



**AGENDA
CITY OF BELTON
PLANNING COMMISSION MEETING
MONDAY, JULY 6, 2020 - 6:00 P.M.
CITY HALL ANNEX, 520 MAIN STREET
www.belton.org/watch**

- I. CALL MEETING TO ORDER**
- II. ROLL CALL**
- III. APPROVAL OF THE MINUTES OF THE JUNE 8, 2020 PLANNING COMMISSION MEETING**
- IV. NON-PUBLIC HEARINGS**
 - A. Consideration of a Final Development Plan for Southview Commerce Center, Building 3, located on South Outer Road, just north of 162nd Street.**
 - B. Consideration of a Final Plat for Southview Commerce Center South, 3rd Plat, located on South Outer Road, just north of 162nd Street.**
- V. CHAIRMAN'S REPORT**
- VI. ELECTION OF OFFICERS**
- VII. DIRECTOR'S REPORT**
- VIII. NEXT MEETING DATE: To be determined**
- IX. ADJOURNMENT**

SECTION III.
MEETING MINUTES
JUNE 8, 2020

**Minutes of Meeting
Belton Planning Commission
City Hall Annex, 520 Main Street
June 8, 2020**

CALL TO ORDER

Chairman Girgin called the meeting to order at 6:00 p.m.

ATTENDANCE

Commission: Chairman Girgin, Mayor Jeff Davis, Councilman Chet Trutzel, Commissioners Tim McDonough, Tom MacPherson, Kara Anderson, and RJ Warren

Absent: Commissioners Sally Davila and Kelly Monaghan-Bass

Staff: Dave Clements, Planning and Building Director; Madison Smith, Development Technician; Carolyn Yatsook, Economic Development Director; and Nikia Freiburger, Asst. City Engineer

Guests: Brad Haymond, NorthPoint Development, 4825 NW 41st St, Suite 500, Riverside, Missouri 64150; Gabe Vogl, Rosemann & Associates, 1526 Grand Boulevard, Kansas City, MO 64108; Mick Slutter, Renaissance Infrastructure Consulting, 1815 McGee Street, Suite 200, Kansas City, MO 64108; Diane Huckshorn, Belton Chamber of Commerce, 517 Main St, Belton, Missouri 64012; Kathy Morton, 408 Bradford Lane, Belton, Missouri 64012; Todd Christy, 412 Bradford Lane, Belton, Missouri 64012; Connie Davis, 407 Bradford Lane, Belton, Missouri 64012; Bret White, 608 Mallory Drive, Belton, Missouri 64012; Lori Inouye, 310 Apple Blossom Lane, Belton, Missouri 64012; Mary Hays, 603 Givan Avenue, Belton, Missouri 64012; and Larry Favand, 804 Givan Avenue, Belton, Missouri 64012

MINUTES

Chairman Girgin had a correction to the May 4, 2020 meeting minutes. Commissioner Tom MacPherson was not listed in attendance. Councilman Trutzel moved to approve the May 4, 2020, Planning Commission meeting minutes. Commissioner Anderson seconded the motion. All members present voted in favor, and the motion carried.

PUBLIC HEARING – Rezoning from the existing C-2 General Commercial District to a R-3A Planned Unit Development District, and a Preliminary Development Plan to permit the development of the Northpoint Apartments, consisting of 322 units in six buildings on 11.64 acres. The property is located on the South side of 163rd Street, midway between Markey Parkway and Givan Avenue, at the intersection of Turner Road and 163rd Street.

Mr. Clements gave a summary of the staff report. The applicant, architect and engineer were present to answer questions. Staff recommends approval of the rezoning with the conditions noted in the staff report. The staff report is attached as Exhibit A.

The public hearing was opened at 6:14 p.m.

Brad Haymond with NorthPoint Development was present to give an overview of the project. He stated the following:

- They have developed about 3500 units across the KC Metro in the past 8.5 years
- Proposing 6 apartment buildings and independent clubhouse with pool and other amenities
- Walking trail and dog park would be available for private and public use
- Masonry brick or stone used on buildings
- Proposed units to have tuck under garages, as well as detached garages and carports
- Stainless steel appliances and quartz countertops to be used inside the units
- Variety of bedroom mix, ranging from about 550 to 1600 square feet
- Variety of income level and employment fields

Diane Huckshorn, Director of Belton, MO Chamber of Commerce, 517 Main Street, Belton, MO was present to speak in favor of the development. Mrs. Huckshorn provided the following:

- NorthPoint is a valuable member of the Chamber of Commerce
- Previous projects they have done look wonderful and seeing the 163rd St corridor developed would be amazing for Belton and its residents
- The City of Belton has a lack of high-quality rental units
- Its important for our community to have options for rentals as we continue to grow and attract new residents and businesses
- Not having the maintenance and being close to so many businesses is a hot spot for apartments

Kathy Morton, 408 Bradford Lane, Belton, MO was present to speak and ask some questions regarding the proposed development. She stated the following:

- Her house would back up to the complex
- Would also like to have a nice place to live if she ever decided to sell her house
- Would like to assurance that the trees are staying to act as a buffer between the apartments and the single-family homes

Ms. Morton also had questions regarding previous properties; if they have all been leased, and if any have changed to low income housing. The applicant stated their occupancy generally sits around 93% and has increased to 95% over the past few months.

Todd Christy, 412 Bradford Lane, Belton, MO was present to speak and ask some questions regarding the proposed development. He stated the following:

- His house would be adjacent to the complex
- Was originally concerned about commercial development being right behind his property when he first bought it a few years back, so changing it to a residential use would put him more at ease
- Walking trail and dog park would be a great benefit to the City and its residents
- Would also like assurance that the existing trees would be staying
- Requested more evergreens to be planted if possible, to have a natural and visible barrier

Mr. Christy had a question regarding the construction times for the proposed development. The applicant stated they would have normal construction times during normal business hours, starting about 7 or 8 o'clock in the morning until about 4 p.m. No construction would be taking place during the night.

Connie Davis, 407 Bradford Lane, Belton, MO was present to speak against the proposed development. She stated the following:

- She received a letter, but her neighbor did not

- She has owned her house since it was built in 2000 and it is paid off
- She has put a lot of time and money into her house and she does not want her property value to decrease
- She does not want to move nor can she afford to
- Doesn't believe that there is room for that many people in such a small area
- This would create a noisy and even more congested area with traffic and people

Ms. Davis also had a question regarding if this would be a TIF district. Mr. Clements, Director of Planning and Building stated that this is not a TIF district, and no application has been filed for a tax increment financing district.

Bret White, 608 Mallory Drive, Belton, MO was present to speak and ask questions regarding the proposed development. He stated the following:

- He would not have known about this meeting if it wasn't for social media and neighbors because he did not receive a letter
- The traffic increase would be passing right by his house
- Belton needs something to help it grow and make it worth staying and living here
- Believes there should be a better notification process to notify residents about proposed projects like this

Mr. White had questions regarding the anticipation of traffic patterns and how the proposed development would help with water and sewer rates for residents. The developer stated a traffic study has not been done yet. He would assume the increase in people and more residents paying into it, would help with water and sewer rates. The developer also stated that the development company would be paying for all of the new infrastructure that would need to be installed to support this development.

Mr. White was also confused by the use of the terms "generally meets" and "exceeds" standards when Mr. Clements was giving his staff report. Mr. Clements stated that the proposed development exceeds most requirements of the R-3A residential district, however, the applicant has requested a few exceptions. He referred Mr. White to the staff report so he can further inquire about the requirements and standards and the exceptions that the applicant is asking for.

Lori Inouye, 310 Apple Blossom Lane, Belton, MO was present to speak and ask questions regarding the proposed development. She stated the following:

- She also found out about this meeting from social media
- She is concerned about traffic congestion with adding more people to the area
- She is concerned about properties flooding due to being in a lower plain
- Would like to change the notification process for notifying property owners and residents about proposed projects
- Will need more police and fire since we will be increasing people
- Hopes this development is kept upscale and does not end up as section 8 housing

The Director stated that Ms. Inouye could ask the City Council to make an amendment to the Code if she wishes to change the notification requirements. He also explained to Ms. Inouye that this development has proposed adequate water and sewer facilities.

Ms. Inouye had questions regarding the number of entries/exits for the development. The applicant and Director stated that there are 2 entries/exits, and the Fire Marshall has reviewed the plans and has agreed that entries and exits are adequate for fire access and egress.

Ms. Inouye also had a question regarding schooling and if a new school would need to be built due to the amount of kids that would move to Belton to live in the apartments. The applicant stated that most of their apartment communities do not have many school age children. For example, the first phase of Summit Square apartments had a total of 8 school age children, out of 308 units that were added to the school district when the apartments were leased.

Mary Hays, 603 Givan Avenue, Belton, MO was present to speak and ask questions regarding the proposed development. She stated the following:

- A better location would have been off Markey Parkway behind Home Depot
- Believes that the storm water management is not adequate enough and that it poses risk on the houses in Bradford Estates
- Concerned about dust during construction and how it will be controlled
- Concerned about the increased need of police and fire services and if the City will be raising sales tax again to contribute to that increased need

Ms. Hays asked the applicant why they would choose this specific location for a proposed apartment complex. The applicant stated to Ms. Hays that the location of this property is a good buffer between the single-family residential houses that sit behind it and the commercial properties that surround it. The property also has adequate access, visibility and infrastructure.

Ms. Hays also inquired about whether or not the developer has already purchased the property. The applicant stated the purchase is contingent on the approval of the rezoning and development plan. The developer also stated that they will have measures in place for dust control and anyone who has problems or concerns, can contact them or the City directly.

Larry Favand, 804 Givan Avenue, Belton, MO was present to speak about the proposed development. He stated the following:

- Has lived in his home since 2001
- Thinks the applicant could have chose a different and better location
- Concerned about the risk of crime increasing in his neighborhood
- Hopes this development does not have a negative impact on his property value
- Does not feel that residents have had the opportunity to learn more about this proposed project
- Will there be on-site 24-hour management? Who will be policing this complex?

With no further input, the public hearing closed at 7:07 p.m.

Councilman Trutzel stated that this developer produces a quality product. He wanted to remind everyone that the choice of property comes from the developer. If you go to surrounding cities, you will see its very common to have residential and commercial properties in close proximity to each other. Generating more people means you are generating more sales tax for your own City.

Commissioner MacPherson had some questions regarding the housing study that had taken place a few years ago and the findings of that study. Carolyn Yatsook, Economic Development Director, was the liaison

to that study that took place in 2017. Mrs. Yatsook stated one of the major findings was the lack of contemporary, high quality rental and apartment development in the face of increased generational demand. Members of the local hospital have stated they have had problems recruiting young professionals due to the lack of rental units in Belton. The Economic impact from having an apartment complex of this caliber at the gateway to our City would be huge for our community.

Commissioner Warren thanked NorthPoint for choosing Belton and believes this will be a great addition to the City of Belton.

Commissioner MacPherson wanted to inquire about storm shelter space. Has the developer thought of any plans for that? The applicant stated that they have not completed the preliminary design for a storm shelter and plans of such depend on the municipality and their code requirements.

Mayor Davis wanted to make a few statements regarding concerns and questions he heard during the public hearing. Mayor Davis stated that there will be no access to the apartments off of Givan Avenue. Cass County does not pay an earnings tax which is a big factor for bringing in business. The opportunities and economic stimulation that this developer is going to bring to our City is astronomical. It's okay to have concerns, we want people to be happy and want to live and stay here.

Chairman Girgin stated that the Commission is very fortunate that NorthPoint has selected Belton. They have brought a phenomenal commercial development to our City that is going to create thousands of local wage jobs. We hope everyone knows that these projects are not undertaken lightly or dismissively. We do welcome your concerns, and we want to assure you that there is no better developer for this project.

Commissioner Anderson asked the applicant when they built their first property and if it is currently still owned by NorthPoint. The applicant stated they built their first property about 8 years ago and it is not still currently owned.

Councilman Trutzel moved to approve the plan with the following conditions:

1. The Preliminary Development Plan for Northpoint Belton Apartments is hereby approved, as shown on Site Development Plan by Renaissance Infrastructure Consulting, dated 5/22/2020.
2. Building elevations and building perspective drawings for Northpoint Belton Apartments are hereby approved, as shown on plan set by Rosemann & Associates, dated 4/10/2020.
3. The PUD includes exceptions for building height, and the front yard setback.
4. The Final Development Plan shall include architecture and building materials for the clubhouse.
5. Trash enclosures shall be masonry construction to match the buildings with a gate, additional landscaping shall be provided the enclosures.
6. The Final Development Plan shall include details of the proposed carports and surface garages. Exterior materials on the structures shall match the buildings.
7. The trail design shall be revised to address staff comments. The pedestrian trail shall be a 5-foot width, with asphalt surface.
8. The Final Development Plan shall include a final landscape plan sealed by a registered Landscape Architect.
9. The Final Development Plan shall include a photometric plan for parking lot and building lighting.
10. The Final Plat shall include a shared access easement for the south entrance.

11. The Final Development Plan shall include a revised water line to eliminate a dead-end line for fire safety.
12. Retaining walls shall include a safety rail
13. The Final Development Plan shall include a Development Agreement to be executed between the applicant and the City of Belton.

The motion was seconded by Commissioner Warren. When a vote was taken, the following was recorded:
Ayes: 6 – Chairman Girgin, Mayor Jeff Davis, Councilman Chet Trutzel, Commissioners Tom MacPherson, Tim McDonough and RJ Warren
Noes: 1 – Commissioner Anderson
Absent: 2 – Commissioners Sally Davila and Kelly Monaghan-Bass

The motion passes. The application for the rezoning will be forwarded to City Council on June 16, 2020 for approval.

PUBLIC HEARING – Rezoning from the existing A Agricultural Zoning District to a R-1 Single-Family Residential District for the property located on the North side of Cambridge Road, approximately 236 feet East of Mullen Road.

Mr. Clements gave a summary of the staff report. The applicants, Christopher and Micah Whorton were present to answer any questions. The Whorton family own the property and is commonly known as Whorton Farms. The staff report is attached as Exhibit B.

The public hearing was opened at 7:36 p.m.

Councilman Trutzel had a question about the easements for this property and asked if this would create any problems for the work that is supposed to take place on Cambridge Road. Mr. Clements stated the easement issues have been resolved.

The public hearing was closed at 7:37 p.m.

Councilman Trutzel moved to approve the plan with the following condition:

1. The rezoning for Whorton Farms is hereby approved, in order to implement the Final Plat prepared by Michael J. Huffman, dated 5/01/20.

The motion was seconded by Commissioner MacPherson. When a vote was taken, the following was recorded:

Ayes: 7 – Chairman Girgin, Mayor Jeff Davis, Councilman Chet Trutzel, Commissioners Kara Anderson, Tom MacPherson, Tim McDonough and RJ Warren

Noes: 0 – None

Absent: 2 – Commissioners Sally Davila and Kelly Monaghan-Bass

NON-PUBLIC HEARINGS – Approval of a Final Plat for the Replat of Whorton Farms, located on the North side of Cambridge Road, approximately 236 feet East of Mullen Road.

Mr. Clements gave a summary of the staff report. The staff report is attached as Exhibit C.

With no input, Commissioner Warren moved to approve the Final Plat for the Replat of Whorton Farms with the following conditions:

1. The final plat for the Replat of Whorton Farms, dated May 1, 2020, by Michael J. Huffman is approved as submitted.
2. The final plat shall be recorded within one year of City Council approval or the approval of the plat shall be considered null and void.

The motion was seconded by Councilman Trutzel. When a vote was taken, the following was recorded:
Ayes: 7 – Chairman Girgin, Mayor Jeff Davis, Councilman Chet Trutzel, Commissioners RJ Warren, Tom MacPherson, Kara Anderson, and Tim McDonough

Noes: 0 – None

Absent: 1 – Commissioner Sally Davila and Kelly Monaghan-Bass

The motion carried and will be forwarded to the City Council for final approval.

DIRECTOR'S REPORT

- At the next meeting, we will be looking at the revision for the 3rd Plat and preliminary plan for the Southview Commerce Center.

