUDS AT 12" O.C.
- 97 5/8" FIBROGLAND GYP BOARD ON 2"X4 STUDS AT 12" O.C.
- 98 5/8" FIBROGLAND GYP BOARD ON 2"X4 STUDS AT 12" O.C.
- 99 5/8" FIBROGLAND GYP BOARD ON 2"X4 STUDS AT 12" O.C.
- 100 5/8" FIBROGLAND GYP BOARD ON 2"X4 STUDS AT 12" O.C.

REVISIONS

NO.	DESCRIPTION

Center 301
Apartment Homes

Beaton, Missouri
Case Development Services



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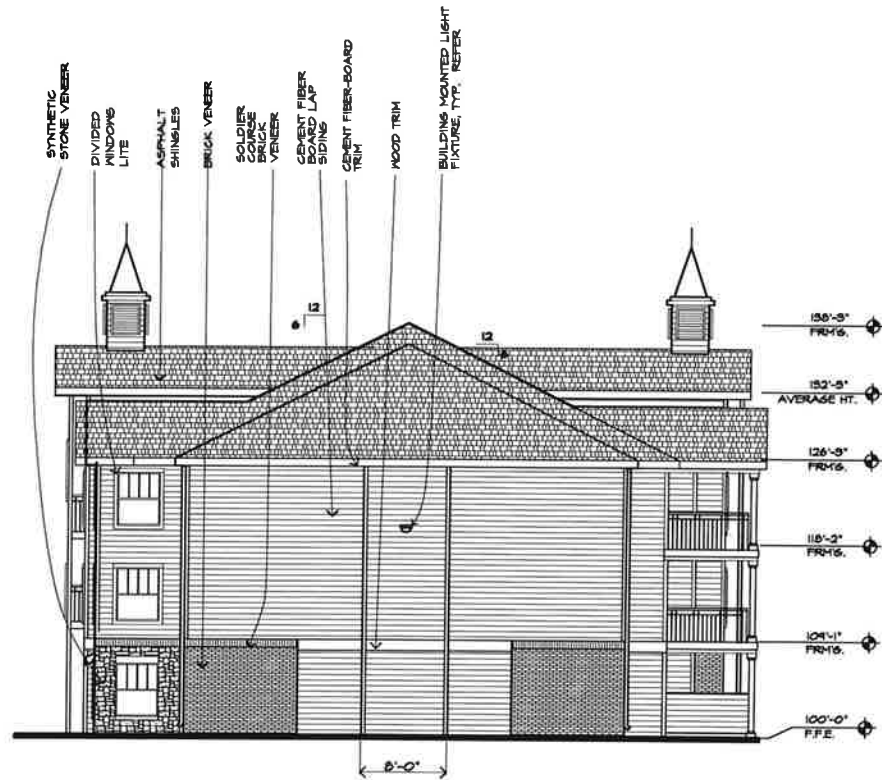
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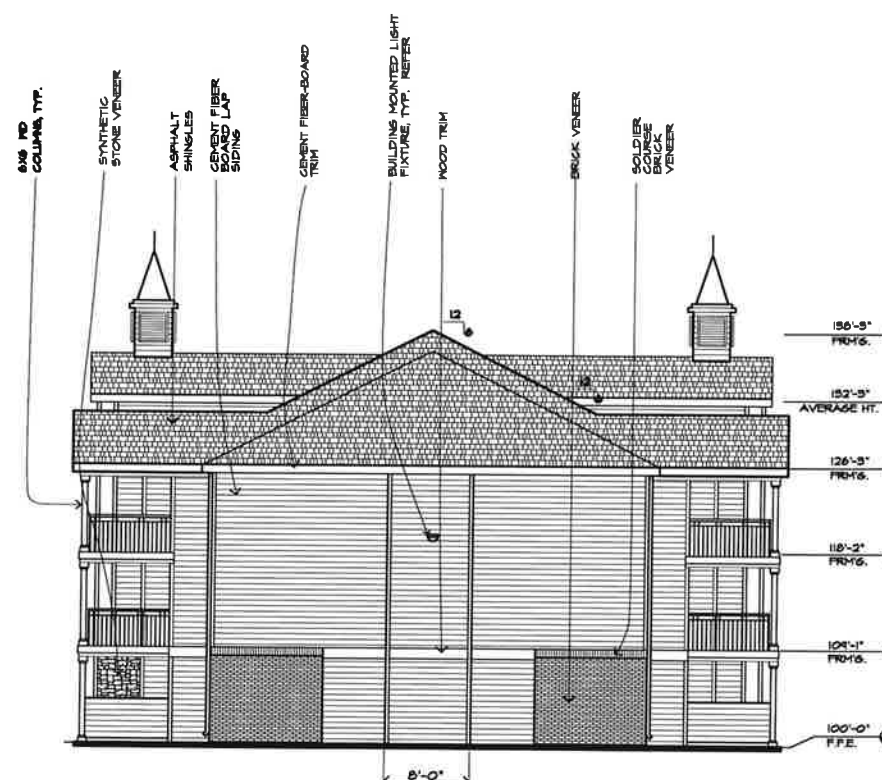
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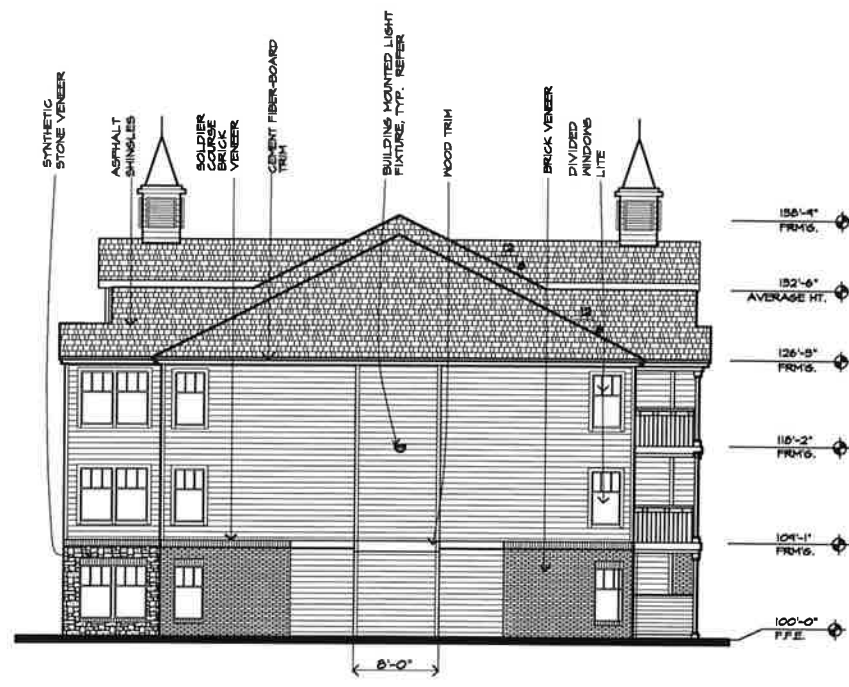
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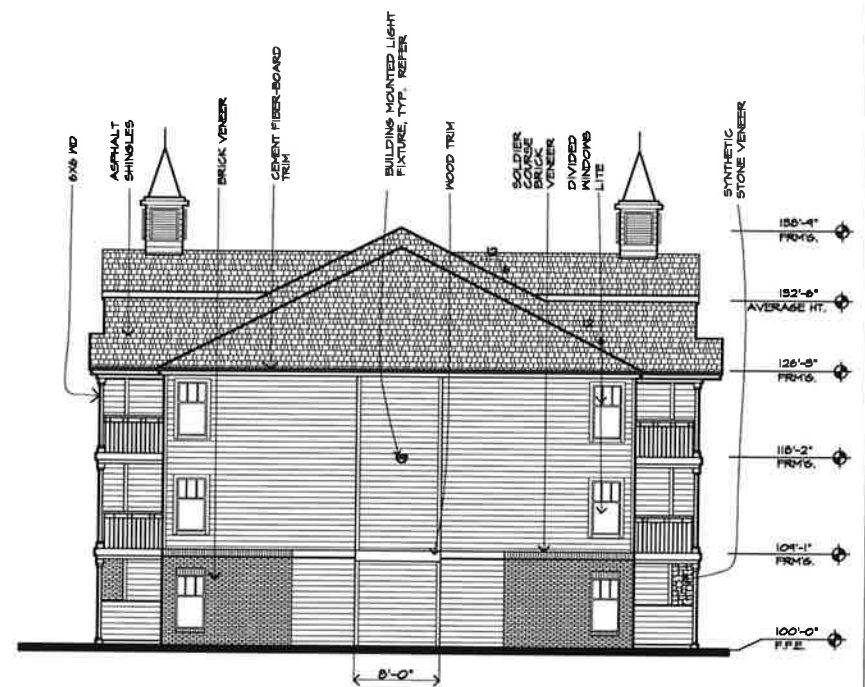
D END ELEVATION - BLDG. B2/B8 (3 STORY)
1/8"=1'-0"