NEXT MEETING DATE: July 6, 2020

ADJOURNMENT

Commissioner McDonough moved to adjourn the meeting. The motion was seconded by Commissioner MacPherson. All voted in favor, and the meeting adjourned at 7:49 p.m.

EXHIBIT A
REZONING AND PRELIMINARY DEVELOPMENT PLAN
NORTHPOINT APARTMENTS
BELTON PLANNING COMMISSION
MONDAY, JUNE 8, 2020 – 6:00 P.M.
CITY HALL ANNEX BUILDING – 520 MAIN STREET

APPLICATION

Property Owner-Prime Site II, LLC. /Michael Hales

Applicant-Northpoint Development, LLC. /Nathaniel Hagedorn, Brad Haymond

Engineer-Renaissance Infrastructure Consulting/Mick Slutter

Architect-Rosemann and Associates/Gabe Vogl

Location-The property is located on the south side of 163rd Street, midway between Markey Parkway and Givan Avenue.

Request-The application was filed for approval of a Rezoning from the existing C-2 General Commercial District to a R-3A Planned Unit Development District, and a Preliminary Development Plan to permit the development of the Northpoint Apartments, consisting of 322 units in six buildings on 11.64 acres.

BACKGROUND

This application was filed for a rezoning from the existing C-2 General Commercial District to a R-3A Planned Unit Development, and a related preliminary development plan.

Northpoint Development is an experienced and accomplished developer of rental apartments throughout the Kansas City market. The company has developed 3500 apartments throughout metropolitan area in the last eight years. Apartments similar in quality and design to the proposed plan can be viewed with the following links:

Summit Square Apartments/Lee's Summit <https://www.summitsquarekc.com/>

Residences at New Longview/Lee's Summit <https://www.liveatresidencesnlv.com/>

Retreat at Tiffany Woods/Kansas City <https://www.theretreatattiffanywoods.com/>

The preliminary development plan provides for 322 apartments on the 11.64-acre site. There are six, four-story buildings on the plan, a pool and clubhouse, a walking trail around the perimeter of the development with a dog park and a trail connection to Markey Parkway. Three of the buildings provide first floor garage spaces for residents, and there are carports, garages and surface parking to further meet resident and guest parking needs. The four-story buildings will all have elevators and interior corridors, the buildings are not walk-up apartments.

The bedroom mix of the apartments is as follows:

- 30 studio units
- 148 one bedroom/one bath units
- 38 one bedroom/one bath + den
- 84 two bedroom/two bath
- 22 two bedroom/two bath + den

These will be luxury apartments, the applicant states that rental rates will range from approximately \$850.00 for studio units to \$1600.00 for the larger two-bedroom homes, depending on phasing and time of construction and actual market conditions.

The applicant has provided the attached interior photographs of the units to depict the quality and finishes of the homes.

The clubhouse serves as a gathering and community resource for residents and includes a kitchen with coffee bar, fitness room, cycling studio, massage studio, conference room, screening/TV room, and an outdoor patio and grilling area. The swimming pool will be a heated salt-water pool with a sun deck.

The applicant believes the property is well suited for multi-family development. The development will provide luxury rental units that will offer new housing choices for residents of Belton and surrounding communities. The location is on an arterial street with nearby highway access. The site is not directly adjacent to any existing single-family homes, a stream buffer and wooded area separate the property from nearby homes in Bradford Place. Development of the site will help support existing retail and nearby employment centers.

PRELIMINARY DEVELOPMENT PLAN

The subject property is an 11.6-acre site located on the south side of 163rd Street, at the intersection with Turner Road. The site is midway between Markey Parkway and Given Drive. The signalized intersection of Turner Road and 163rd Street will be the main entrance to the community.

Compliance with R-3A Standards and Planned Unit Development (PUD) Requirements of the Unified Development Code (UDC):

The plan generally meets all requirements of the R-3A Community Residential District. The R-3A district is intended for multiple-family residential development adjacent to arterial streets, to and serve as a transition from commercial development to lower density residential development.

Parking: 1.5 parking spaces per unit for multi-family development or 483 spaces are required for the 322 units. There are 515 parking spaces proposed, including 122 attached and detached garages, 95 carport spaces and surface parking. The parking spaces meet all dimensional requirements for length, width and maneuvering.

Required Yards/setbacks:

Front yard- 30-foot setback required. 20-foot setback proposed.

Rear yard-20-foot setback required. 30-foot setback proposed.

Side yard-5-foot setback required. Varies, exceeds minimum requirement.

Maximum Building Height-35-foot maximum. 41'-6" proposed height. To be measured at average height of gable.

Maximum Building Coverage-25% maximum. 18% proposed building coverage.

Required Open Space-30% of total land area required. 40% open space provided.

A land-use analysis and site data table is found on Sheet CO-3, General Layout, for other project specifics.

Planned Unit Development Criteria-The UDC includes provisions for the approval of a PUD designation for certain types of development. A PUD is intended to encourage creative development with unified design, features and amenities. A PUD provides for flexibility in the design of buildings, yards, and other regulations in a manner that cannot be provided in other zoning districts.

A PUD also requires a Development Agreement be entered approved between the developer and the City Council. The agreement provides a basis for requiring all improvements as shown on the development plan, specifics for timing of development, and other important milestones and commitments.

Building Design: There are no specific building design requirements for the R-3A Multiple-Family Residence District. The building design proposed by the developer provides a quality mix of building materials and an attractive architectural design. The ground floor is differentiated from other the upper stories by changes in building materials, columns, balconies, offsets and other methods of articulation that provide a variety of design. The buildings are designed to have a visually distinct top, middle and first floor.

Primary materials are full masonry brick, cement siding and transparent glass.

The clubhouse will be of an architectural style with materials to match the apartments buildings. Final designs for the clubhouse will be required with the final development plan. Also, designs for the carports and surface garages will also be required as part of the final development plan.

There are locations of shared trash enclosures on the plan. These enclosures will be constructed of masonry materials to match the buildings, with and appropriate screening/landscaping.

Landscaping: A landscape plan was submitted with the Preliminary Development Plan. The landscape plan meets the requirements of the UDC. The plan exceeds the required 30 percent total landscape area, and provides the required shade trees, parking lot landscaping, and street trees.

Streets/access: Access to the site would be from the signalized intersection at Turner Road and 163rd Street. A second entrance is located at the south property line.

Utilities: The plan includes a utility plan for water and sanitary sewer to serve the site. Staff has reviewed the utility plan and determined that the plan provides adequate public facilities.

Detention: The property is in the Markey Regional Detention Watershed. Payment of a fee in lieu of providing on-site detention is provided in the UDC. The site plan also provides areas of stormwater best management practices (BMP) to lessen run-off and filter storm drainage.

Trails and sidewalks: A perimeter trail is proposed around the apartment community, with an extension to the dog park, and southeast to Markey Parkway. The trail design should be revised to connect to the sidewalk/trail on 163rd Street south of Building 3. Also, it is recommended that a trail extension be added from the pool/clubhouse, north of Building 4 to the main trail/dog park area.

Compliance with Comprehensive Plan: The Future Land Use Map of the Comprehensive Plan designates this site, and all the property along 163rd Street/Cedar Street as Commercial. Apartments at this specific location do not meet the guidelines of the Land Use Map. However, the Comprehensive Plan also has a housing goal of encouraging high quality residential development and locating medium and high-density residential development near employment centers along major arterials.

Economic Development Considerations: It has been stated by constituents that Belton lacks a high-quality product for those who choose to rent. Often, children grow up and decide to move to a nearby community within the Kansas City metro because there is currently not a product that they desire. Belton also has many residents who are aging out of their homes but are not ready for a retirement community. These seniors want an option where they can have an active retirement with no maintenance, but they want to remain in their own community, near family and friends. This high-end housing option will help us to retain our families in Belton.

Additionally, Belton is a growing and thriving community, attracting the young professionals from the metropolitan area. This is occurring for many reasons. Quick access to most of the Kansas City region within 20 minutes via I-49 is certainly one of them. Contemporary market preferences suggest greater interest in high-quality, connectivity, public space, and mixed uses, which this project affords. Our existing employers will benefit in their efforts to attract workers as most young professionals love a short commute, or better yet a walk or bike ride. The all new Southview Commerce Center is anticipated to bring 2,000 new jobs to Belton and with it, potential new residents who may not be ready to buy a home, just yet.

Today's renter-by-choice desire walkability to shopping and dining and access to trails. They also tend to have disposable income. If you look at other nearby cities such as Lee's Summit and Overland Park's 135th St., mixed use developments are embraced. The three shopping centers along the 163rd St. will benefit from infusing new shoppers into the neighborhood. Having new residents along the corridor will spur new commercial growth. Retailers and restaurateurs see the value of proximity to patrons.

The City of Belton conducted a housing study in 2017. It states that one of our housing challenges is "lack in diversity of housing choices". An astute statement was also made, "lack of contemporary high-quality rental and apartment development in the face of increased generational demand can lead to the conversion of single-family homes into rental property instead of home ownership". It is most desirable to have single family homes be occupied with homeowners.

REZONING CRITERIA/FINDINGS OF FACT

The Unified Development Code, Section 20-3, provides certain approval criteria that must be addressed with a rezoning application. These criteria are summarized below, with analysis for consideration of the Planning Commission:

(1) The character of the surrounding neighborhood, including the existing uses and zoning classification of properties near the subject property. The 163rd Street corridor in the vicinity of the subject site is primarily zoned a C-2 General Commercial District and is characterized by retail development. East of the site is a stream corridor and wooded natural area. Southeast of the property is Bradford Place, an existing single-family neighborhood zoned R-1.

(2) Consistency with the goals and objectives of the Comprehensive Plan. The Future Land Use Map of the Comprehensive Plan designates this area as commercial. The proposed rezoning is not consistent with the Future Land Use Map. While the proposed plan is not consistent with the Future Land Use Map, staff would note that the proposed apartment community meets the housing goals and objectives of the Comprehensive Plan.

(3) Suitability of the subject property for the uses permitted under the existing zoning district. The property is suited for development with the existing C-2 District. However, there are numerous vacant commercial areas in the 163rd Street corridor such as Belton Gateway that have a higher likelihood of development. Apartments on the subject property would not have an adverse impact nor impede the potential of future commercial/retail development. New residential density in the area would serve as an incentive for further new development.

(4) The trend of development near the subject property, including changes that have taken place in the area since the subject property was placed in its current zoning district. The area near the subject property has experienced recent commercial development. The retail center of Belton Gateway and Menard's are examples of new commercial development.

(5) The extent to which the zoning amendment may detrimentally affect nearby property. The proposed rezoning and PUD designation will create an attractive, well designed apartment community. Northpoint Belton Apartments will be developed by an experienced builder and managed under single ownership and unified control. The PUD approval will assure that the project will be constructed as proposed to the Planning Commission, without substantial changes. These factors all contribute to the apartment community not having any detrimental impact on nearby property.

(6) Whether public facilities (infrastructure) and services will be adequate to serve development allowed by the requested zoning map amendment. All required public infrastructure and services are available to serve the development. Existing utilities and public streets are sufficient for the proposed development.

(7) The length of time the property has remained vacant as zoned. The property has been vacant since it was originally zoned C-2 in 1995. The staff has not had any inquiries for commercial development at the site in recent years.

STAFF RECOMMENDATION

The staff recommends approval of the request for a rezoning and Preliminary Development Plan for Northpoint Belton Apartments, as noted in the staff report and shown on the development plan. The recommendation is subject to the following conditions:

1. The Preliminary Development Plan for Northpoint Belton Apartments is hereby approved, as shown on Site Development Plan by Renaissance Infrastructure Consulting, dated 5/22/2020.
2. Building elevations and building perspective drawings for Northpoint Belton Apartments are hereby approved, as shown on plan set by Rosemann & Associates, dated 4/10/2020.

3. The PUD includes exceptions for building height, and the front yard setback.
4. The Final Development Plan shall include architecture and building materials for the clubhouse.
5. Trash enclosures shall be masonry construction to match the buildings with a gate, additional landscaping shall be provided the enclosures.
6. The Final Development Plan shall include details of the proposed carports and surface garages. Exterior materials on the structures shall match the buildings.
7. The trail design shall be revised to address staff comments. The pedestrian trail shall be a 5-foot width, with asphalt surface.
8. The Final Development Plan shall include a final landscape plan sealed by a registered Landscape Architect.
9. The Final Development Plan shall include a photometric plan for parking lot and building lighting.
10. The Final Plat shall include a shared access easement for the south entrance.
11. The Final Development Plan shall include a revised water line to eliminate a dead-end line for fire safety.
12. Retaining walls shall include a safety rail
13. The Final Development Plan shall include a Development Agreement to be executed between the applicant and the City of Belton.

PLANNING COMMISSION ALTERNATIVES

1. Motion to **approve** a rezoning and Preliminary Development Plan for Northpoint Belton Apartments.
2. Motion to **deny** a rezoning and Preliminary Development Plan for Northpoint Belton Apartments.
3. Motion to continue the application for further information.

ATTACHMENTS

1. Preliminary Development Plan-13 pages
2. Exterior elevations/building perspective-4 pages
3. Interior photographs.
4. Area Map.

EXHIBIT B
REZONING
WHORTON FARMS
BELTON PLANNING COMMISSION
MONDAY, JUNE 8, 2020 – 6:00 P.M.
CITY HALL ANNEX BUILDING – 520 MAIN STREET

APPLICATION

Property Owner/Applicant-Christopher P. Whorton and Micah Whorton

Surveyor-Michael J. Huffman

Location-The property is located on the north side of Cambridge Road, approximately 236 feet east of Mullen Road.

Request-The application was filed for a rezoning from the existing A Agricultural Zoning District to a R-1 Single-Family Residential District.

BACKGROUND

The Whorton family owns property on the north side of Cambridge Road, east of Mullen Road, platted and commonly known as Whorton Farms. The property is zoned an A Agricultural District. This zoning classification has a 5-acre minimum lot size. The applicant would like to rezone the property to permit a replat of the existing two lots to allow three lots. This replat would create a third lot for construction of a new home for the Whorton family.

The proposed R-1 zoning district has an 8,400 square foot minimum lot size, or approximately .25 acres. The three proposed lots are described in the related Final Plat application. Lot 1 is 3.78 acres, Lot 2 is 1.63 acres, and Lot 3 is 3.32 acres.

REZONING CRITERIA/FINDINGS OF FACT

The Unified Development Code, Section 20-3, provides certain approval criteria that must be addressed with a rezoning application. These criteria are summarized below, with staff analysis for consideration of the Planning Commission:

(1) The character of the surrounding neighborhood, including the existing uses and zoning classification of properties near the subject property. North of the subject property are single-family residential areas of The Traditions. This area is zoned a R-3 Planned Unit Development, however there is a wide range of lot sizes within the PUD. South of the site is an area zoned A Agricultural but designated as single-family residential on the Future Land Use Map. North along Mullen Road are several other residential neighborhoods, primarily zoned R-1.

(2) Consistency with the goals and objectives of the Comprehensive Plan. The Future Land Use Map of the Comprehensive Plan designates this property as **residential**. The proposed rezoning is consistent with the Future Land Use Map.

(3) Suitability of the subject property for the uses permitted under the existing zoning district. The property is not ideally suited for development with the existing A Agricultural zoning district. The applicants have two single-family homes on the property, and there is sufficient room for an additional lot.

(4) The trend of development near the subject property, including changes that have taken place in the area since the subject property was placed in its current zoning district. The area near the subject property is characterized by residential development and single-family homes. This indicates a trend towards residential development in the area.

(5) The extent to which the zoning amendment may detrimentally affect nearby property. The proposed rezoning will allow a new lot and an additional single-family home that is in character with the two existing homes at Whorton Farms. The rezoning and final plat will not have any detrimental impact on nearby property.

(6) Whether public facilities (infrastructure) and services will be adequate to serve development allowed by the requested zoning map amendment. All required public infrastructure and services are available to serve Whorton Farms. Existing utilities and public streets are sufficient for the area subject to the rezoning.

STAFF RECOMMENDATION

The staff recommends approval of the request for a rezoning from A Agricultural to an R-1 Single-Family Residence District for Whorton Farms. The recommendation is subject to the following conditions:

1. The rezoning for Whorton Farms is hereby approved, in order to implement the Final Plat prepared by Michael J. Huffman, dated 5/01/20.

PLANNING COMMISSION ALTERNATIVES

1. Motion to **approve** a rezoning for Whorton Farms.
2. Motion to **deny** a rezoning for Whorton Farms.
3. Motion to continue the application for further information.

ATTACHMENTS

1. Final Plat-Whorton Farms
2. Area Map.

EXHIBIT C
FINAL PLAT
REPLAT OF WHORTON FARMS
BELTON PLANNING COMMISSION
MONDAY, JUNE 8, 2020 – 6:00 P.M.
CITY HALL ANNEX BUILDING – 520 MAIN STREET

CASE #FP20-02

Property Owner-Christopher P. Whorton

Surveyor-Michael J. Huffman

Location- The property is located on the north side of Cambridge Road, just east of Mullen Road.

Request-The application was filed for approval of a Final Plat for the Replat of Whorton Farms.

BACKGROUND

Whorton Farms is an existing subdivision on the north side of Cambridge Road, just east of Mullen Road. The subdivision consists of **two lots** and has a total land area of 8.73 acres. There are two single-family homes on the lots, owned and occupied by the Whorton family. The replat application was filed to create a **three-lot** subdivision, and results in the following lot sizes:

Lot 1-3.78 acres
Lot 2-1.63 acres
Lot 3-3.32 acres

A related rezoning application was filed along with the Replat. This application seeks to rezone the property from the existing A Agricultural District, to a R-1 Single-Family Residence District.

The existing A Agricultural District requires a 5-acre minimum lot size. The proposed replat could not be processed with the existing A zoning, so the rezoning was necessary to provide an appropriate zoning classification for the new lot sizes. The proposed lots exceed the 8,400 square foot minimum lot size of the R-1 District.

PROPOSED FINAL PLAT

The Final Plat meets all requirements of the Unified Development Code (UDC).

Access/Streets-No new right-of-way is dedicated with the final plat. The new Lot 2 will require driveway access to Cambridge Road. This will be reviewed and approved with the building permit application.

Easements-The final plat includes appropriate language for public utility easements.

General Plat Information-The plat includes all required general information including the legal description, lot numbers and dimensions, right-of-way designation, signature certificates, and surveyor credentials.

STAFF RECOMMENDATION

The staff recommends approval of the application for the Replat of Whorton Farms. The plat meets all final plat requirements of Section 36.35 of Unified Development Code.

The recommendation is subject to the following conditions:

1. The final plat for the Replat of Whorton Farms, dated May 1, 2020, by Michael J. Huffman is approved as submitted.
2. The final plat shall be recorded within one year of City Council approval or the approval of the plat shall be considered null and void.

PLANNING COMMISSION ALTERNATIVES

1. Motion to **approve** a Final Plat for the Replat of Whorton Farms.
2. Motion to **deny** a Final Plat for the Replat of Whorton Farms.
3. Motion to continue the application pending additional information.

ATTACHMENTS

1. Final Plat-Replat of Whorton Farms
2. Location Map

SECTION IV.
FINAL DEVELOPMENT PLAN – SOUTHVIEW
COMMERCE CENTER, BUILDING 3

**FINAL DEVELOPMENT PLAN
SOUTHVIEW COMMERCE CENTER-BUILDING 3
BELTON PLANNING COMMISSION
MONDAY, JULY 6, 2020 – 6:00 P.M.
CITY HALL ANNEX BUILDING – 520 MAIN STREET**

APPLICATION

Property Owner-NP Southview Industrial, LLC./Brett Gross

Architect/Engineer-Studio North Architecture/Olsson Associates, Nick Heiser

Location-The property is located on South Outer Road, just north of 162nd Street.

Request-The application was filed for approval of a **Final Development Plan** for Southview Commerce Center, Building 3.

BACKGROUND

The rezoning and preliminary plan for Southview Commerce Center was approved by the City Council in June of 2018 after the Planning Commission public hearing of May 21, 2018. The rezoning and preliminary plan were approved with conditions.

The preliminary plan is a part of the rezoning of the property to the FCI Flex Commercial/Industrial zoning district of the North Scott Corridor Overlay District + Guidelines (NSCOD). The preliminary plan provided five lots and five buildings of various sizes designated for development in the Southview Commerce Center by NorthPoint Development.

The final plan for Building 1 was reviewed and approved by the Planning Commission on October 15, 2018. Building 2 was reviewed by the Planning Commission on April 22, 2019. This included a revision to the preliminary plan, changing the location of Building 2 to an east/west configuration. This change resulting in loading areas being relocated so they did not face the homes on Allen Street, east of the building.

This Final Development Plan application is for Building 3, north of 160th Street. The request includes a revision to the preliminary plan. The original preliminary plan included three individual buildings north of 162nd Street. These buildings were all oriented in a north/south fashion, with building 5 having loading areas facing east, oriented toward the homes on Allen Street.

The revised plan combines buildings 3, 4 and 5 into one building. The new Building 3 is 796,000 square foot cross-dock building, with an expansion area of 215,760 square feet on the 60.36-acre lot. The floor area of Building 3 is equal to the original floor area of buildings 3, 4 and 5. Building 3 is also oriented in an east/west fashion, similar to Building 2 with no loading areas facing east.

Combining buildings 3, 4 and 5 into the proposed Building 3, and changing the orientation of the building is a minor change to the preliminary plan, and permitted by the Unified Development Ordinance.

Building 3 will be occupied by a single tenant, the user has yet to be announced.

The applicant has provided the attached narrative to provide additional details about the request and summarizing the request.

PROPOSED FINAL PLAN

The Final Development Plan is consistent with the Preliminary Development Plan as revised, and meets the requirements of the plan as approved by the City Council. The summary below includes compliance with all conditions of the final ordinance approved by the City Council.

Building Design Criteria:

- a. **Materials**-The building will be constructed with concrete panels produced on site, and finished with cement based acrylic coating. This material is defined as a Class 2 Material (High Quality) in the *NSCOD*. An additional Class 1 material of transparent glass in anodized aluminum frames is prominent on the west elevation, facing I-49.
- b. **Façade articulation**-Vertical reveals for articulation in the concrete panels are located every 25 feet. Additionally, there are projections in the wall planes of at least two feet in depth at the main entrance. The long east and west elevations include two-foot projection for additional articulation.
- c. **Massing and proportion**-The main entrance in the west elevation has the appearance of a two-story feature by using transparent glass and insulated glass. This design feature is also included at the north and south portions of the west wall. This ground floor/entrance is visually differentiated with a recessed glass entryway. The upper portions include a 4-inch crown molding at the roof line to distinguish the top line of the elevation.

These architectural features and materials meet the guidelines of the *NSCOD*.

Open Space-The final plan provides 28 percent open space. This figure includes the future expansion space. The *NSCOD* requires a minimum of 20 percent open space.

Parking-There are 646 parking spaces provided for Building 3. During discussions of the rezoning and preliminary plan, NorthPoint presented information based on their development and leasing experience that parking is better provided at a rate of .67 jobs per 1000 square feet. The Planning Commission approved the preliminary plan with this parking justification. The proposed parking approximates this ratio.

Landscaping-A final landscape plan was submitted with the Final Development Plan application. The plan meets all requirements of the Unified Development Code for street trees, on-lot landscaping, and parking lot landscaping. The features a berm along the north and east property line. There are sections of 6-foot board-on-board fence that have been added for additional screening. Plantings along the length of the berm include skyrocket junipers, Serbian spruce, and white pines trees planted at a 6-foot height. These tree plantings are supplemented by smaller white oaks, burr oaks, little leaf lindens and shrubs to provide a well-designed screening element.

Additionally, the applicant prepared a line of sight drawing "B-B" that depicts view lines from the single-family homes on Allen Street east of Building 3. This drawing indicates that the northern part of the building will not be readily visible. The structure at full build-out will be 357 feet from the rear property line of homes on Allen Street. Again, there are no overhead doors or semi-trailer parking in this area.

Traffic/access-Employee access/parking for Building 3 will be with from the outer road of I-49. Truck access will also be from the outer road, and from 160th Street, on the south side of the building.

A Traffic Study was submitted for a determination of driveway locations and turning movements. The traffic study utilized projected trip generation figures. The traffic study should be revised to reflect the actual number of employees projected by the tenant and a better evaluation of employee arrival times. This revision may impact automobile stacking and sight distance at the driveways.

Utilities-The final plan includes a utility plan for water and sanitary sewer to serve the site. Staff has reviewed the utility plan and determined that the plan provides adequate public facilities. Sanitary sewer will be treated by the Little Blue Valley sewer district.

Detention- A Preliminary and Supplemental Stormwater Management Study was submitted with the application. The overall site plan for Southview Commerce Center proposes two large interconnected detention basins on the east side of the property and a smaller detention basin on the northwest corner of the property. The proposed basins meet comprehensive detention for the 2-year, 10-year, and 100-year storm in accordance with City regulations.

Multi-Use Trail-The final plan includes an 8-foot multi-use asphalt trail around the site that is part of the overall trail design for Southview Commerce Center. The trail is on private property and will be maintained by the property owner. There are direct connections to the trail from the building.

Site/Building Lighting-A photometric site lighting plan was submitted with the application. The plan indicates zero-foot candles at the property line meeting the parking lot and building lighting standards of the Unified Development Code.

STAFF RECOMMENDATION

The staff recommends approval of the application for a Final Development Plan for Southview Commerce Center Building 3, as the final development plan is consistent with the preliminary plan submitted with the rezoning application, as revised.

The recommendation is subject to the following conditions:

1. The Final Development Plan for the Southview Commerce Center Building 3 is approved as shown on plans by Olsson Associates, dated 6/24/2020.
2. The Final Development Plan includes approval of elevation drawings by Studio North Architecture dated 5/15/2020.
3. Submit a revised traffic study prior to issuance of the building permit. The revised traffic study shall include the projected number of employees in Building 3 and their work arrival times in order to better analyze traffic stacking and sight distance.

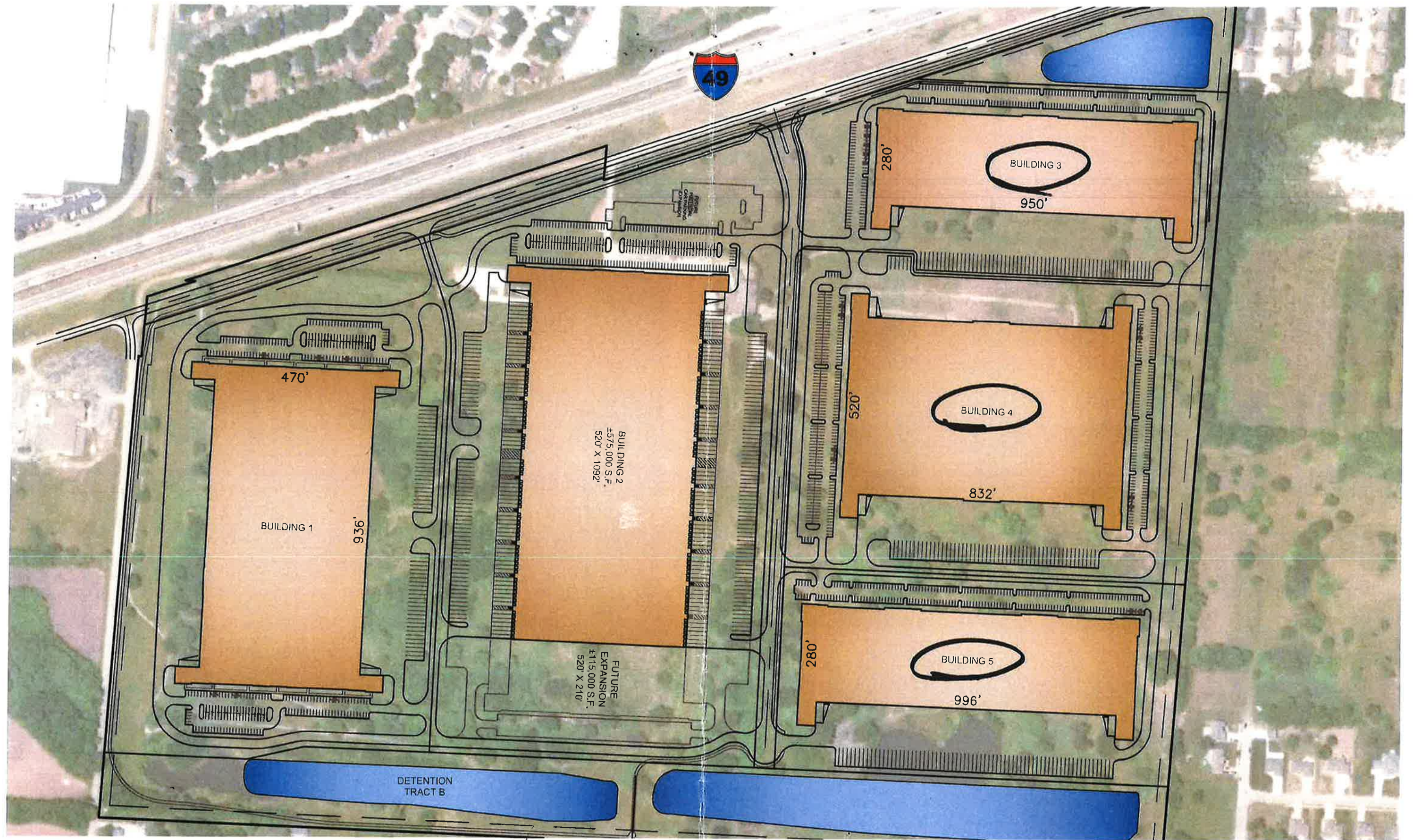
4. Submit an overall landscape maintenance program for on-going and perpetual maintenance of all open space at Southview Commerce Center, including detention areas, berms, trees and shrubs, landscaping and turf areas.

PLANNING COMMISSION ALTERNATIVES

1. Motion to **approve** a Final Development Plan for Southview Commerce Center Building 3.
2. Motion to **deny** a Final Development Plan for Southview Commerce Center Building 3.
3. Motion to continue the application pending additional information.

ATTACHMENTS

1. Current Preliminary Plan (w/buildings 3, 4, and 5)
2. Proposed Revised Preliminary (w/building 3)
3. Southview Commerce Center Final Development Plan Building 3-Olsson Associates, 6/24/20 (14-page plan set)
4. Revised Preliminary Plan by Olsson Associates (3-page, including line of sight drawing).
5. Applicants narrative.