B END ELEVATION - BLDG. B2 (3 STORY)
1/8"=1'-0"



C END ELEVATION - BLDG. A2/A9 (3 STORY)
1/8"=1'-0"



A END ELEVATION - BLDG. A2 (3 STORY)
1/8"=1'-0"

- KEYED NOTES:**
- 1 SITE WORK
 - 2 CONCRETE SUBGRADE, WIDTH AS NOTED ON PLAN
 - 3 FOUNDATION SYSTEM, REFER TO STRUCTURAL DRAWINGS
 - 4 CONCRETE SLAB WITH 4#10 @ 10" ON EDGE, 1/2" REINFORCING BARS WITH 4#10 @ 10" ON EDGE, 1/2" REINFORCING BARS WITH 4#10 @ 10" ON EDGE
 - 5 FLOORING: REFER TO FINISH SCHEDULE - REFER ASSEMBLY LEGEND
 - 6 INTERIORS: REFER TO FINISH SCHEDULE - REFER ASSEMBLY LEGEND
 - 7 CONCRETE RETAINMENT WALL WITH WATERPROOFING MEMBRANE + 1/2" PROTECTIVE BOARD ON EXTERIOR FACE AND WITH 8" STIFF BOARD ON EXTERIOR FACE (SEE FOUNDATION DETAIL FOR REINFORCING)
 - 8 CONCRETE STEM WALL, PAINT ALL EXPOSED SURFACES. ALL PORTIONS OF CONCRETE BLOCK STEM WALLS TO BE COVERED WITH BRICK OR PAVING STRIPS FOR AREA SUBJECT TO TRAFFIC BY DRIVE GRADE
 - 9 BRICK VENEER REFER BUILDING PLAN
 - 10 BRICK SOLDIER COURSE COLOR MAY DIFFER FROM FIELD BRICK COLOR ALT. 2400 BRICK WORKBOOK CODE
 - 11 METALS
 - 12 STEEL FRAMED STAIR, WITH PRECAST CONCRETE TREADS
 - 13 ROOF AND FLASHING
 - 14 TREATED 2X4 SOLE PLATE W/ 1/2" ROAD X 1/2" LING AS AT 48" O.C. OR APPLICABLE CODE APPROVED THE DOWN SLOPE. INSTALL ANCHOR BOLT AT EACH END OF ALL BRICK WALLS WITH A MINIMUM OF TWO ANCHOR BOLTS PER SECTION OF WALL
 - 15 STRUCTURAL BRICK TYPICAL AT SHEATHING
 - 16 BRICK VENEER REFER BUILDING PLAN
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REVISIONS

Center 301
Apartment Homes

Beilton, Missouri
Case Development Services

PROJECT: **Center 301**
LOCATION: **Beilton, Missouri**
CLIENT: **Case Development Services**

SEAL

DATE OF MARCH
LAWYER
REGISTERED ARCHITECT

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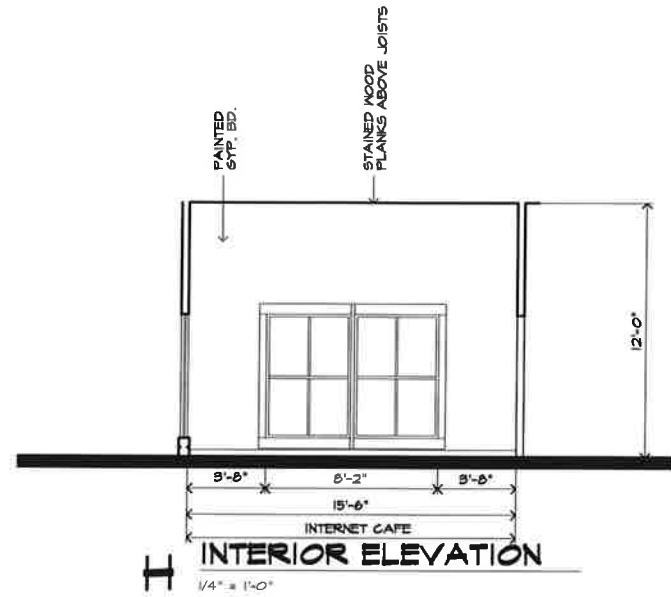
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DATE: _____