CURRENT PRELIMINARY

SOUTHVIEW COMMERCE CENTER • CONCEPT SITE PLAN D7 • 2019.11.13 • 1" = 250'000





SOUTHVIEW COMMERCE CENTER
3RD PLAT
FINAL DEVELOPMENT PLANS

SECTION 01, TOWNSHIP 46, RANGE 33
IN BELTON, CASS COUNTY, MO

PROJECT TEAM CONTACT LIST	
OWNER	NP SOUTHVIEW INDUSTRIAL LLC 4825 NW 41ST STREET, SUITE 500 RIVERSIDE, MO 64150
APPLICANT	NORTHPOINT DEVELOPMENT 4825 NW 41ST STREET, SUITE 500 RIVERSIDE, MO 64150 CONTACT: BRETT GROSS PHONE: 816.888.7390 EMAIL: BRETT.GROSS@NORTHPOINTKC.COM
ENGINEER	OLSSON 1301 BURLINGTON SUITE 100 NORTH KANSAS CITY, MO 64116 CONTACT: NICHOLAS HEISER PHONE: 816.361.1177



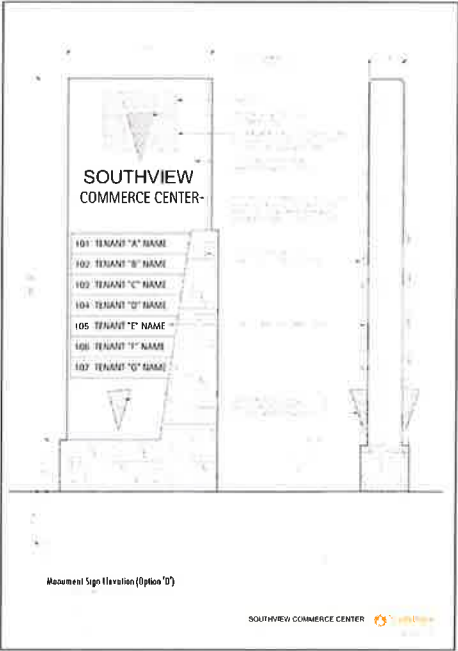
Sheet List Table	
Sheet Title	Sheet Number
TITLE SHEET	C100
EXISTING CONDITIONS	C200
GENERAL LAYOUT PLAN	C300
SITE PLAN	C301
SITE PLAN	C302
UTILITY PLAN	C400
UTILITY PLAN	C401
GRADING PLAN	C500
GRADING PLAN	C501
LANDSCAPE PLAN	L100
LANDSCAPE PLAN	L101
BUILDING ELEVATIONS	A4.01-A4.02
BUILDING FLOOR PLAN	A1.00
PHOTOMETRIC PLAN	1-2

PROPERTY DESCRIPTION:

All of Tract C, SOUTHVIEW COMMERCE CENTER SOUTH 2ND PLAT, a subdivision of land in the Northwest and Southwest Quarter of Section 1, Township 46 North, Range 33 West of the 6th Principal Meridian in Belton, Cass County, Missouri, as recorded as Instrument Number 881708 in Book 24 of Page 23 in Cass County Recorder of Deeds Office and also part of land in said Northwest and Southwest Quarter being bounded and described by or under the direct supervision of Jason S. Roudsbock, P.L.S. 2002014082 as follows: Commencing at the Northeast corner of said Northwest Quarter also being the Northwest corner of OAKWOOD ADDITION (LOTS 114 THRU 148) a subdivision in said Belton, recorded as Instrument Number 82438 in Plat Book 2, at Page 63 in Cass County Recorder of Deeds Office, thence South 02°29'12" West, on the East line of Lots 81 thru 83, SUNSET HILL ADDITION, a subdivision in said Belton, recorded as Instrument Number 88883 in Plat Book 2, at Page 84 in said Cass County Recorder of Deeds Office, also being the Existing East right-of-way line of 15th Street and East line of Lot 73, SUNSET HILL 2ND PLAT, a subdivision in said Belton, recorded as File Number 318631 in Plat Book 20019, at Page 0019, in said Cass County Recorder of Deeds Office, a distance of 1,216.07 feet to the Southeast corner of said Lot 73, also being the Northeast corner of Tract B, or said SOUTHVIEW COMMERCE CENTER SOUTH 2ND PLAT, thence North 85°28'47" West, along the South line of said SUNSET HILLS 2ND PLAT, also being the North line of said Tract B, 234.59 feet to the Northwest corner of said Tract B, also being the Point of Beginning of the tract of land to be herein described, thence bearing said South line, South 02°23'29" West, along the West line of said Tract B, 1,200.31 feet to the Northwest corner of Lot 2 of said SOUTHVIEW COMMERCE CENTER SOUTH 2ND PLAT; thence bearing said West line, North 87°38'31" West, along the Northern line of said Lot 2, a distance of 5.00 feet to a point on the existing Northern right-of-way line of E 160th Street as established by said SOUTHVIEW COMMERCE CENTER SOUTH 2ND PLAT, thence Northwesterly, along said Existing Northern right-of-way line, along a curve to the left having an initial tangent bearing of North 02°23'29" East with a radius of 80.00 feet, a central angle of 133°21'56" and an arc distance of 139.06 feet, thence Westerly, along said Existing Northern right-of-way line, along a curve to the right having a common tangent with the last described course with a radius of 50.00 feet, a central angle of 43°22'38" and an arc distance of 37.83 feet, thence North 87°37'50" West, along said Existing Northern right-of-way line, 1,212.68 feet, thence Westerly, along said Existing Northern right-of-way line, along a curve to the left being tangent to the last described course with a radius of 340.00 feet, a central angle of 20°24'38" and an arc distance of 206.81 feet, thence South 71°51'28" West, along said Existing Northern right-of-way line, 14.71 feet, thence Westerly, along said Existing Northern right-of-way line, along a curve to the right being tangent to the last described course with a radius of 485.00 feet, a central angle of 03°56'11" and an arc distance of 84.11 feet, thence Westerly, along said Existing Northern right-of-way line, along a curve to the left having a common tangent with the last described course with a radius of 515.00 feet, a central angle of 03°56'11" and an arc distance of 85.31 feet, thence South 71°51'28" West, along said Existing Northern right-of-way line, 48.00 feet, thence North 62°03'32" West, along said Existing Northern right-of-way line, 60.64 feet to a point on the Existing Eastern right-of-way line U.S. Highway 71, as now established, thence North 18°02'32" West, along said Existing Eastern right-of-way line, 413.08 feet to the Southern most point of said Tract C, thence continuing North 18°02'32" West along said Existing Eastern right-of-way line, also being the Westerly line of said Tract C, 285.91 feet, thence Northerly along said Existing Eastern right-of-way line and said Westerly line, along a curve to the right, being tangent with the last described course, having a radius of 1,066.00 feet, a central angle of 16°00'00" and an arc distance of 344.32 feet, thence North 00°02'32" West along said Existing Eastern right-of-way line and said Westerly line, 63.01 feet to the Northwest corner of said Tract C, also being a point on said South line of GRAND HILL ADDITION, a subdivision in said Belton, recorded as Instrument Number 19667 in Book 3 at Page 40 in said Cass County Recorder of Deeds Office, thence South 85°28'47" East along said South line and North line of said Tract C, 275.07 feet to the Northeast corner of said Tract C, thence South 85°28'47" East along said South line, and its Eastern extension, also being the South line of SUNSET HILL ADDITION, also being the South line of said SUNSET HILL ADDITION 2ND PLAT, 2,044.87 feet to the Point of Beginning. Containing 2,028,470 square feet or 60.35 acres, more or less.

SITE (Item)	PHASING	EXISTING ZONING	GROSS AREA (AC.)	PROPOSED STREET R/W (AC.)	NET AREA (AC.)	OPEN SPACE (FS)	LAND USE DESCRIPTION	NUMBER OF FLOORS	BUILDING COVERAGE (SF)	BUILDING COVERAGE (PS)	PARKING SPACES*		ADA SPACES	
											RATIO	TOTAL REQUIRED	PROVIDED	TOTAL REQUIRED
LOT 3	PHASE 3	FC	56.54	0.00	56.54	27.18	Warehouse/Commercial	1	296,000	32.32	1 per 1000 SF	296	646	13
LOT 3 (BLDG EXT.)	FUTURE	FC				28.40	Warehouse/Commercial	1	215,760	8.76				
TRACT D	PHASE 3	FC	3.83	0.00	3.83	05.50	Detention							
TOTAL			60.36	0.00	60.36	58.38			1,011,760	38.48		296	646	13

* ADA Parking counts included in total.



olsson



06/23/2020
NICHOLAS HEISER, P.E.
MOR 2011000319

REVISIONS DESCRIPTION

NOV 1 2020

NOV 1 2020

TITLE SHEET
FINAL DEVELOPMENT PLANS

SOUTHVIEW COMMERCE CENTER
3RD PLAT

SHEET
C100



GENERAL

A ACU AIR CONDITIONING UNIT
▲ AST ARROW STRAIGHT
▲ ATL ARROW TURN LEFT
▲ ATR ARROW TURN RIGHT
B BLB BILLBOARD
B BOV BLOW OFF VALVE
○ BSH BUSH
○ COL COLUMN
○ CTR CONIFEROUS TREE
○ DRA DRAIN GRATE
○ DTR DECIDUOUS TREE
○ FLP FLAG POLE
○ GQP GUARD POST
○ GPL GUY POLE
○ HST HEARSE TRAP
— DUY GUY WIRE
▲ HCP ACCESSABLE PARKING MARKER
○ LST LIFT STATION
○ MLB MAILBOX
○ MP POST MARKER
○ MWL MONITORING WELL
○ PIV POST INDICATOR VALVE
○ PPT PROPANE TANK
○ RAT RADAR TOWER
▲ SDO SATELLITE
N SPR SPRINKLER CONTROL VALVE
— SVN SIGN
○ SLB STREET LIGHT BOX
○ SLC STREET LIGHT CABINET
○ SPB SPRINKLER BOX
○ SPH SPRINKLER HEAD
▲ STP STUMP
X SVL SEWER VALVE
○ TCB TRAFFIC CONTROL BOX
— TSC TRAFFIC SIGNAL WITH MAST ARM
○ TSC TRAFFIC SIGNAL CABINET
— TSM TRAFFIC SIGNAL MANHOLE
○ TSP TRAFFIC SIGNAL POLE
— EXISTING TREELINE
— EXISTING SIDEWALK
— EXISTING BUILDINGS
— EXISTING EDGE OF PAVEMENT
— EXISTING ROADWAY CENTER LINE
— EXISTING CURB & GUTTER
R RADIUS
L ARC DISTANCE
D DELTA / CENTRAL ANGLE

EASEMENTS & SETBACKS

A.E. ACCESS EASEMENT
B.M.P. BEST MANAGEMENT PRACTICE EASEMENT
B.L. BUILDING SETBACK
C.V.E. CABLE TV EASEMENT
C.F. CONSERVATION EASEMENT
C.G.E. CONSTRUCTION GRADING EASEMENT
F.P.E. FLOOD PLAIN EASEMENT
F.O.E. FIBER OPTIC EASEMENT
P.F.S.E. FIRE PROTECTION SYSTEM EASEMENT
F.L.E. FUEL LINE EASEMENT
L.S.E. LANDSCAPE EASEMENT
G.E. NATURAL GAS EASEMENT
T.E. TELEPHONE EASEMENT
P.E. POWER/ELECTRIC EASEMENT
P.S. PARKING SETBACK
S.B. STREAM BUFFER
S.D.E. SURFACE DRAINAGE EASEMENT

2001 **UST** UST EIGHT EASEMENT
S.E. SANITARY SEWER EASEMENT
S.L.E. STEAM LINE EASEMENT
D.E. DRAINAGE EASEMENT
S.W.M.E. STORM WATER MANAGEMENT EASEMENT
F.C.D.S.E. TEMPORARY CUL-DE-SAC EASEMENT
TEMP. ESM. TEMPORARY EASEMENT
TRIAL ESM. TRAIL PATH EASEMENT
U.E. UTILITY EASEMENT
W.E. WATER EASEMENT
F.Y.S. FRONT YARD SETBACK
R.Y.S. REAR YARD SETBACK
S.Y.S. SIDE YARD SETBACK

UTILITIES

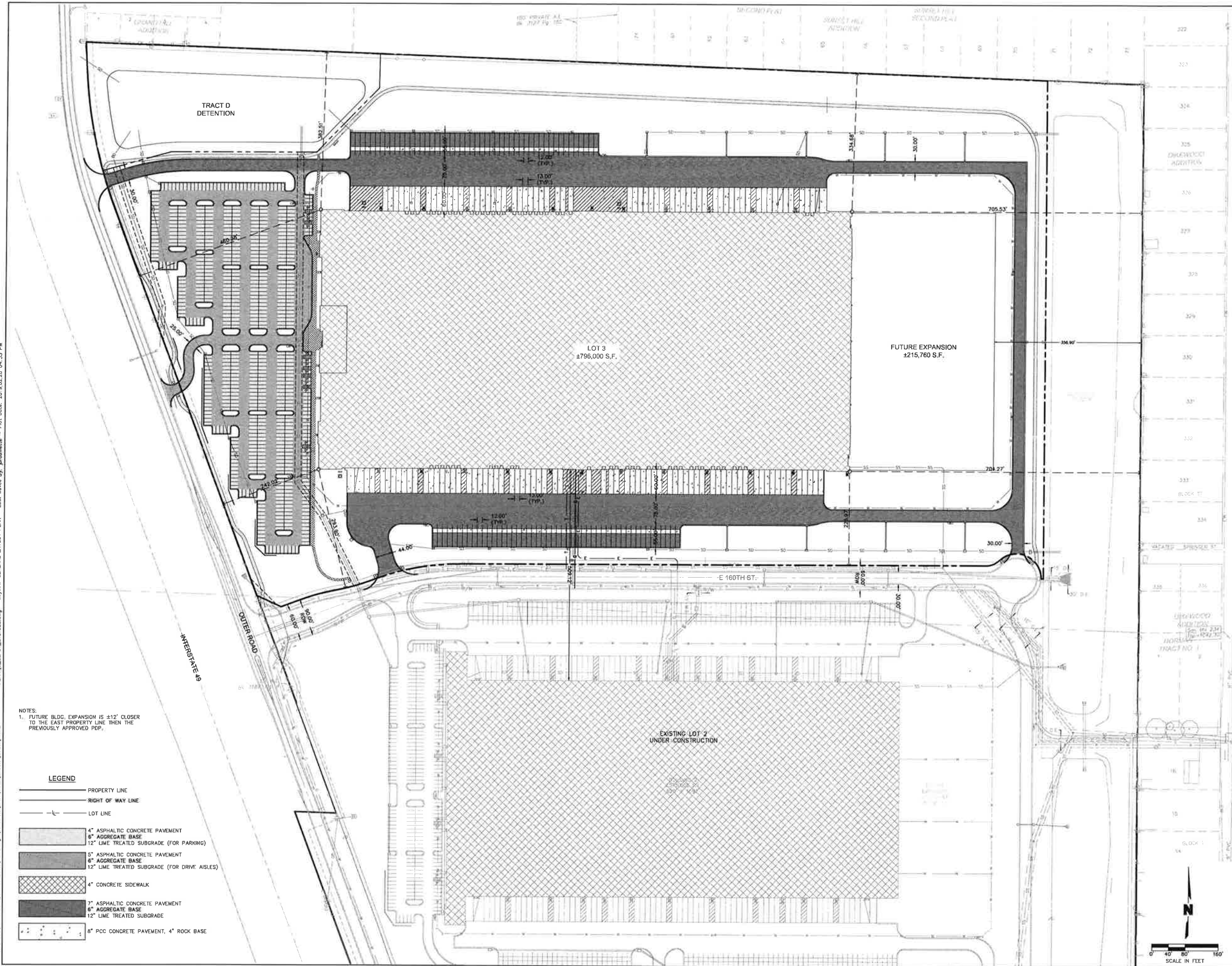
□ CAB CABLE BOX
□ CAV CABLE VAULT
□ TVP TELEVISION PEDESTAL
□ TVR TELEVISION RISER
□ EXH EXISTING CABLE TV, OVERHEAD
□ EXH EXISTING CABLE TV, UNDERGROUND
□ FOM FIBER OPTIC BOX
□ FOM FIBER OPTIC MANHOLE
□ FOP FIBER OPTIC PEDESTAL
□ FOP FIBER OPTIC VAULT
□ EXH EXISTING FIBER OPTIC, OVERHEAD
□ EXH EXISTING FIBER OPTIC, UNDERGROUND
□ FDC FIRE DEPT. CONNECTION
□ EXH EXISTING FIRE PROTECTION SYSTEM LINE
□ EXH EXISTING FUEL LINE
□ GAS GAS RISER
□ GMP GAS MANHOLE
□ GMP GAS MARKER
□ GMP GAS METER
□ GRG GAS REGULATOR
X VAL GAS VALVE
— EXISTING NATURAL GAS LINE
□ TCB TELEPHONE CABINET
□ TEP TELEPHONE PEDESTAL
□ TER TELEPHONE RISER
□ TEV TELEPHONE VAULT
□ TMH TELEPHONE MANHOLE
□ EXH EXISTING TELEPHONE LINE, OVERHEAD
□ EXH EXISTING TELEPHONE LINE, UNDERGROUND
○ GLT GROUND LIGHT
○ LTP LIGHT POLE
○ PMP POWER POLE
□ TRF ELECTRIC TRANSFORMER
□ EXH EXISTING ELECTRIC BOX
□ ELR ELECTRIC RISER
□ EMH ELECTRIC MANHOLE
□ EMT ELECTRIC METER
□ CSC ELECTRIC SCHEMATICIZER
□ EXH ELECTRIC VAULT
○ YDL YARD LIGHT
□ EXH EXISTING POWER/ELECTRIC LINE, OVERHEAD
□ EXH EXISTING POWER/ELECTRIC LINE, UNDERGROUND
○ SDO SEWER CLEANDOUT
○ SMH SANITARY MANHOLE
— EXISTING SANITARY SEWER
— EXISTING SEWER
○ SMH STORM SEWER MANHOLE
□ CES FLAMED END SECTION
○ RON RAIN DRAIN
— EXISTING STORM SEWER
○ FH FIRE HYDRANT
□ WMH WATER MANHOLE
□ WMT WATER METER
X WVL WATER VALVE
— EXISTING WATER LINE

[illegible]

File: A:\2018\1001-1500\018-1020-c\10-4\design\AutoCAD\plan\plans\Sheet\GNCA\FINAL DEVELOPMENT PLAN\NC_CDP01_C181020.dwg ~ Layout: GENERAL LAYOUT PLAN ~ Last Saved By: jroulette ~ Plot Date: 2019.02.20 04:53 PM

NOTES:
1. FUTURE BLDG. EXPANSION IS ±12' CLOSER TO THE EAST PROPERTY LINE THEN THE PREVIOUSLY APPROVED POP.