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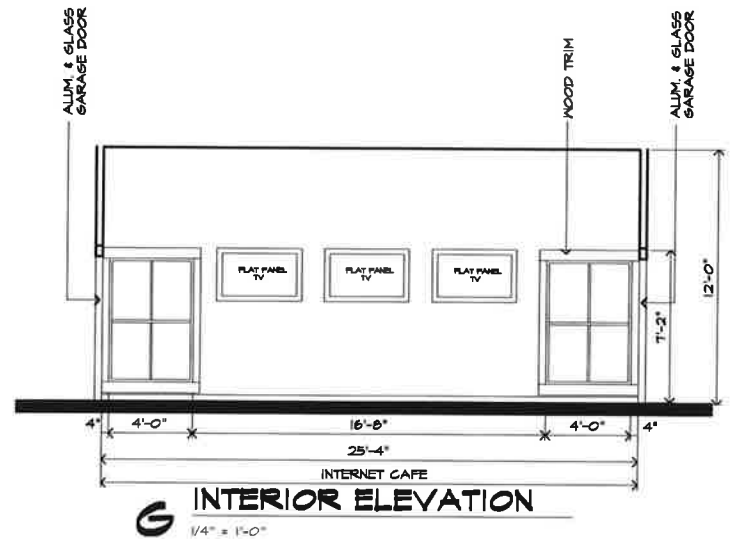
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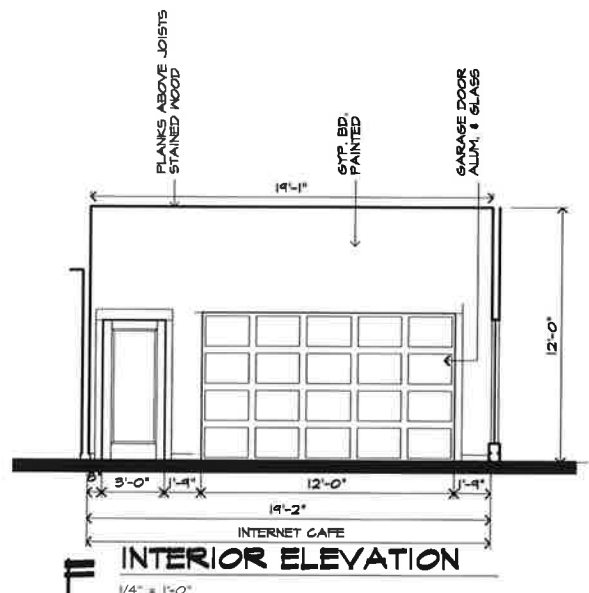
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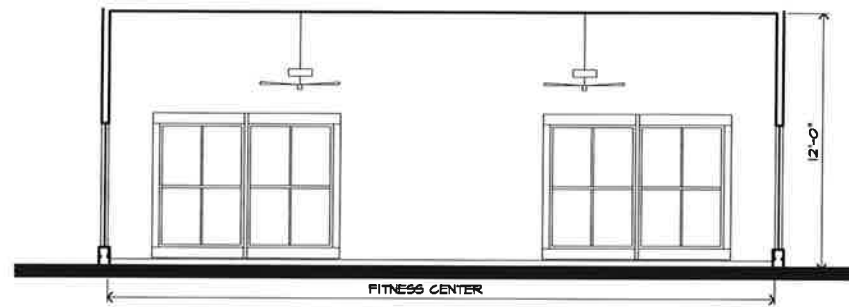
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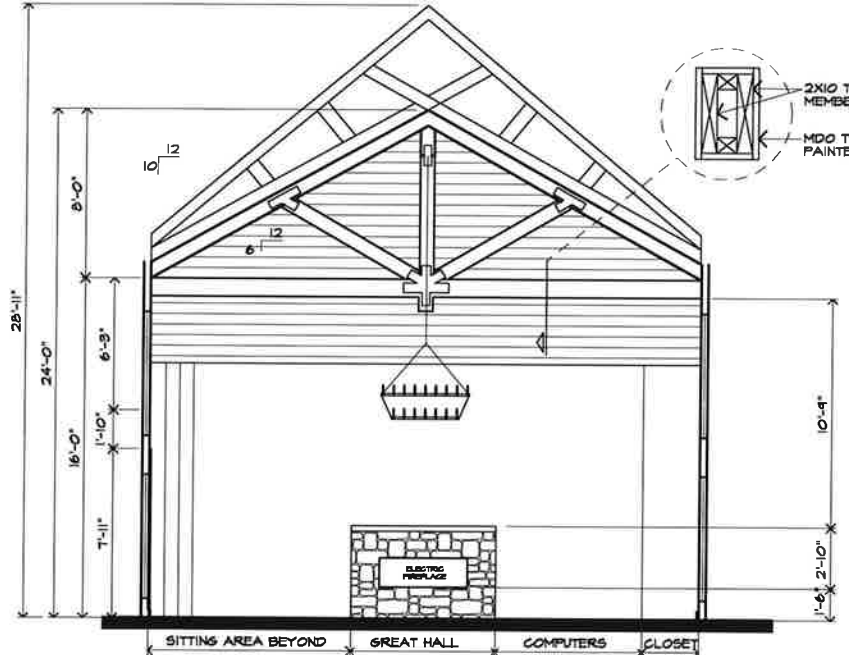
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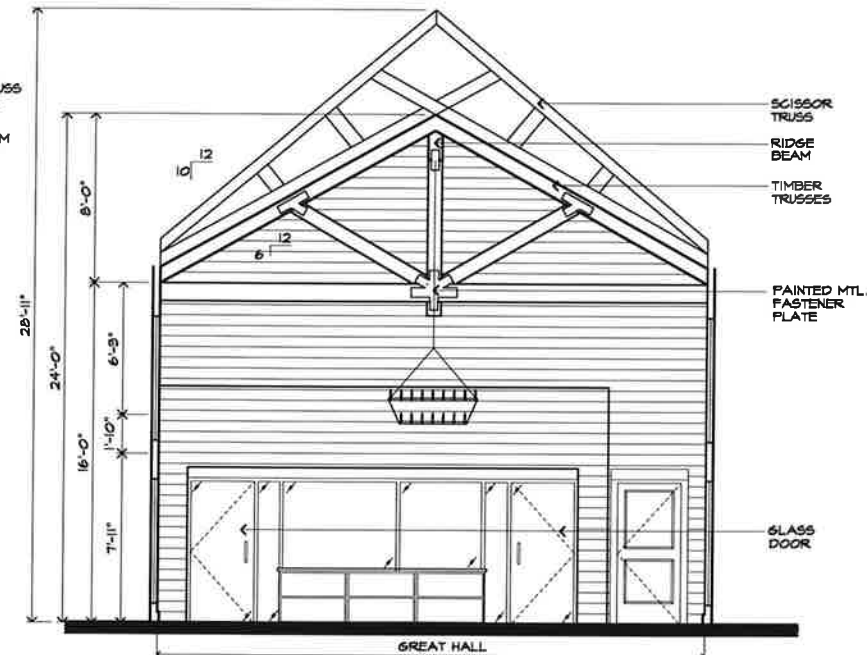
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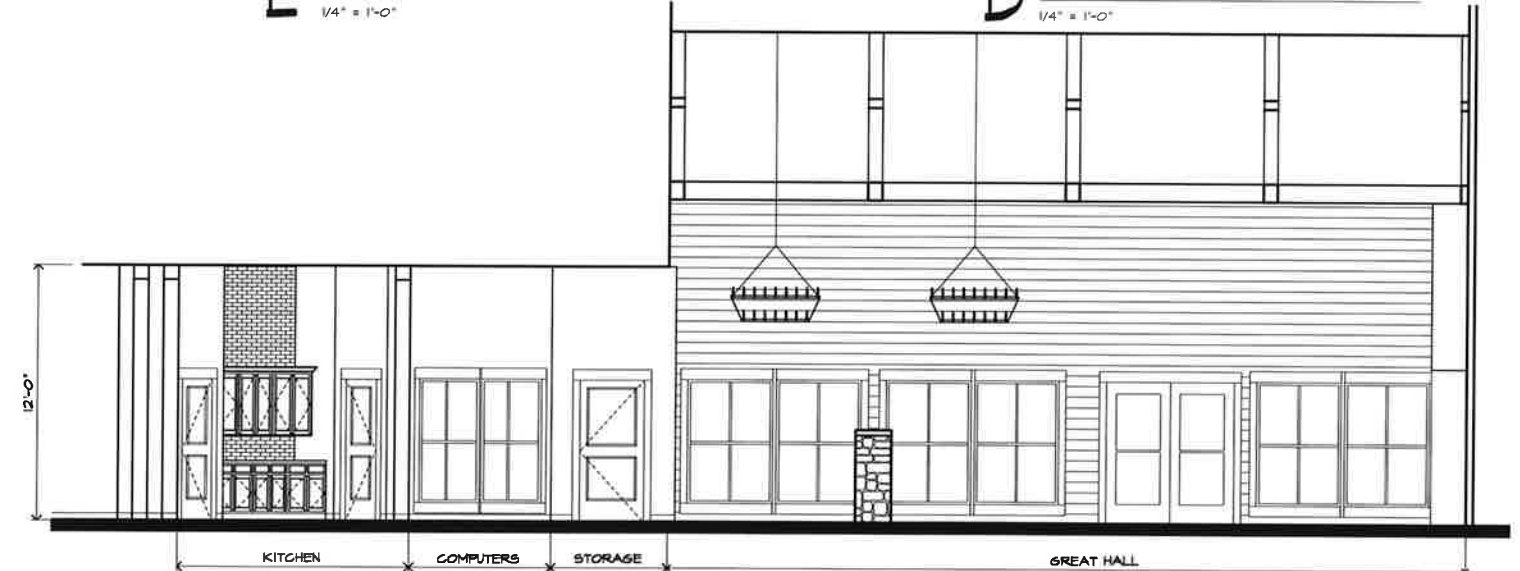
E INTERIOR ELEVATION
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D INTERIOR ELEVATION
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C INTERIOR ELEVATION
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B INTERIOR ELEVATION
1/4" = 1'-0"