- LEGEND**
- PROPERTY LINE
 - RIGHT OF WAY LINE
 - LOT LINE
 - 4" ASPHALTIC CONCRETE PAVEMENT
6" AGGREGATE BASE
12" LIME TREATED SUBGRADE (FOR PARKING)
 - 5" ASPHALTIC CONCRETE PAVEMENT
6" AGGREGATE BASE
12" LIME TREATED SUBGRADE (FOR DRIVE AISLES)
 - 4" CONCRETE SIDEWALK
 - 7" ASPHALTIC CONCRETE PAVEMENT
6" AGGREGATE BASE
12" LIME TREATED SUBGRADE
 - 8" PCC CONCRETE PAVEMENT, 4" ROCK BASE



olsson



06/23/2020
NICHOLAS HEISER, P.E.
MCH 2015300055

REVISIONS DESCRIPTION

NO. DATE
1 2020.04.24

GENERAL LAYOUT PLAN
FINAL DEVELOPMENT PLANS
SOUTHVIEW COMMERCE CENTER
3RD PLAT
BELTON, MO

Drawn by: jroulette
Checked by: jroulette
Designed by: jroulette
DWG by: jroulette
Project no: C181020
Date: 2020.05.28

SHEET
C300

REVISIONS

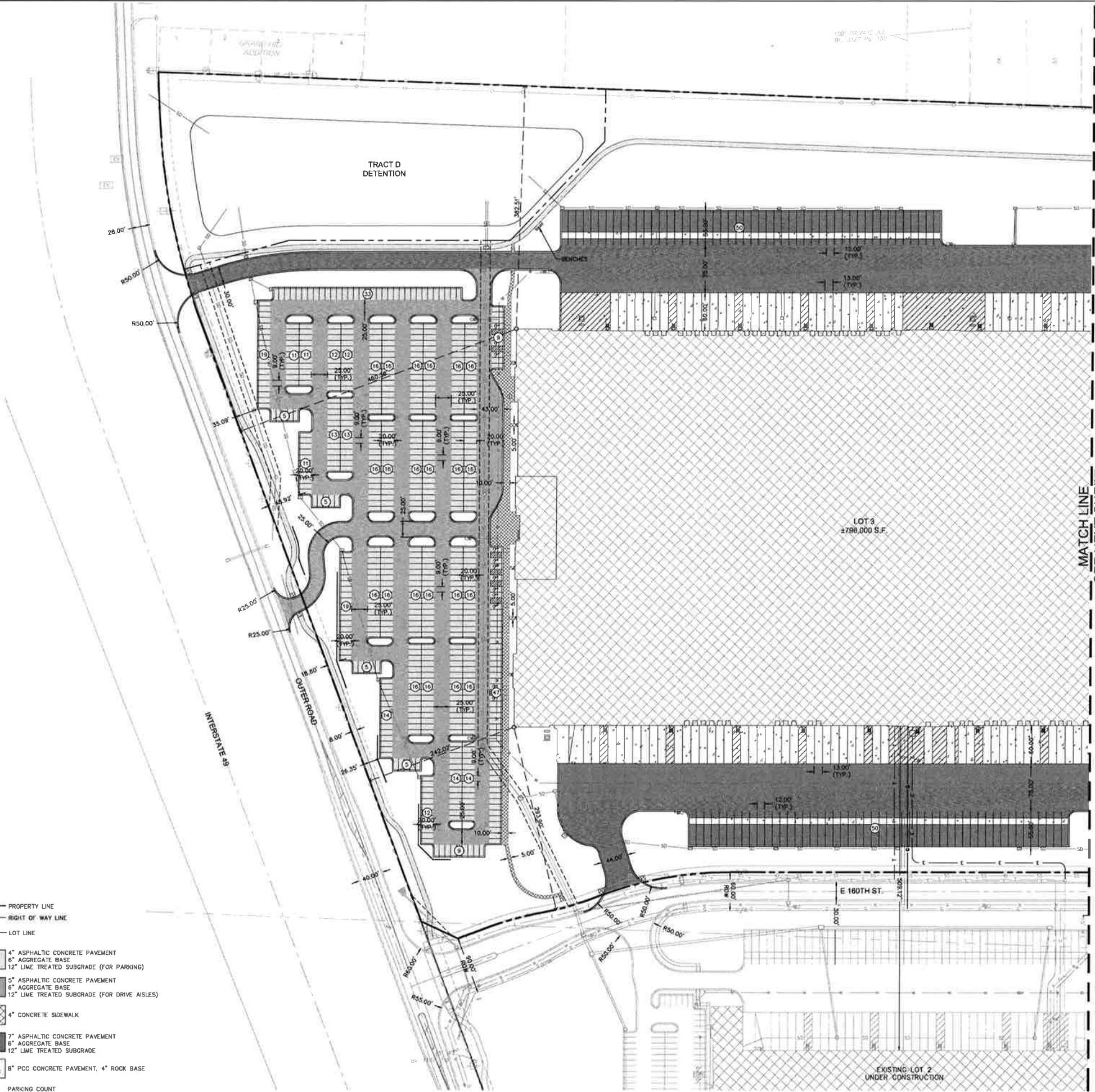
2020

2020









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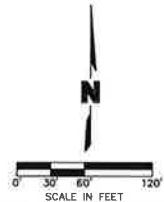
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- LEGEND**
- PROPERTY LINE
 - RIGHT OF WAY LINE
 - LOT LINE
 - 4" ASPHALTIC CONCRETE PAVEMENT
6" AGGREGATE BASE
12" LIME TREATED SUBGRADE (FOR PARKING)
 - 5" ASPHALTIC CONCRETE PAVEMENT
8" AGGREGATE BASE
12" LIME TREATED SUBGRADE (FOR DRIVE AISLES)
 - 4" CONCRETE SIDEWALK
 - 7" ASPHALTIC CONCRETE PAVEMENT
6" AGGREGATE BASE
12" LIME TREATED SUBGRADE
 - 8" PCC CONCRETE PAVEMENT, 4" ROCK BASE
 - PARKING COUNT

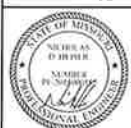


SHEET C301	drawn by _____		2020-05-28
	checked by _____		2020-05-28
	designed by _____		2020-05-28
	checked by _____		2020-05-28
	project by _____		2020-05-28
	date _____		2020-05-28
	SITE PLAN		
	FINAL DEVELOPMENT PLANS		
	SOUTHVIEW COMMERCE CENTER		
	3RD PLAT		
BELTON, MO		2020	
REVISIONS			
REVISIONS DESCRIPTION			
NO.	REV.	DATE	REVISIONS/CLIENT COMMENTS
1		2020-05-28	

	PROPERTY LINE
	RIGHT OF WAY LINE
	LOT LINE
	4" ASPHALTIC CONCRETE PAVEMENT 6" AGGREGATE BASE 12" LIME TREATED SUBGRADE (FOR PARKING)
	5" ASPHALTIC CONCRETE PAVEMENT 6" AGGREGATE BASE 12" LIME TREATED SUBGRADE (FOR DRIVE, AISLES)
	4" CONCRETE SIDEWALK
	7" ASPHALTIC CONCRETE PAVEMENT 6" AGGREGATE BASE 12" LIME TREATED SUBGRADE
	8" PCC CONCRETE PAVEMENT, 4" ROCK BASE

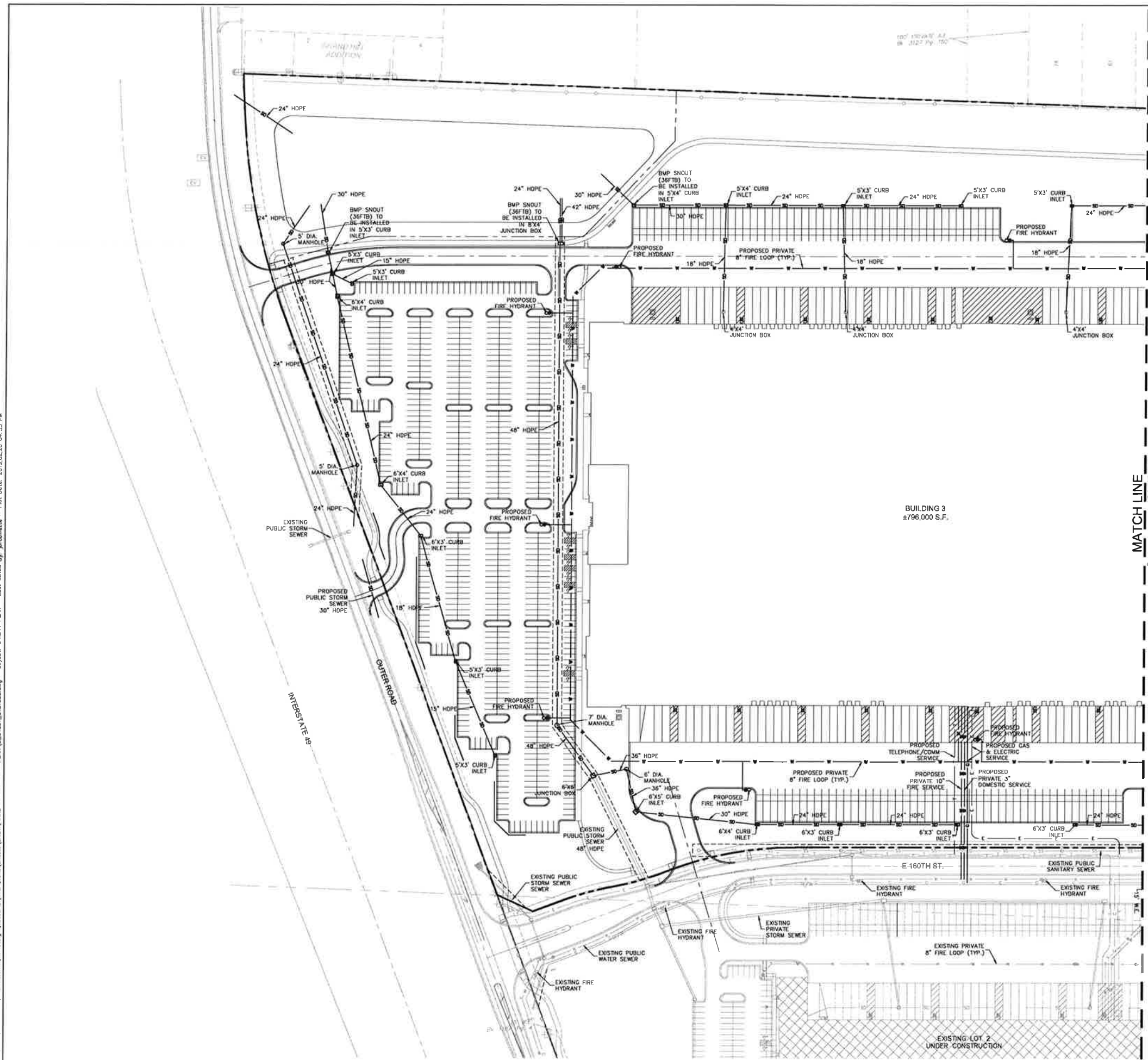


olsson



05/23/2020
NICHOLAS HEISER, P.F.
MOM 7013300555

SHEET C302	SITE PLAN (2) FINAL DEVELOPMENT PLANS		NO. 1 DATE 2/28/2020	REVISIONS REVISION DESCRIPTION
	SOUTHVIEW COMMERCE CENTER 3RD PLAT			
BELT'ON, MO			2020	



MATCH LINE
SEE NEXT SHEET



olsson

OLSSON - CIVIL ENGINEERING
AND CERTIFICATE OF AUTHORITY # 001592
1301 BURLINGTON SUITE 100



05/23/202
NICHOLAS HEISER, P.E.
MO# 2615301555

[illegible][illegible]

100 COMMENTS

	DATE	REPORTING DATE
	2020-06-28	

	NO.	REV.
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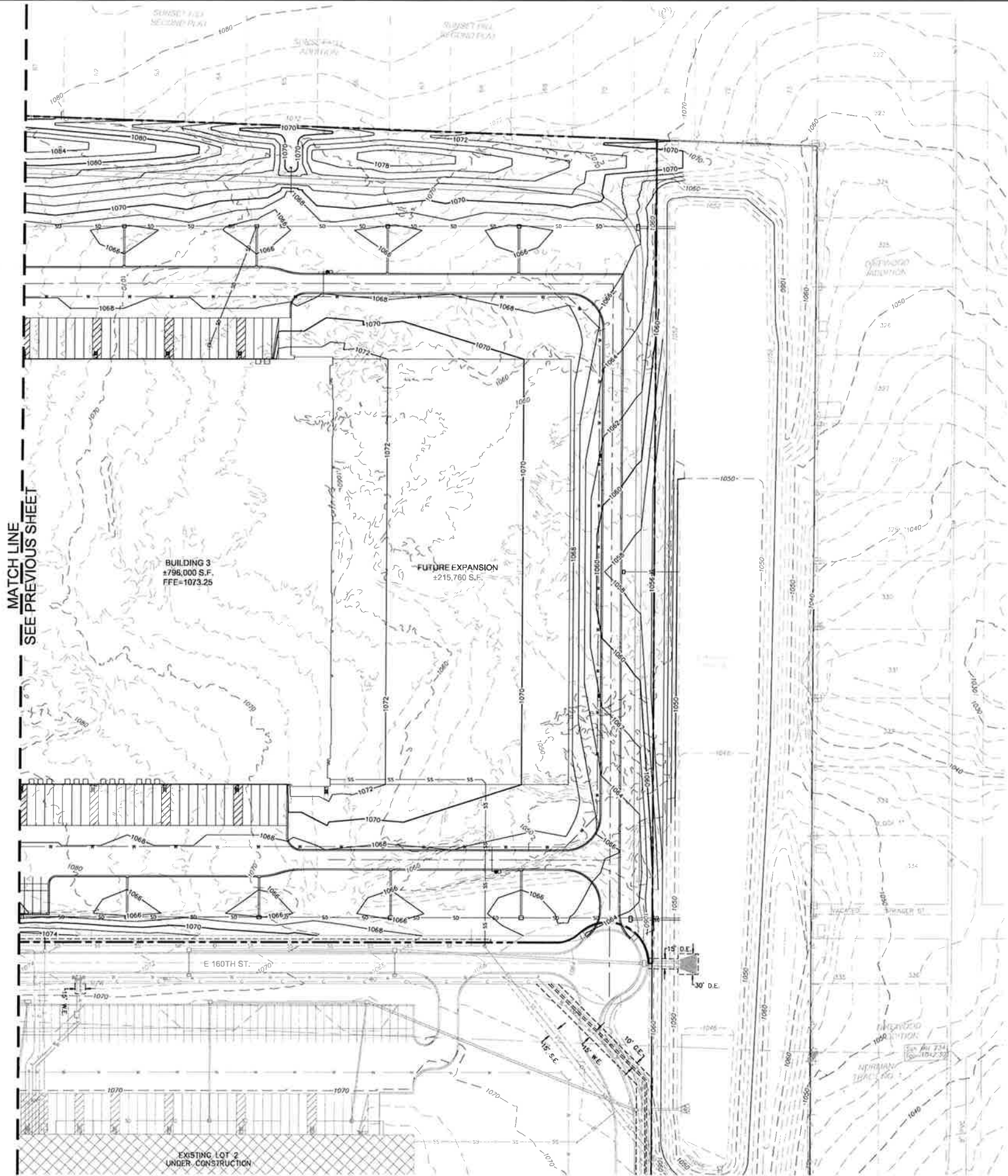
COMMERCIAL CENTER
DEVELOPMENT PLANS

UTIL
FINAL DEVEL
SOUTHVIEW CC
3R
H. MO

drawn by	_____	JB
checked by	_____	AGS
designed by	_____	MSD
QA/QC by	_____	ENG
project no.	_____	ENG-1077

SHEET
C400

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LEGEND	
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100	EXISTING INTERMEDIATE CONTOURS
-100-	PROPOSED INDEX CONTOURS
100	PROPOSED INTERMEDIATE CONTOURS
-100-	FUTURE INDEX CONTOURS
100	FUTURE INTERMEDIATE CONTOURS



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REVISIONS	
NO.	DATE
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REVISION DESCRIPTION	
REVISED IN CITY COMMENTS	
GRADING PLAN	
FINAL DEVELOPMENT PLANS	
SOUTHVIEW COMMERCE CENTER	
3RD PLAT	
BELTON, MO	
2020	
SHEET C501	



olsson

OLSSON, CHR. CHIEFSWEDS
AND CERTIFICATE OF AUTHORITY # 031090
30915 E. PARADISE BLVD. SUITE 100
DENVER, CO 80231
TEL: 303.754.1177
FAX: 303.754.1178

06 23 2020

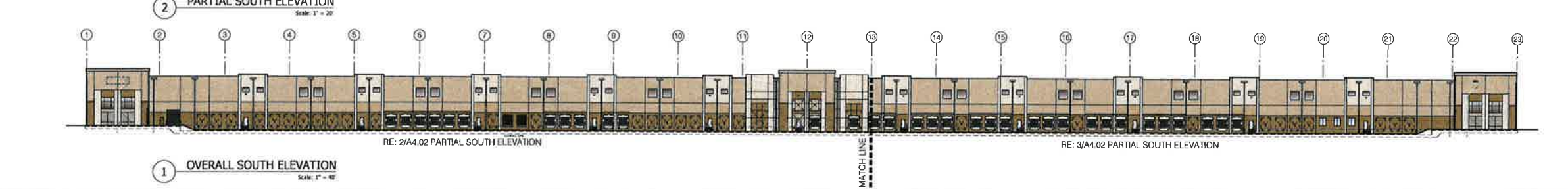
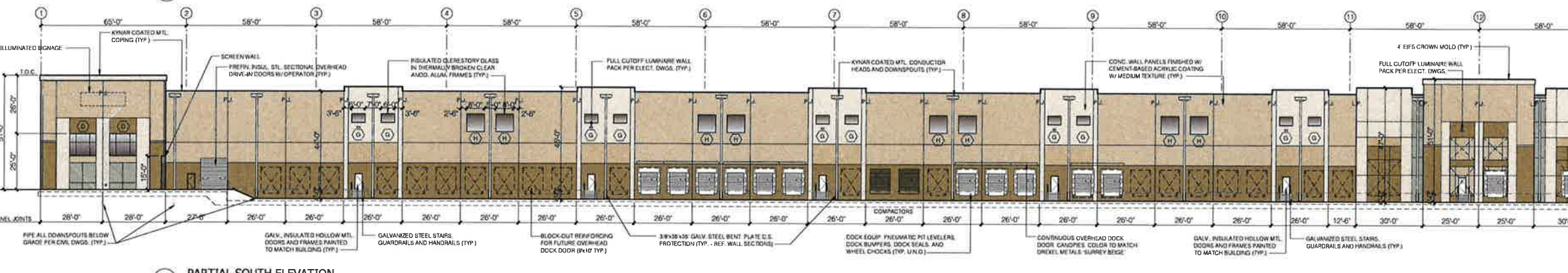
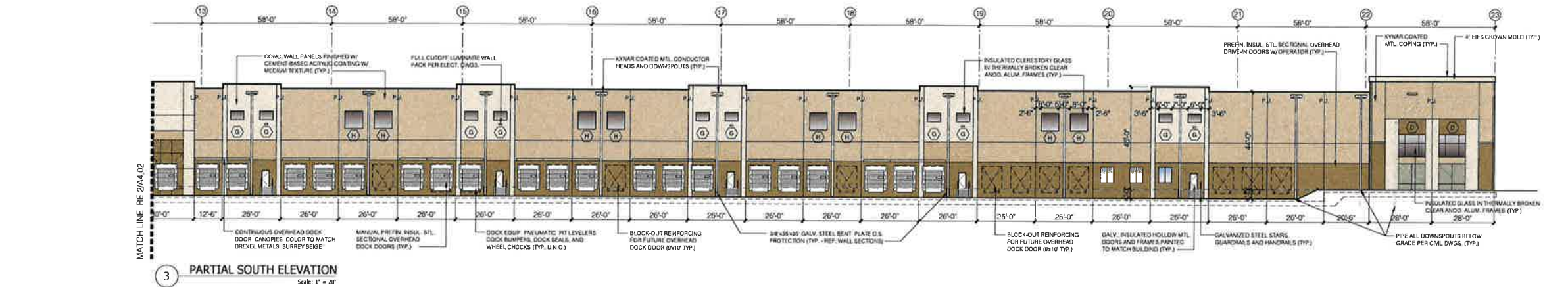
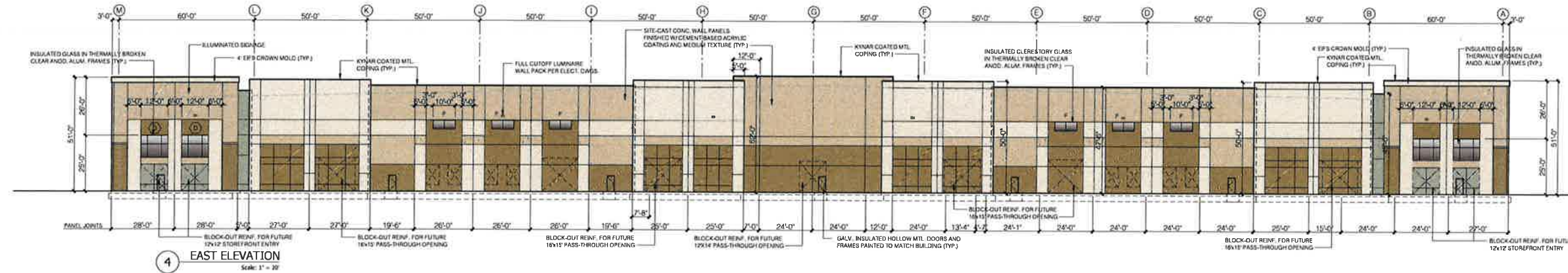
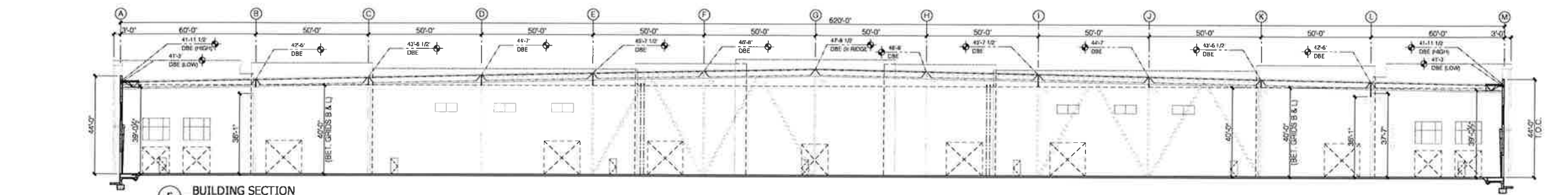
Drawn by: _____ Checked by: _____ Designed by: _____ DATED by: _____ Project no.: _____ Date: _____	LANDSCAPE PLAN FINAL DEVELOPMENT PLANS		DATE REV. 1 1/27/2020	REVISIONS DESCRIPTION REVISED TO REFLECT COMMENTS
	SOUTHVIEW COMMERCIAL CENTER 3RD PLAT			
BELTON, MO			REVISIONS	
SHEET L100			2020	



studioNorth
ARCHITECTURE

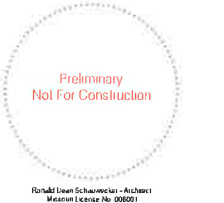
4025 NW 41st Street | Suite 500 | Riverside, MO 64199
816 | 888 | 7780
VP Studio North, LLC
Mainframe Certificate of Authorization No. A-0017040540

CNL
LANDSCAPE
FOUNDATIONS
STRUCTURAL
PLUMBING
MECHANICAL
ELECTRICAL
FIRE PROTECTION
CONTRACTOR



Southview
Commerce Center
Building 3
Interstate 48 & 16th Street
Belton, MO 64012

Project No.	2020-06	
Date	06.15.20	
Issued For	Preliminary Plan Submittal	
Revisions		
No.	Date	Description



Robert Owen Schaeffer - Architect
Mainframe License No. 008001
A4.02
BUILDING ELEVATIONS



studioNorth
ARCHITECTURE
1025 NW 4th Street | Suite 202 | Portland, ME 04108
TEL: 603.582.1188 | FAX: 603.582.1189
ME State License No. 0000000000
Maine Certificate of Professional Registration No. A-0000000000

CIVIL: G. BROWN, P.E.
LANDSCAPE: G. BROWN, P.E.
FOUNDATIONS:
STRUCTURAL:
PLUMBING:
MECHANICAL:
ELECTRICAL:
FIRE PROTECTION:
CONTRACTOR:

COLOR COATING LEGEND

- ALL COPING COLORS TO MATCH ADJACENT PAINT FINISH (U.N.O.)
 - ALL GUTTER, CONDUCTOR HEADS, AND DOWNPOUTS TO MATCH DREXEL METALS SURREY BEIGE
 - COLORS AND REVEALS TO MATCH EXTERIOR EDGES OF LAP PANELS (U.N.O.)
 - FALL PAINT COLOR TRANSITIONS SHALL OCCUR AT HINGE CORNERS IN VALLEY OF REVEALS. RE: REVEAL DETAILS ON A4.01
- SHERWIN WILLIAMS SW7047 PORPOISE
SHERWIN WILLIAMS SW7032 WARM STONE
SHERWIN WILLIAMS MATCH DREXEL METALS SURREY BEIGE
SHERWIN WILLIAMS SW7567 NATURAL TAN

ALL ROOFTOP MECHANICAL UNITS SHALL BE FULLY SCREENED. FINAL REQUIREMENTS WILL BE DETERMINED AS CONSTRUCTION DOCUMENTS ARE DEVELOPED



Southview Commerce Center Building 3

Hamden #9 & Hamden
Belden MD 04012

Project No.	2020-36	
Date	05.15.20	
Issued For	Preliminary Plan Submittal	
Revisions		
No.	Date	Description

Preliminary
Not For Construction

Ronald D. Schaeffer - Architect
Maine License No. 000001

A4.01
BUILDING ELEVATIONS



studioNorth
ARCHITECTURE
4025 NW 41st Street | Suite 500 | Pensacola, FL 32510
(904) 488-7300
NFI Studio North, LLC
Master Certificate of Authorization No. A-00170402-03

- CIVIL
- LANDSCAPE
- FOUNDATIONS
- STRUCTURAL
- PLUMBING
- MECHANICAL
- ELECTRICAL
- FIRE PROTECTION
- CONTRACTOR



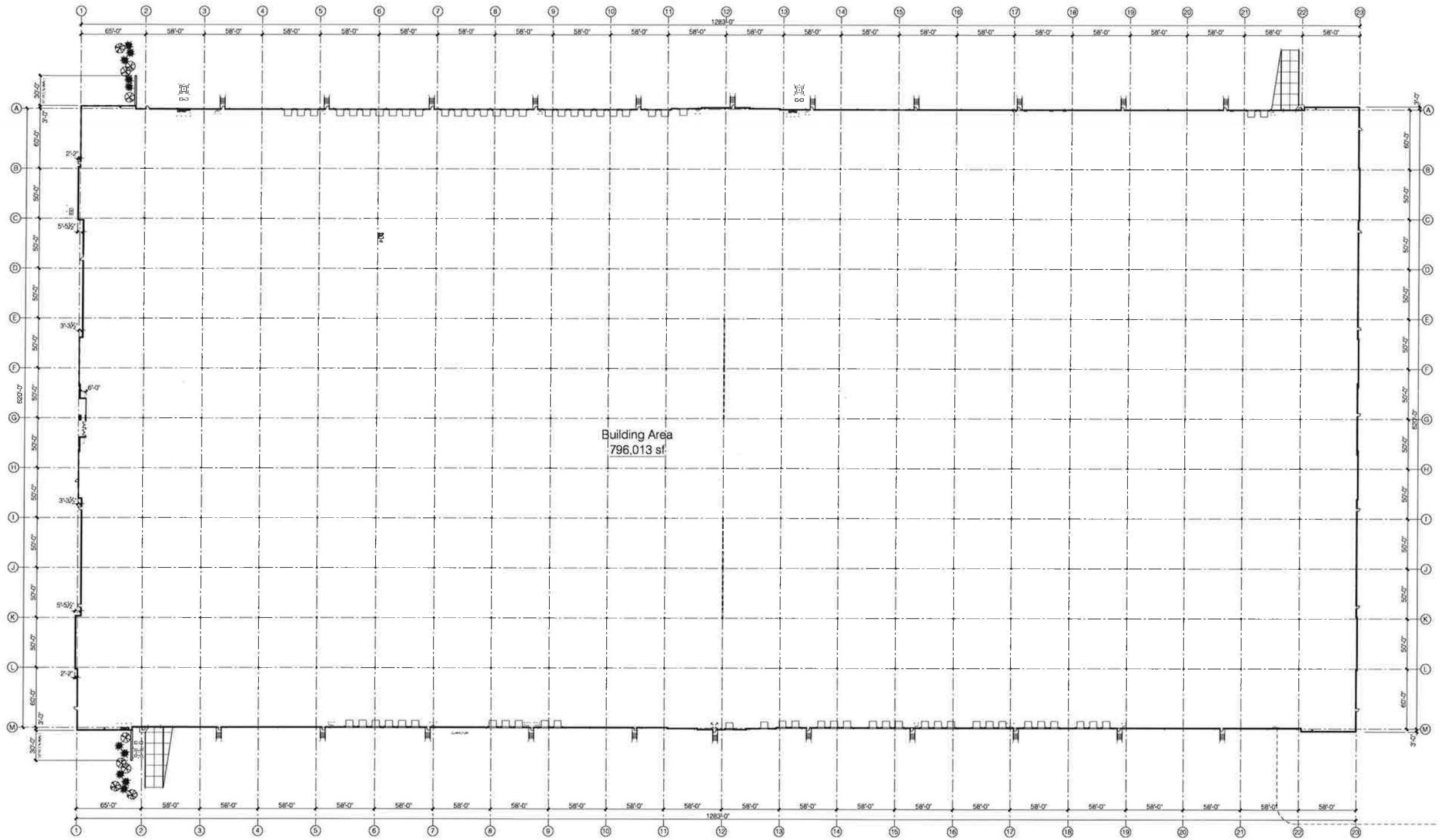
Southview
Commerce Center
Building 3
Interstate 49 & 15th Street
Gulfport, MS 39502

Project No.	2020-35	
Date	05.15.20	
Issued For	Preliminary Plan Submittal	
Revisions		
No.	Date	Description