A INTERIOR ELEVATION
1/4" = 1'-0"

REVISIONS

PROJECT: **Center 301 Apartment Homes**

LOCATION: **Bethon, Missouri**

CLIENT: **Case Development Services**



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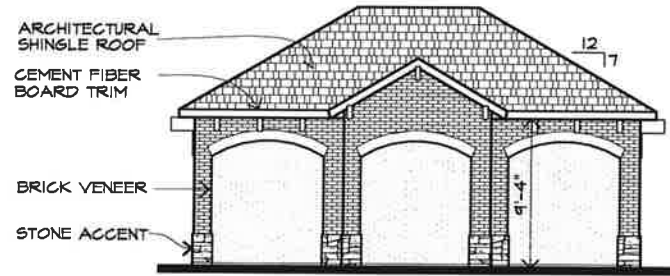
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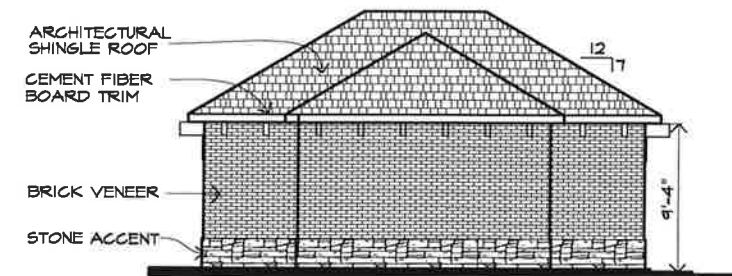
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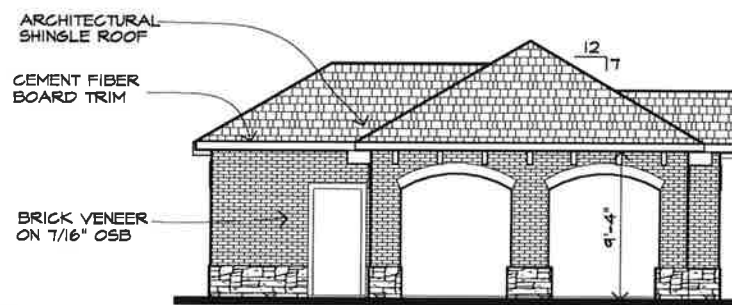
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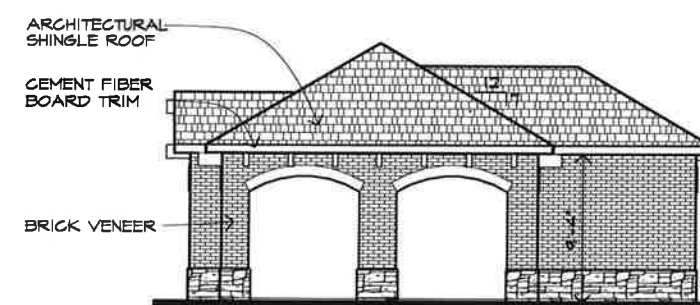
F FRONT ELEVATION
SCALE: 3/16" = 1'-0"