Donald Dean Schwaninger - Architect
Master License No. 000007

A1.00
FLOOR PLAN



1 OVERALL FLOOR PLAN
Scale: 1" = 40'

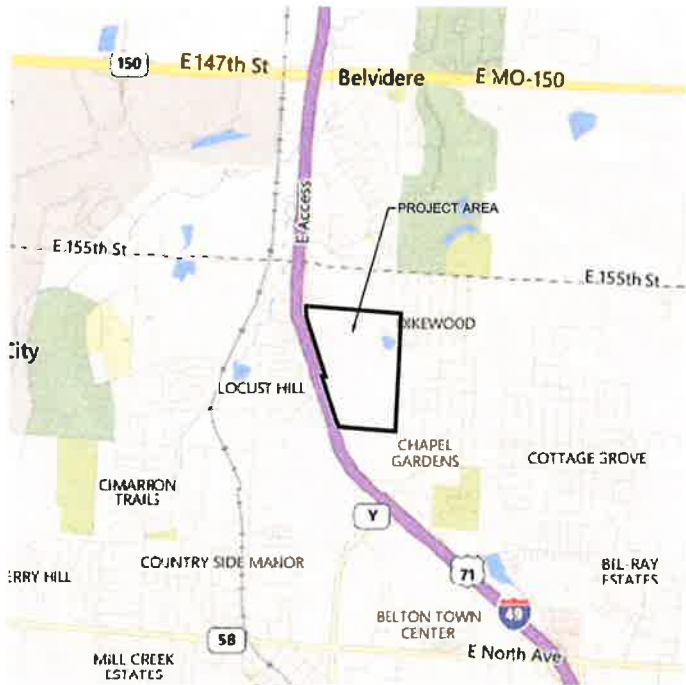
SOUTHVIEW COMMERCE CENTER
PRELIMINARY PLAT & PREL. DEVELOPMENT PLANS
SECTION 01, TOWNSHIP 46, RANGE 33
IN BELTON, CASS COUNTY, MO

PROJECT TEAM CONTACT LIST

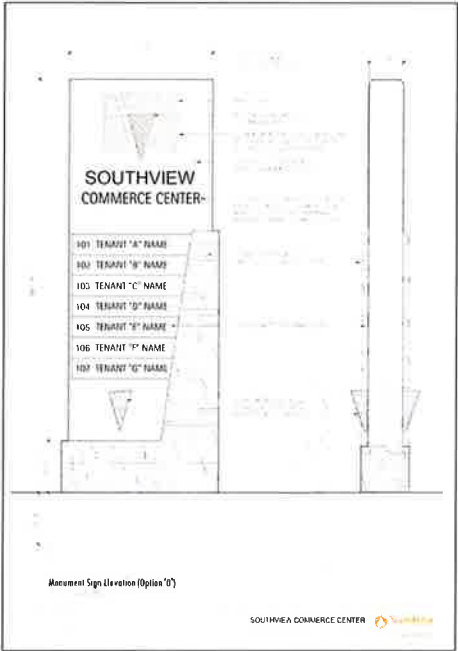
OWNER
NP SOUTHVIEW INDUSTRIAL LLC
4825 NW 41ST STREET, SUITE 500
RIVERSIDE, MO 64150

APPLICANT
NORTHPOINT DEVELOPMENT
4825 NW 41ST STREET, SUITE 500
RIVERSIDE, MO 64150
CONTACT: CHRIS CHANCELLOR
PHONE: 816.888.7390
EMAIL: CCHANCELLOR@NORTHPOINTNKC.COM

ENGINEER
OLSSON
1301 BURLINGTON SUITE 100
NORTH KANSAS CITY, MO 64116
CONTACT: NICHOLAS HEISER
PHONE: 816.361.1177



Sheet List Table	
Sheet Title	Sheet Number
TITLE SHEET	C100
SITE PLAN	C200
LANDSCAPE SECTIONS	L200



PROPERTY DESCRIPTION:

Part of Lot 1 of the Northwest Quarter, and part of the Southwest Quarter, all in Section 1, Township 46 North of the Baseline, 33 West of the Fifth Principal Meridian, Belton, Cass County, Missouri, described as follows: Commencing at the Southwest corner of the Southwest Quarter of said Section 1; thence North 02 degrees 30 minutes 02 seconds East on the East line of said Southwest Quarter, 835.81 feet to the North right-of-way line of 162nd Street, and the point of beginning; thence North 85 degrees 41 minutes 10 seconds West on said North right-of-way line, 1,354.67 feet to the East right-of-way line of U.S. Highway 71; thence North 04 degrees 00 minutes 31 seconds East, on said East right-of-way line, 888 feet to an angle point in said East right-of-way line, being 280 feet left of Highway 71 centerline Station 77+31; thence North 85 degrees 23 minutes 51 seconds West on said East right-of-way line, 126.82 feet to an angle point in said East right-of-way line, being 117 feet left of centerline Station 76+63; thence North 18 degrees 02 minutes 32 seconds West on said East right-of-way line, 146.04 feet to the East line of a tract described in Book 540, Page 182 of the Cass County Recorder's Office; thence South 03 degrees 27 minutes 49 seconds West on said East right-of-way line and East line of said tract, 27.28 feet to an angle point in said East right-of-way line; thence North 18 degrees 02 minutes 32 seconds West, on said East right-of-way line, 1,284.42 feet to the North line of said tract; thence South 85 degrees 34 minutes 09 seconds East on said East right-of-way line and the North line of said tract, 100.64 feet to an angle point in said East right-of-way line; thence North 18 degrees 02 minutes 32 seconds West on said East right-of-way line, 1,556.39 feet to a point of curvature being 200 feet left of centerline Station 47+30, also being 50 feet left of Highway 71 Outer Road Station 47+30; thence Northeasterly on a curve to the right on said East right-of-way line (said curve having a radius of 1,096.00 feet, a chord bearing of North 09 degrees 02 minutes 32 seconds West, a chord distance of 342.80 feet, and an initial tangent bearing of North 18 degrees 02 minutes 32 seconds West), on arc length of 344.32 feet to a point of tangency, being 50 feet left of Highway 71 Outer Road Station 43+75; thence North 02 degrees 02 minutes 32 seconds West on said East right-of-way line, 63.01 feet to the North line of Lot 1 of the Northwest Quarter of said Section 1; thence South 85 degrees 28 minutes 47 seconds East on said North line, 2,554.63 feet to the Northeast corner of Lot 1; thence South 02 degrees 28 minutes 12 seconds West on the East line of said Lot 1, 1,320.18 feet to the Northeast corner of the Southwest Quarter of said Section 1; thence South 02 degrees 30 minutes 02 seconds West, 1,822.34 feet to the point of beginning.

SITE	PHASING	EXISTING ZONING	GROSS AREA (AC.)	PROPOSED STREET R/W (AC.)	NET AREA (AC.)	OPEN SPACE (%)	LAND USE DESCRIPTION	NUMBER OF FLOORS	BUILDING COVERAGE (%)	BUILDING COVERAGE (%)	PARKING SPACES*			ADA SPACES	
											RATIO	TOTAL REQUIRED	PROVIDED	TOTAL REQUIRED	PROVIDED
LOT 1	PHASE 1	FCI	29.46	0.00	29.46	26.5	Warehouse/Commercial	1	454.689	35.4	1 per 3000 SF	454	285	7	8
LOT 2	PHASE 2	FCI	38.68	0.00	38.68	23.8	Warehouse/Commercial	1	690.000	41.0	1 per 3000 SF	637	465	9	10
LOT 3	PHASE 3	FCI	56.54	0.00	56.54	28.40	Warehouse/Commercial	1	1,011.260	41.10	1 per 3000 SF	796	626	13	14
TRACT A	PHASE 1	FCI	7.31	0.00	7.31	95.9	Detention								
TRACT B	PHASE 2	FCI	8.49	0.00	8.49	99.5	Detention								
TRACT D	PHASE 3	FCI	3.83	0.00	3.83	99.50	Detention								
RIGHT-OF-WAY	PHASE 1&2		5.86	5.86	0.00	43.8	Proposed ROW								
TOTAL			130.17	5.86	144.11	33.7		2,156.249	42.3		1887	1396	29	31	

* ADA Parking counts included in total.

olsson

OLSSON & ASSOCIATES
1301 BURLINGTON SUITE 100
NORTH KANSAS CITY, MISSOURI 64116
TEL: 816.361.1177
WWW.OLSSON.COM

REVISIONS

NO.	REV.	DATE	REVISION DESCRIPTION
1		2018.08.18	PRELIMINARY DEVELOPMENT PLAN AMENDMENT
2		2018.08.18	PRELIMINARY DEVELOPMENT PLAN AMENDMENT
3		2018.08.18	PRELIMINARY DEVELOPMENT PLAN AMENDMENT
4		2018.08.18	REVISIONS TO PRELIMINARY DEVELOPMENT PLAN
5		2018.08.18	REVISIONS TO PRELIMINARY DEVELOPMENT PLAN
6		2018.08.18	REVISIONS TO PRELIMINARY DEVELOPMENT PLAN

TITLE SHEET
PRELIMINARY PLAT & PREL. DEVELOPMENT PLANS
SOUTHVIEW COMMERCE CENTER
BELTON, MO

Drawn by: JG
Checked by: BJ
Designed by: BJ
Checked by: BJ
Project no.: 818-1022
Date: 2018.03.02

SHEET
C100

File: \\V2018\1001-1500\018-1020-c\design\AutoCAD\preliminary plans\Sheets\DWG\C-ST01-C181020.dwg ~ Layout: SITE PLAN ~ User: Sowed By: jroulette ~ Plot Date: 2019.02.20 04:57 PM



olsson

OLSSON - CIVIL ENGINEERING
1301 BELMONT AVE., SUITE 100
NORTH KANSAS CITY, MO 64116
TEL: 816.351.1777
www.olsson.com

REVISIONS

NO.	DATE	DESCRIPTION
1	02/20/2019	PRELIMINARY DEVELOPMENT PLAN SUBMITTAL
2	02/20/2019	REVISIONS PER CITY COMMENTS
3	02/20/2019	REVISIONS PER CITY COMMENTS
4	02/20/2019	REVISIONS PER CITY COMMENTS
5	02/20/2019	REVISIONS PER CITY COMMENTS
6	02/20/2019	REVISIONS PER CITY COMMENTS
7	02/20/2019	REVISIONS PER CITY COMMENTS
8	02/20/2019	REVISIONS PER CITY COMMENTS
9	02/20/2019	REVISIONS PER CITY COMMENTS
10	02/20/2019	REVISIONS PER CITY COMMENTS
11	02/20/2019	REVISIONS PER CITY COMMENTS
12	02/20/2019	REVISIONS PER CITY COMMENTS
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17	02/20/2019	REVISIONS PER CITY COMMENTS
18	02/20/2019	REVISIONS PER CITY COMMENTS
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20	02/20/2019	REVISIONS PER CITY COMMENTS

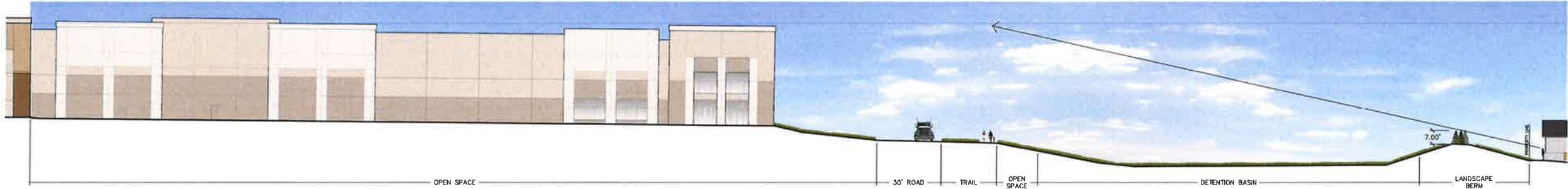
SITE PLAN
PRELIMINARY PLAN & PREL. DEVELOPMENT PLANS
SOUTHVIEW COMMERCE CENTER
BELTON, MO

2019

SHEET
C200



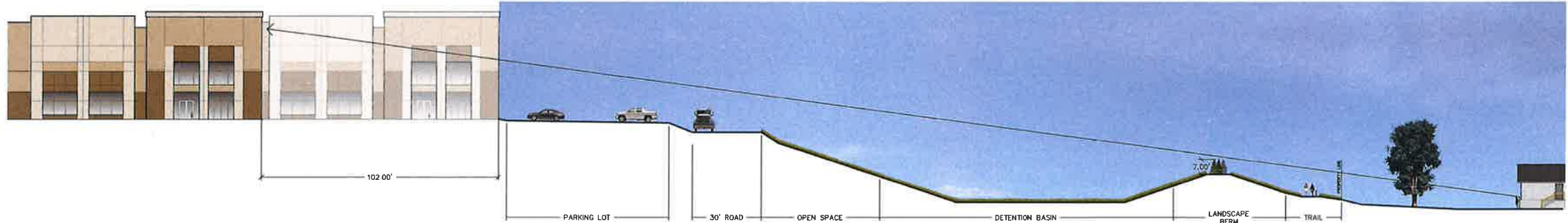
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(NTS)



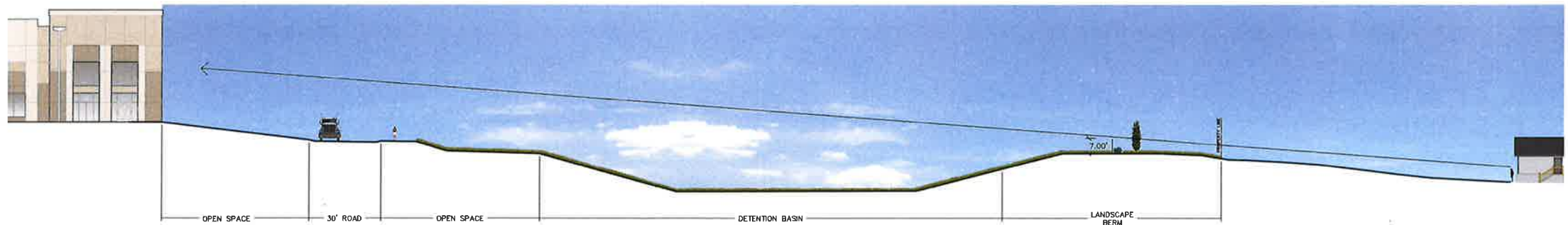
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(NTS)



SECTION B-B' BLDG. EXPANSION
(NTS)



SECTION C-C'
(NTS)



SECTION E-E'
(NTS)

olsson

OLSSON, CIVIL ENGINEERING
1001 HANCOCK AVENUE, SUITE 100
NORTH WARRICK CITY, INDIANA 46051
TEL: 812.361.1177
WWW.OLSSON.COM

REVISIONS DESCRIPTION

NO.	DATE	DESCRIPTION
1	2018.02.02	PRELIMINARY DEVELOPMENT PLANNING
2	2018.02.04	REVISIONS TO CITY COMMENTS
3	2018.02.04	REVISIONS TO CITY COMMENTS
4	2018.02.04	REVISIONS TO CITY COMMENTS
5	2018.02.04	REVISIONS TO CITY COMMENTS
6	2018.02.04	REVISIONS TO CITY COMMENTS

LANDSCAPE SECTIONS PRELIMINARY PLAT & PREL. DEVELOPMENT PLANS SOUTHWEST COMMERCIAL CENTER	2019
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drawn by	GS
checked by	BS
designed by	BS
project no.	1815-1020
date	2018.02.02

SHEET
L200

BELTON, MO

2019

REVISIONS

SOUTHVIEW COMMERCE CENTER – REVISED PDP

6/23/2020

City of Belton
520 Main St.
Belton, MO 64012

Attn: Dave Clements

This letter is a response to the Planning Department's comment from their review of the Southview Commerce Center revised Preliminary Development Plan. The comment requests a narrative summarizing the changes to the preliminary plan and the advantages of the revised Building 3 layout.

Changes to the Preliminary Development Plan:

The previously approved Preliminary Development Plan had plans for 3 buildings north of 160th Street. The 3 previous buildings totaled approximately 1,013,000 SF of building footprint. The new plan has one building north of 160th Street, with a fully-expanded building footprint of 1,012,000 SF.

Advantages of the revised Preliminary Development Plan:

1. Approximately 900 feet of docks have been removed from facing the east property line and the residential area to the east of the park with Building 5 being removed.
2. Approximately 620 feet of office appearance has been added to Building 3's east elevation, facing the east residents.
3. The east elevation of the fully-expanded new Building 3 is 358' from the east property line. The previous PDP had the nearest building elevation 370' from the east property line. The change is minimal.
4. The north building elevation is 200' farther away from the north property line adjacent to residential zoning than the previous PDP.
5. The south building elevation is 170' farther away than the 160th Street ROW compared to the previous PDP.
6. The west building elevation for the new Building 3 is 200' farther away from the Outer Road ROW than the previous PDP.