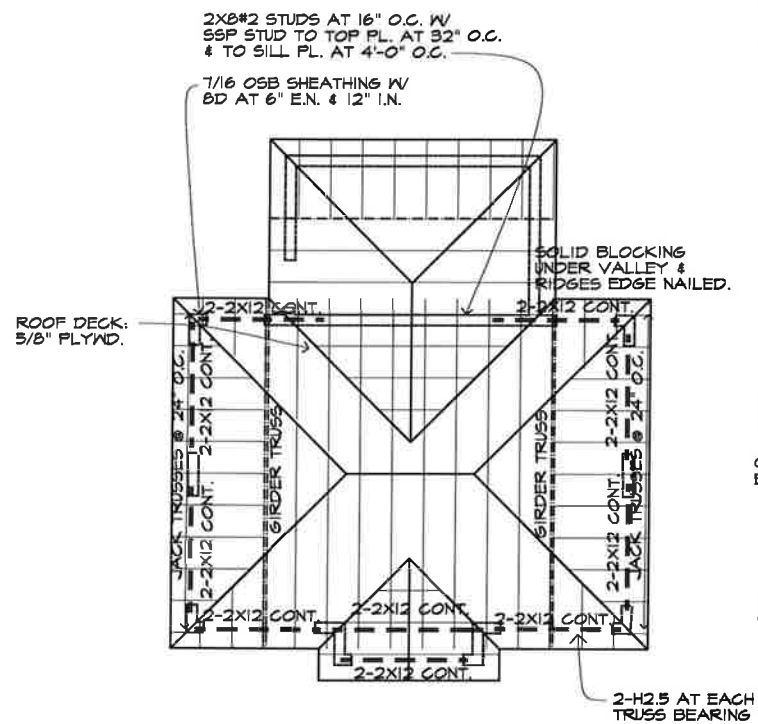
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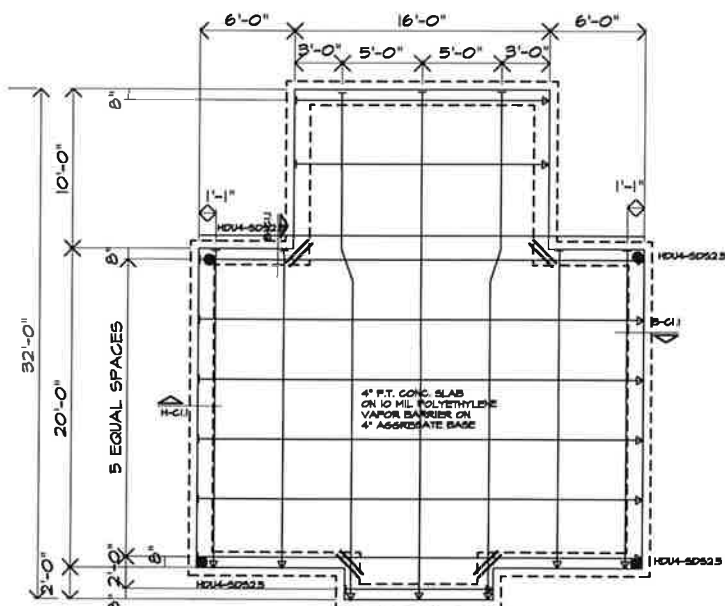
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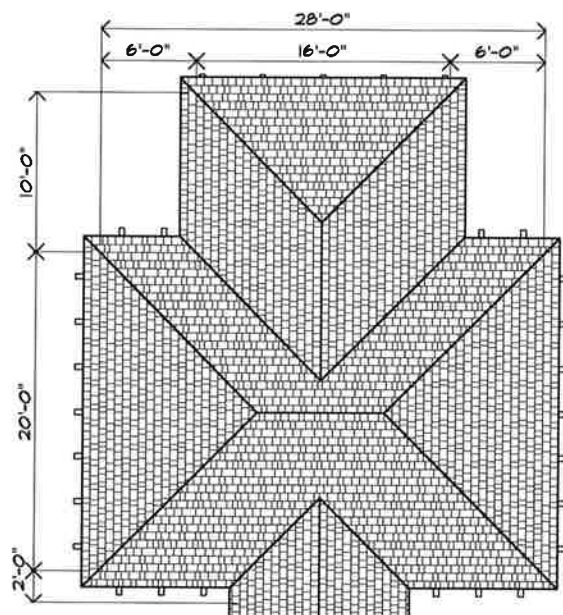
D RIGHT ELEVATION
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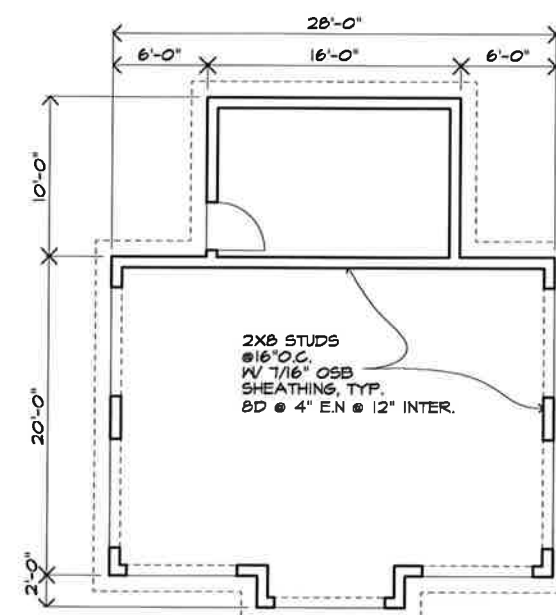
H ROOF FRAMING PLAN
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G FOUNDATION PLAN
SCALE: 3/16" = 1'-0"



B ROOF PLAN
SCALE: 3/16" = 1'-0"



A FLOOR PLAN
SCALE: 3/16" = 1'-0"

Center 301
Apartment Homes
Belton, Missouri
Case Development Services



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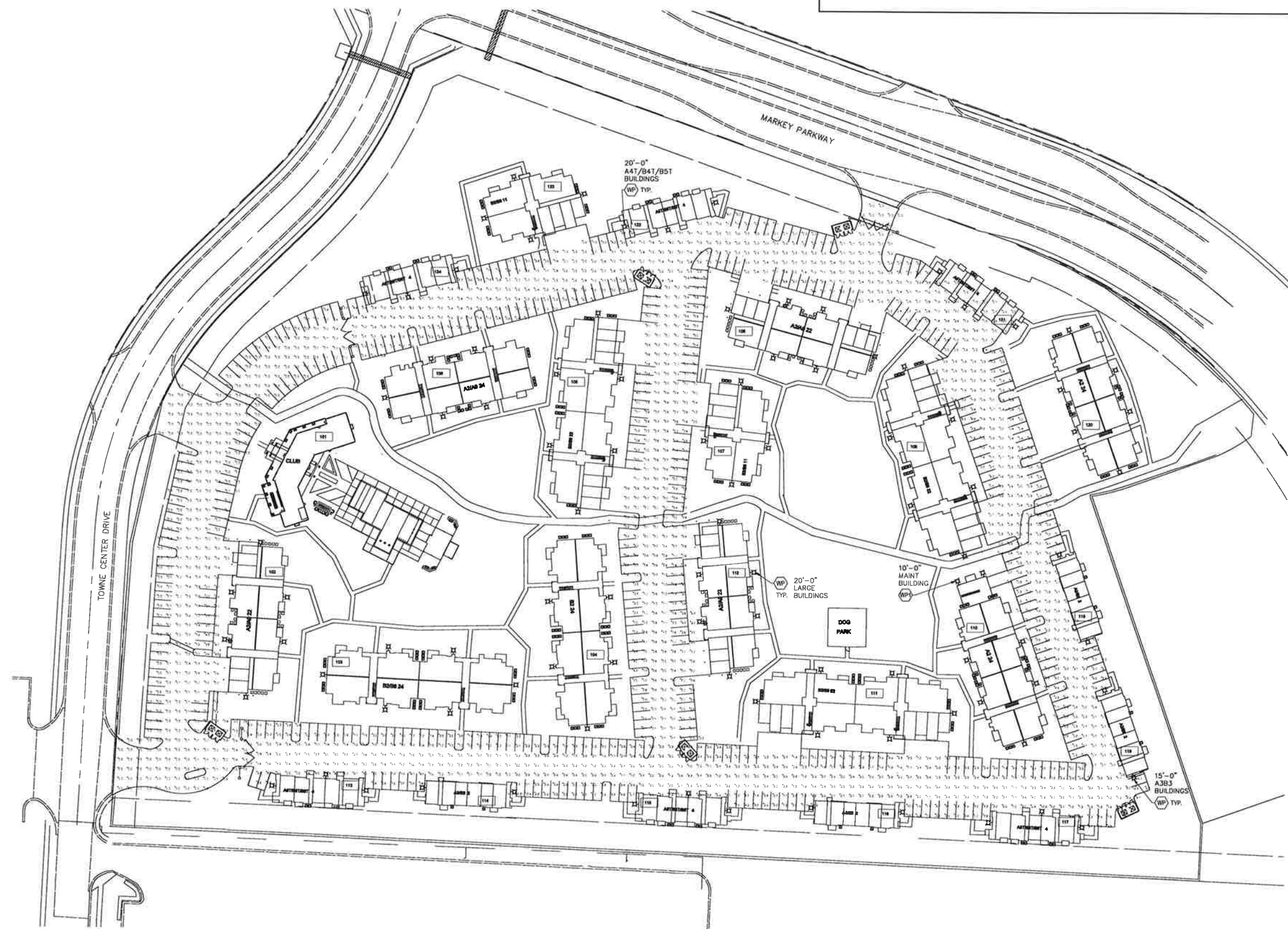
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PROJECT NUMBER
DATE
SHEET TITLE
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SHEET NUMBER