Thank you,

Bret Gross, NorthPoint Development

SECTION IV.
FINAL PLAT – SOUTHVIEW COMMERCE CENTER
SOUTH

FINAL PLAT
SOUTHVIEW COMMERCE CENTER SOUTH-3rd PLAT
BELTON PLANNING COMMISSION
MONDAY, JULY 6, 2020 – 6:00 P.M.
CITY HALL ANNEX BUILDING – 520 MAIN STREET

CASE #FP18-03

Property Owner-NP Southview Industrial, LLC./Bret Gross

Engineer-Olsson Associates, Inc./Nelson Willoughby

Location-The property is located on South Outer Road, just north of 162nd Street.

Request-The application was filed for approval of a **Final Plat** for Southview Commerce Center South, 3rd Plat.

BACKGROUND

The preliminary plat for Southview Commerce Center was approved by the City Council in June of 2018. The preliminary plat was a part of the rezoning of the property to an FCI Flex Commercial/Industrial zoning district of the North Scott Corridor Overlay District + Guidelines (NSCOD).

The preliminary plan provided five lots of various sizes designated for development in the Southview Commerce Center by NorthPoint Development.

Lot 1 in the Southview Commerce Center was reviewed and approved by the Planning Commission on October 15, 2018. Lot 2 was reviewed and approved by the Planning Commission on April 22, 2019.

PROPOSED FINAL PLAT

The Final Plat is consistent with the revised preliminary plan.

Lot sizes- The 3rd Plat is a 60.364 acre parcel (2,629,470 square feet). The plat includes Tracts D for open space/detention. There is no minimum lot size in the NSCOD.

Streets- The 3rd Plat is adjacent to the South Outer Road of Interstate 49, and 160th Street, an east/west street in the Southview Commerce Center. All required right-of-way was previously dedicated.

Easements- The final plat includes appropriate language for utility easements.

Detention- Tract D is dedicated with the plat, and provides an area for stormwater management for the 3rd Plat. This detention area is a portion of the overall stormwater detention facilities for Southview Commerce Center. The tract will be maintained by the property owner as part of the overall management of Southview Commerce Center.

Final Plat-Southview Commerce Center-3rd Plat.

STAFF RECOMMENDATION

The staff recommends approval of the application for a Final Plat for Southview Commerce Center Lot 3, as the final plat is consistent with the revised preliminary plan submitted with Building 3. The plat meets all final plat requirements of Section 36.35 of Unified Development Code.

The recommendation is subject to the following conditions:

1. The Final Plat for Southview Commerce Center South, 3rd^d Plat as submitted by Olsson, dated May 28, 2020, is hereby approved.
2. The final plat shall be recorded within one year of City Council approval or the approval of the plat shall be considered null and void.

PLANNING COMMISSION ALTERNATIVES

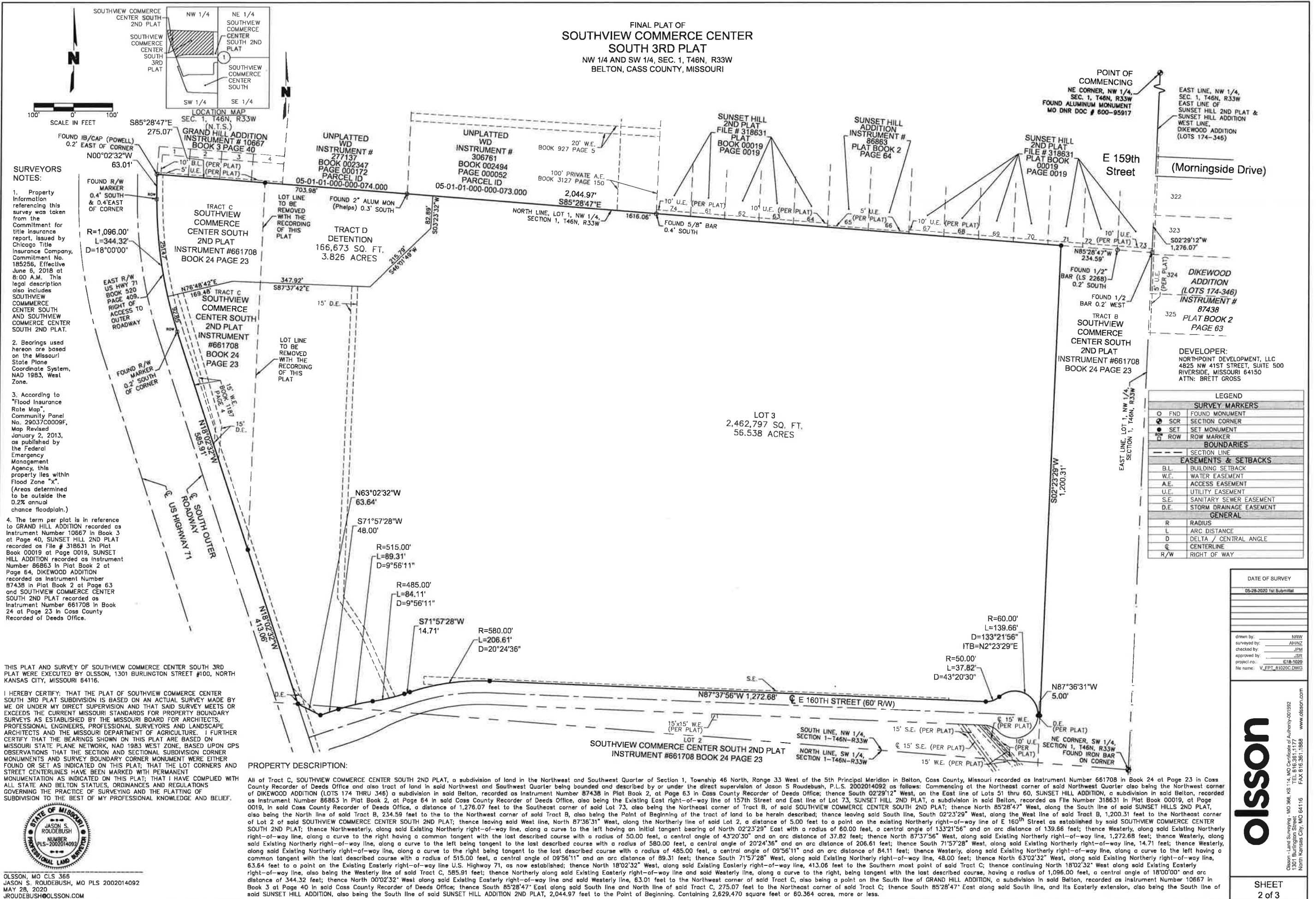
1. Motion to **approve** a Final Plat for Southview Commerce Center South, 3rd Plat
2. Motion to **deny** a Final Plat for Southview Commerce Center South, 3rd Plat
3. Motion to continue the application pending additional information.

ATTACHMENTS

1. Final Plat-Southview Commerce Center South, 3rd Plat.

DWG: F:\2018\1001-1500\018-1020-C\40-Design\Survey\SRV\Sheets\Final Plot\V_FPT_81020C.dwg
DATE: May 28, 2020 8:15am
USER: newloughby

FINAL PLAT OF
SOUTHVIEW COMMERCE CENTER
SOUTH 3RD PLAT
NW 1/4 AND SW 1/4, SEC. 1, T46N, R33W
BELTON, CASS COUNTY, MISSOURI



SURVEYORS
NOTES:

1. Property information referencing this survey was taken from the Commitment for title insurance report, issued by Chicago Title Insurance Company, Commitment No. 185256, Effective June 6, 2018 at 8:00 A.M. This legal description also includes SOUTHVIEW COMMERCE CENTER SOUTH AND SOUTHVIEW COMMERCE CENTER SOUTH 2ND PLAT.
2. Bearings used hereon are based on the Missouri State Plane Coordinate System, NAD 1983, West Zone.
3. According to "Flood Insurance Rate Map", Community Panel No. 29037C0009F, Map Revised January 2, 2013, as published by the Federal Emergency Management Agency, this property lies within Flood Zone "X". (Areas determined to be outside the 0.2% annual chance floodplain.)
4. The term per plat is in reference to GRAND HILL ADDITION recorded as Instrument Number 10667 in Book 3 at Page 40, SUNSET HILL 2ND PLAT recorded as File # 318631 in Plat Book 00019 at Page 0019, SUNSET HILL ADDITION recorded as Instrument Number 86863 in Plat Book 2 at Page 64, DIKEWOOD ADDITION recorded as Instrument Number 87438 in Plat Book 2 at Page 63 and SOUTHVIEW COMMERCE CENTER SOUTH 2ND PLAT recorded as Instrument Number 661708 in Book 24 at Page 23 in Cass County Recorded of Deeds Office.

THIS PLAT AND SURVEY OF SOUTHVIEW COMMERCE CENTER SOUTH 3RD PLAT WERE EXECUTED BY OLSSON, 1301 BURLINGTON STREET #100, NORTH KANSAS CITY, MISSOURI 64116.

I HEREBY CERTIFY: THAT THE PLAT OF SOUTHVIEW COMMERCE CENTER SOUTH 3RD PLAT SUBDIVISION IS BASED ON AN ACTUAL SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION AND THAT SAID SURVEY MEETS OR EXCEEDS THE CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS AS ESTABLISHED BY THE MISSOURI BOARD FOR ARCHITECTS, PROFESSIONAL ENGINEERS, PROFESSIONAL SURVEYORS AND LANDSCAPE ARCHITECTS AND THE MISSOURI DEPARTMENT OF AGRICULTURE. I FURTHER CERTIFY THAT THE BEARINGS SHOWN ON THIS PLAT ARE BASED ON MISSOURI STATE PLANE NETWORK, NAD 1983 WEST ZONE, BASED UPON GPS OBSERVATIONS THAT THE SECTION AND SECTIONAL SUBDIVISION CORNER MONUMENTS AND SURVEY BOUNDARY CORNER MONUMENT WERE EITHER FOUND OR SET AS INDICATED ON THIS PLAT; THAT THE LOT CORNERS AND STREET CENTERLINES HAVE BEEN MARKED WITH PERMANENT MONUMENTATION AS INDICATED ON THIS PLAT; THAT I HAVE COMPLIED WITH ALL STATE AND BELTON STATUTES, ORDINANCES AND REGULATIONS GOVERNING THE PRACTICE OF SURVEYING AND THE PLATTING OF SUBDIVISION TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF.



OLSSON, MO CLS 368
JASON S. ROUDEBUSH, MO PLS 2002014092
MAY 28, 2020
JROUDEBUSH@OLSSON.COM

PROPERTY DESCRIPTION:

All of Tract C, SOUTHVIEW COMMERCE CENTER SOUTH 2ND PLAT, a subdivision of land in the Northwest and Southwest Quarter of Section 1, Township 46 North, Range 33 West of the 5th Principal Meridian in Belton, Cass County, Missouri recorded as Instrument Number 661708 in Book 24 at Page 23 in Cass County Recorder of Deeds Office and also tract of land in said Northwest and Southwest Quarter being bounded and described by or under the direct supervision of Jason S. Roudebush, P.L.S. 2002014092 as follows: Commencing at the Northeast corner of said Northwest Quarter also being the Northwest corner of DIKEWOOD ADDITION (LOTS 174 THRU 346) a subdivision in said Belton, recorded as Instrument Number 87438 in Plat Book 2, at Page 63 in Cass County Recorder of Deeds Office; thence South 02°29'12" West, on the East line of Lots 51 thru 60, SUNSET HILL ADDITION, a subdivision in said Belton, recorded as Instrument Number 86863 in Plat Book 2, at Page 64 in said Cass County Recorder of Deeds Office, also being the Existing East right-of-way line of 157th Street and East line of Lot 73, SUNSET HILL 2ND PLAT, a subdivision in said Belton, recorded as File Number 318631 in Plat Book 00019, at Page 0019, in said Cass County Recorder of Deeds Office, a distance of 1,276.07 feet to the Southeast corner of said Lot 73, also being the Northeast corner of said Lot 73, SUNSET HILL 2ND PLAT; thence North 85°28'47" West, along the South line of said SUNSET HILLS 2ND PLAT, also being the North line of said Tract B, 234.59 feet to the Northwest corner of said Tract B, also being the Point of Beginning of the tract of land to be herein described; thence leaving said South line, South 02°23'29" West, along the West line of said Tract B, 1,200.31 feet to the Northeast corner of Lot 2 of said SOUTHVIEW COMMERCE CENTER SOUTH 2ND PLAT; thence leaving said West line, North 87°36'31" West, along the Northerly right-of-way line of E 160th Street as established by said SOUTHVIEW COMMERCE CENTER SOUTH 2ND PLAT; thence Northerly, along said Existing Northerly right-of-way line, along a curve to the left having an initial tangent bearing of North 02°23'29" East with a radius of 60.00 feet, a central angle of 133°21'56" and an arc distance of 139.66 feet; thence Westerly, along said Existing Northerly right-of-way line, along a curve to the right having a common tangent with the last described course with a radius of 50.00 feet, a central angle of 43°20'30" and an arc distance of 37.82 feet; thence North 87°37'56" West, along said Existing Northerly right-of-way line, 1,272.68 feet; thence Westerly, along said Existing Northerly right-of-way line, along a curve to the left being tangent to the last described course with a radius of 580.00 feet, a central angle of 20°24'36" and an arc distance of 206.61 feet; thence South 71°57'28" West, along said Existing Northerly right-of-way line, 14.71 feet; thence Westerly, along said Existing Northerly right-of-way line, along a curve to the right being tangent to the last described course with a radius of 485.00 feet, a central angle of 09°56'11" and an arc distance of 84.11 feet; thence Westerly, along said Existing Northerly right-of-way line, along a curve to the left having a common tangent with the last described course with a radius of 515.00 feet, a central angle of 09°56'11" and an arc distance of 89.31 feet; thence South 71°57'28" West, along said Existing Northerly right-of-way line, 48.00 feet; thence North 63°02'32" West, along said Existing Northerly right-of-way line, 63.64 feet to a point on the Existing Easterly right-of-way line U.S. Highway 71, as now established; thence North 18°02'32" West, along said Existing Easterly right-of-way line, 413.06 feet to the Southern most point of said Tract C; thence continuing North 18°02'32" West along said Existing Easterly right-of-way line, also being the Westerly line of said Tract C, 585.91 feet to the Southeast corner of said Lot 73, also being the Northeast corner of said Lot 73, SUNSET HILL 2ND PLAT; thence North 00°02'32" West along said Existing Easterly right-of-way line and said Westerly line, 63.01 feet to the Northwest corner of said Tract C, also being a point on the South line of GRAND HILL ADDITION, a subdivision in said Belton, recorded as Instrument Number 10667 in Book 3 at Page 40 in said Cass County Recorder of Deeds Office; thence South 85°28'47" East along said South line and North line of said Tract C, 275.07 feet to the Northeast corner of said Tract C; thence South 85°28'47" East along said South line, and its Easterly extension, also being the South line of said SUNSET HILL ADDITION, also being the South line of said SUNSET HILL ADDITION 2ND PLAT, 2,044.97 feet to the Point of Beginning. Containing 2,629,470 square feet or 60.364 acres, more or less.

LEGEND	
SURVEY MARKERS	
○ FND	FOUND MONUMENT
● SCR	SECTION CORNER
● SET	SET MONUMENT
○ ROW	ROW MARKER
BOUNDARIES	
---	SECTION LINE
EASEMENTS & SETBACKS	
B.L.	BUILDING SETBACK
W.E.	WATER EASEMENT
A.E.	ACCESS EASEMENT
U.E.	UTILITY EASEMENT
S.E.	SANITARY SEWER EASEMENT
D.E.	STORM DRAINAGE EASEMENT
GENERAL	
R	RADIUS
L	ARC DISTANCE
D	DELTA / CENTRAL ANGLE
C	CENTERLINE
R/W	RIGHT OF WAY

olsson

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 DWG:
 DATE: May 28, 2020 6:58am
 USER: nwilloughby

olsson