LIGHT FIXTURE SCHEDULE						
MANUFACTURER	CATALOG NO.	VOLTS WATTS	LAMPS TYPE-TEMP-LUMEN	MOUNTING	FIXTURE NOTES	
RAB	WPLED-FC-80	120 80	LED-5000K-10,043	WALL	WALL PACK, FULL CUTOFF, APARTMENT BUILDINGS	
RAB	SLIM-FC-62-N	120 62	LED-5000K-6395	WALL	WALL PACK, FULL CUTOFF, MAINTENANCE BUILDING	

NOTES:



REVISIONS



Center 301
Apartments Homes

PROJECT: Belton, MO
CLIENT: Case Development Services



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PROJECT NUMBER: 12620003
DATE:
SHEET TITLE: Electrical: Photometric Site Plan
SHEET NUMBER:

E100P

1 Photometric Site Plan

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ArcGIS Web Map



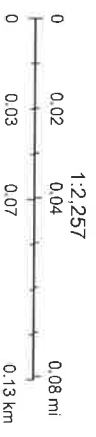
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- Red: Band_1
- Green: Band_2
- Blue: Band_3

Streets

Belton_Parcels



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SECTION V.
FINAL PLAT – CENTER 301 APARTMENTS

**FINAL PLAT
CENTER 301
BELTON PLANNING COMMISSION
MONDAY, APRIL 19, 2021 – 6:00 P.M.
CITY HALL ANNEX BUILDING – 520 MAIN STREET**

APPLICANTS

Property Owner-Case Development Services, LLC. /Mike Case

Engineer-Tanner Consulting/Kevin Norton

Surveyor-Loveland & Associates/Jeffrey Loveland

Location-The property is located at the southeast corner of Towne Center Drive and Markey Parkway.

Request-The application was filed for approval of a Final Plat for Center 301, to permit the development of 306 apartment units on 17.15 acres.

BACKGROUND

The preliminary development plan and preliminary plat for Center 301 Apartments was reviewed and recommended for approval by the Planning Commission on September 21, 2020. The plan provided for development of 306 apartments. This application is the Final Plat for the proposed development.

PROPOSED FINAL PLAT

The Final Plat is consistent with the preliminary plan submitted with the rezoning application, as approved by the City Council:

Lot sizes- The plat provides for one lot, a 17.1582-acre parcel (747,411 square feet).

Streets/access: Access to the site would be from two existing driveway entrances on Towne Center Drive. There is also an existing driveway entrance on Markey Parkway. These entrances were designed and constructed along with the Markey Parkway and Towne Center Drive road improvements.

*Easements-*The final plat includes appropriate language for utility and drainage easements.

Detention- The property is in the Markey Regional Detention Watershed. Payment of a fee in lieu of providing on-site detention is provided in the UDC. The site plan also provides areas of stormwater best management practices (BMP) to lessen run-off and filter storm drainage.

STAFF RECOMMENDATION

The staff recommends approval of the application for a Final Plat for Center 301, as the final plat is consistent with the preliminary plat submitted with the rezoning application. The plat meets all final plat requirements of Section 36.35 of Unified Development Code.

The recommendation is subject to the following conditions:

1. The Final Plat for Center 301 as submitted by Loveland & Associates, dated December 4, 2020, is hereby approved.
2. Change Mayor's signature line to "Norman Larkey."
3. The final plat shall be recorded within one year of City Council approval or the approval of the plat shall be considered null and void.

PLANNING COMMISSION ALTERNATIVES

1. Motion to **approve** a Final Plat for Center 301.
2. Motion to **deny** a Final Plat for Center 301.
3. Motion to continue the application pending additional information.

ATTACHMENTS

1. Final Plat-Center 301
2. Area Map

ArcGIS Web Map



4/16/2021, 9:33:28 AM

Aerial_MARC_2020_6in.tif

- Red: Band_1
- Green: Band_2
- Blue: Band_3

Streets

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